

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00041
Applicant	B Gibson
Proposal	Visitor Accommodation - Additional Use for Visitor Accommodation
Location	298 Gardens Road, Binalong Bay (CT50458/2) – Access is partially achieved over 300 Gardens Road, Binalong Bay (CT80866/2)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O' Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 2nd May, 2026 **until 5pm Friday 15th May, 2026.**

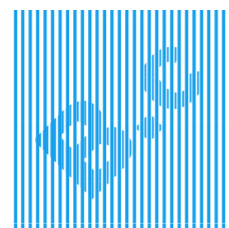
John Brown
GENERAL MANAGER



Drawings for Development Application Only. Not for Construction.

GENERAL NOTES

To be read in conjunction with design drawings/documents issued in this package and coordination with M&E, structural/civil and landscape design packages. In the event of discrepancies, refer to the designer for clarification. Levels are in millimetres to Australian Height Datum (AHD) unless noted otherwise. Do not scale drawing when printing. This is a design intent drawing for information only and is not to be used for construction unless expressly permitted. Contractor should verify all conditions on site and notify of any variations from dimensions before construction. All building works to comply with National Construction Codes - Building & Plumbing Codes of Australia, Australian Standards, Building Acts and Regulations and Council Bylaws.



Blackman.creative

Felix Blackman 0437 340 493
 felix@blackmancreative.com.au
 12 Effingham Street South Launceston
 Tasmania 7249 Australia

Copyright
 These designs, plans and specifications are the copyright and property of Blackman.creative and must not be used, reproduced or copied wholly or in part without written permission of Blackman.creative.

REVISIONS

RevID	Description	Date
01	Development Application	25/9/19

Project Name

298 Gardens RD

Site
 298 Gardens Road Binalong Bay

Client
 Jude + Buck Gibson

Client Sign-off
 25/9/19 Jude + Buck

Project Reference

19007

Scale
 1:### @ A3

Internal Check
 25/9/19



Drawing Title

**Site Plan of car parking for additional use
 visitor accommodation and existing
 driveway access**

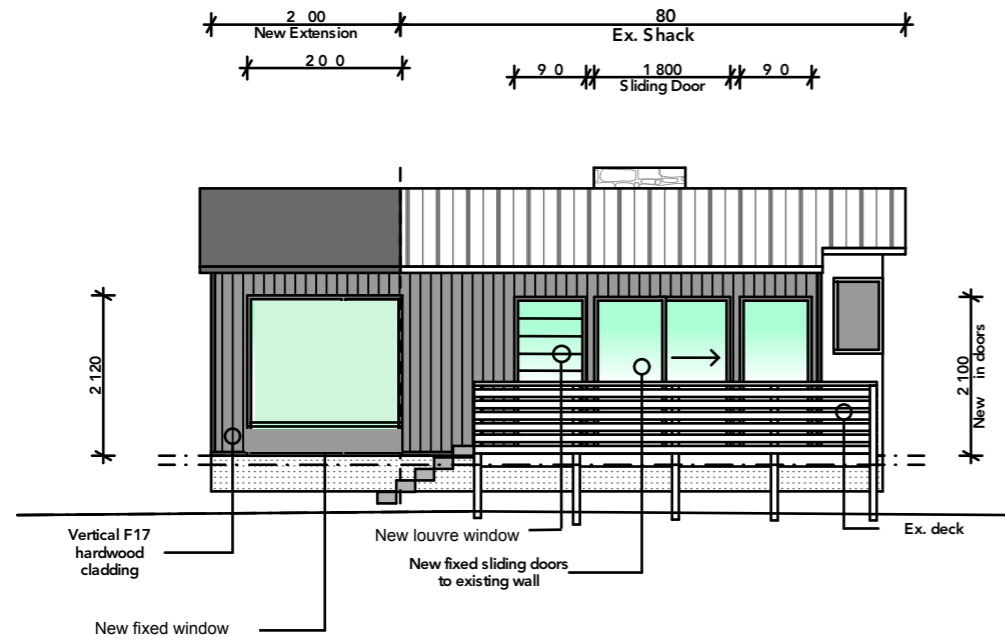
SK 001

01

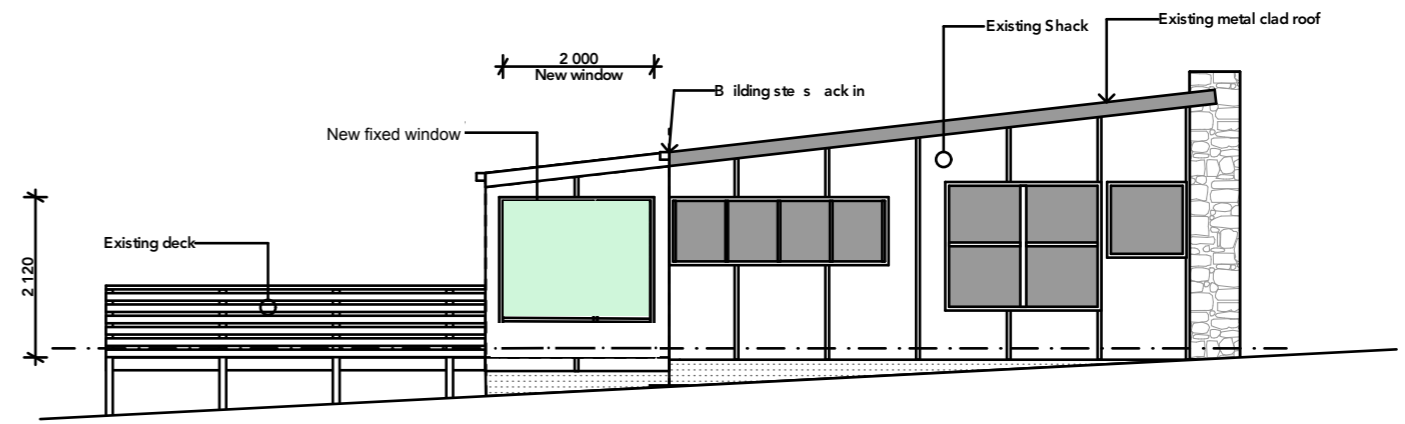
REF 190923 Gardens Road.pln

PLOT 25/9/19

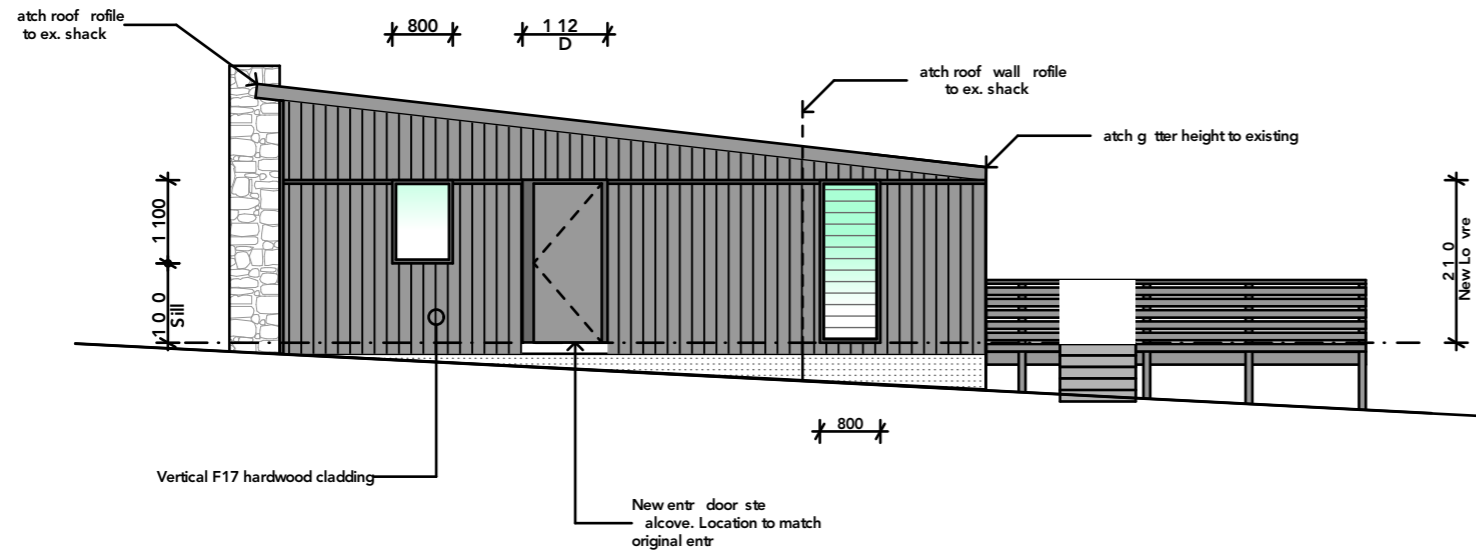
East Elevation 1 100



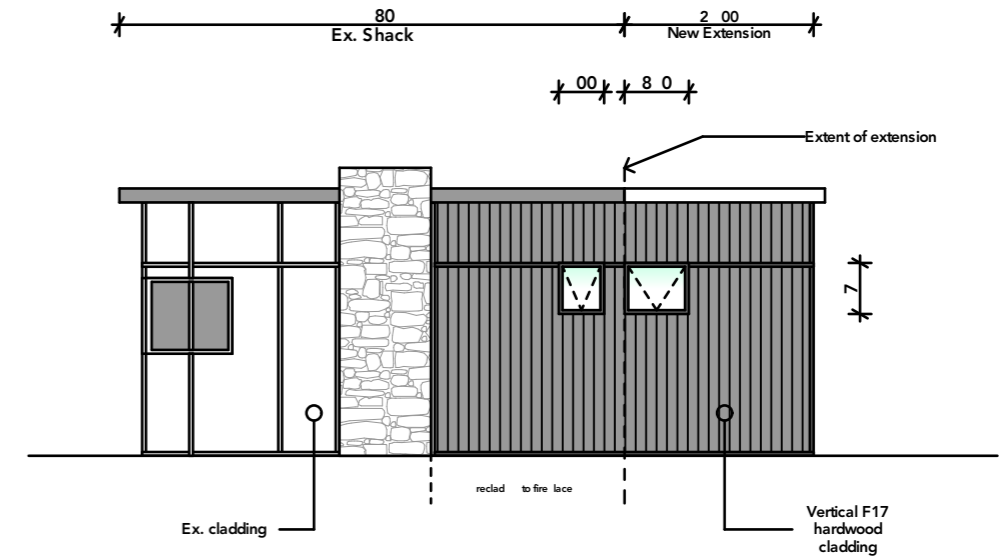
North Elevation 1 100



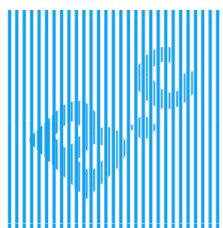
South Elevation 1 100



West Elevation 1 100



GENERAL NOTES



Blackman.creative

Felix Blackman

REVISIONS

NO.	DESCRIPTION	DATE

Project Name

298 Gardens RD

Site

Client

Client Sign-off

Project Reference

19007

Scale Stage

Internal Check



Drawing Title

ELEVATIONS

Drawing

S 301

Revision

01

**Applicant's planning scheme response addressing clause 22.3.3
Discretionary use from the 22.0 landscape Conservation Zone
(Received on the 30/03/2026):**

Planning Scheme Response – Clause 22.3.3 P1

The proposed visitor accommodation is consistent with the Landscape Conservation Zone performance criteria as:

- The use is within an existing dwelling with no external expansion or intensification of built form
- No additional clearing or land disturbance is required
- Traffic generation is minimal and consistent with residential use
- Adequate on-site parking is provided
- The use will not adversely impact landscape values, neighbouring properties, or environmental features
- The proposal supports low-impact tourism consistent with the intent of the zone

The visitor accommodation will operate within the existing dwelling and will be professionally managed to ensure appropriate guest behaviour, waste management, and property maintenance.