

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00042
Applicant	J Binns
Proposal	Residential – Construction of a Shed with Amenities
Location	17 Scamander Avenue, Scamander

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 19th April, 2025 **until 5pm Wednesday 7th May, 2025.**

John Brown
GENERAL MANAGER

general notes

general

all dimensions are in millimetres unless otherwise specified.
dimensions are to structure not finish.
verify dimensions and measurements prior to commencement of work.
reference to manufacturer's specification is to a current approved specification appropriate for the proposed use.
engineer's specifications take precedence over drawing notes.
all work to generally comply with the national construction code of australia (NCC), relevant australian standards, codes of practice + the practices set out in the guide to standards and tolerances 2007.
it is the responsibility of the builder to ensure that suitable materials and construction methods are used, work is undertaken in accordance with the required standards and specifications and that work is finished in a professional manner.

work health + safety

contractors to comply with state work health + safety act and all relevant codes of practice.

vehicle access

vehicle crossovers to be provided in accordance with local authority requirements
contractor to obtain relevant permits for works in road reserve and comply with relevant planning conditions.
council infrastructure services to be notified prior to commencing works.
provide 3% crossfall to driveways with stormwater runoff directed to on-site absorption or approved stormwater discharge point.
concrete driveways to be minimum 120mm 25mpa concrete with saw cuts @ max 4m cen. 24 hours after pour.

site works

check boundaries, easements + service locations on site prior to commencing works.
site to be filled/excavated to levels indicated on drawings.
excavation works to comply with NCC part 3.2 and AS 2870 residential slabs + footings.
construction area to be cleared of vegetation, top soil and upper strata containing organic matter.
prepare foundation so footings can be placed on level undisturbed material.
drains and pipes to be provided as required or indicated to facilitate drainage of water away from building and foundations.
install site drainage prior to footing excavation where possible.
grade finished ground levels away from building footings, including areas under decks, 1:20 for 1m around building to a point where ponding won't occur.
finished ground level below concrete slabs to be as follows:

- 100mm in sandy and well drained areas
- 50mm for paved and concreted areas drained away from building @ 1:20
- 150mm in all other cases

electricity, communication, water, sewer, stormwater + gas services to be connected as per local authority requirements, verify connection locations on site in consultation with owner.
verify setout of building on site. no part of building works, including eaves, fascia, downpipes, drainage, excavations or any building element, to encroach over property boundary.
where a building is located on or near a property boundary and the boundary cannot be accurately identified, a registered land surveyor is to be engaged to establish + mark the property boundary/ies.
where excavation work is to a level below that of an adjoining property, on the property boundary or within 3m of a building on an adjoining property, protection work is to be carried out in accordance with section 121 of the building act and relevant building regulations. where required, obtain agreement with adjoining property owners for protection work in accordance with form 6 prior to commencing works.

soil + water management notes

connect downpipes to stormwater system as soon as practical.
works to be scheduled appropriately and stopped if conditions are not suitable, such as during and after heavy rain.
phase works as required to minimise wind erosion.
limit disturbance of vegetation to that required for construction of the development
stockpile top soil separately from subsoil.
protect stockpiles with geotextile sediment fencing on the low side of stockpiles.
minimise the time service trenches are left open + progressively backfill trenches with compacted backfill finished 100mm above adjacent ground level.
limit vehicle movement on disturbed areas.
prevent transfer of sediment to roadway by sealing crossover where possible, using bunds or parking construction vehicles on street.
store pollutants well clear of poorly drained areas.
remove sorted waste in an approved manner by means of suitable transport to an acceptable disposal area.
maintain waste disposal and collection systems.
on completion, erosion matting to be installed to slopes and disturbed areas for natural revegetation.

project information

building designer:	jennifer binns
accreditation no:	CC 1269L
title reference:	c.t. 180671/6
design wind speed:	N3
soil classification:	P
climate zone:	n/a
bushfire prone BAL rating:	n/a
alpine area:	n/a
corrosion environment:	high
other hazards:	unknown
datum level at kerb:	unknown
ground level:	min. 150 below f.f.l
finished floor level:	3000
overflow relief gully level:	min. 150 below lowest fixture

Building Areas

shed	80.00
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note

these drawings are for permit approval purposes and additional information may be required to inform construction.

drawings are subject to owner discretion.

contractors to verify all matters of specification, finish, selection and appearance with owner prior to commencing work and ensure work carried out is acceptable to owner, including design variation and alternatives.

drawings used for construction must carry building surveyor certification.

contractors and prefabricators shall advise appropriately any omission, apparent error, anomaly or unclarity of all documents applicable to this construction.

builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering.

IF IN DOUBT ASK

proposed shed with amenties

ralph jones + stacey ashley
17 scamander avenue scamander tasmania 7215



www.jenniferbinnsdesign.com.au

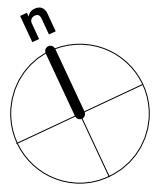
(03) 6376 2588 : 0439 765 452 : jenniferbinns@bigpond.com

suite 8 level 1 avery house, 48 cecilia street, st helens 7216



SCAMANDER AVENUE

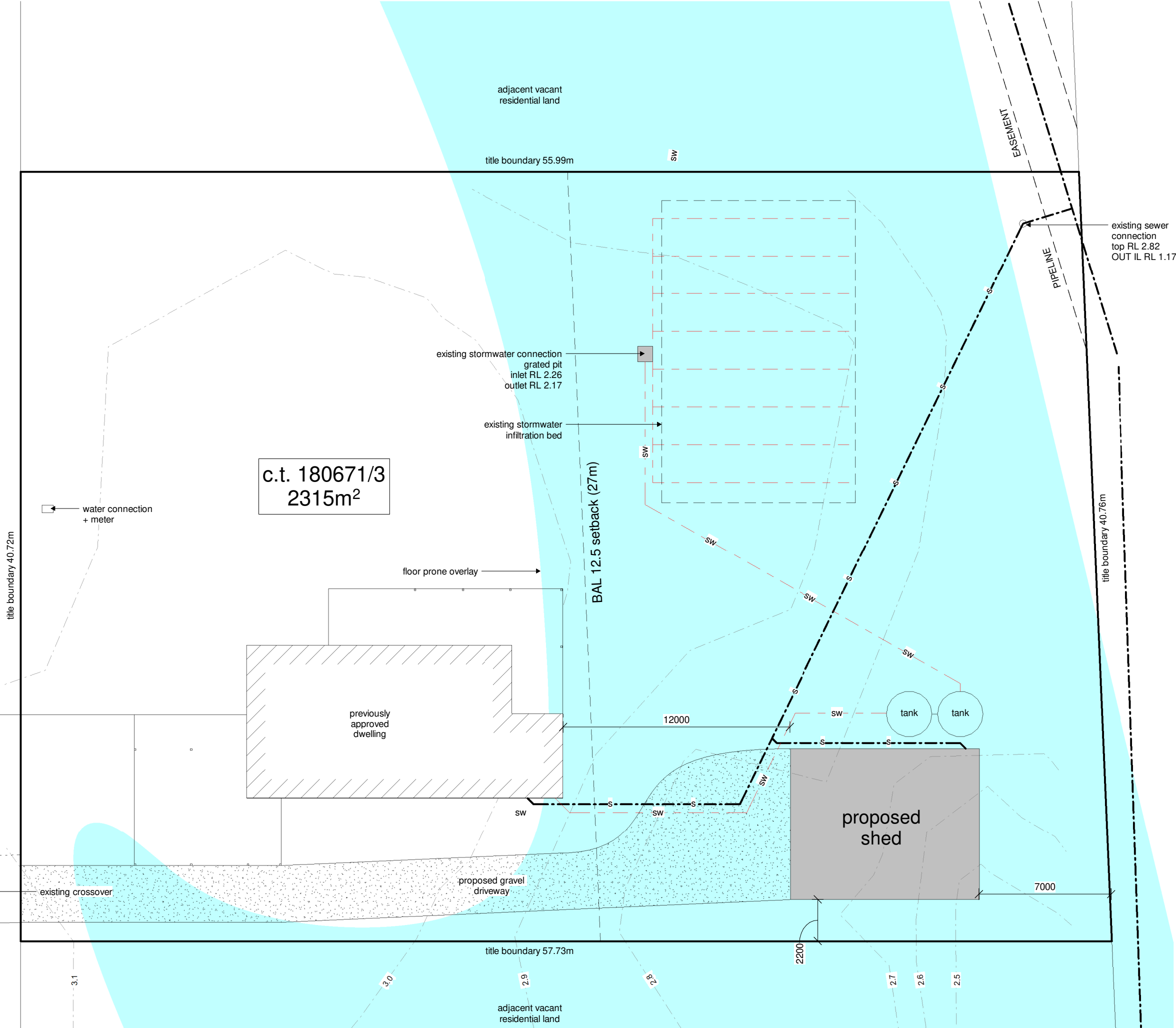
SCAMANDER AVENUE

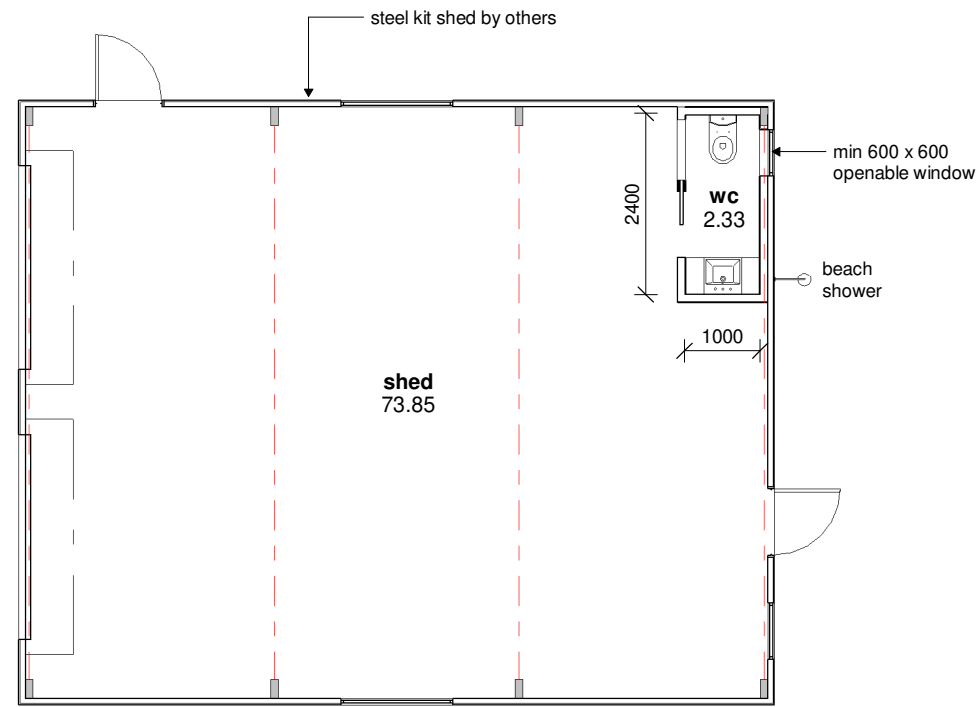
CROWN LAND



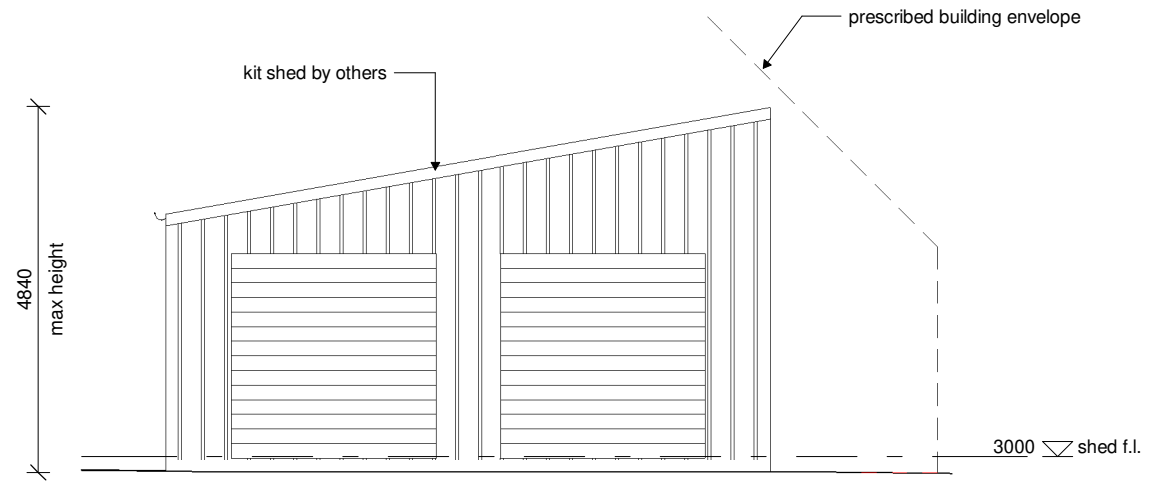
1 site plan
1 : 200

REV:	DESCRIPTION:	DATE:
PROJECT: proposed shed with amenities		
FOR: r jones + s ashley 17 scamander avenue scamander tasmania 7215		
DRAWING TITLE: site plan		
DRAWING NO: a01	DRAWN BY: JB	DATE: 19.03.25
SCALE: 1 : 200	PROJECT: 0325RA	
		
<small>www.jenniferbinnsdesign.com.au (03) 6376 2588 : 0439 765 452 : jenniferbinns@bigpond.com suite 8 level 1 avery house, 48 cecilia street, st helens 7216</small>		
		ACCREDITATION NO: CC 1269L

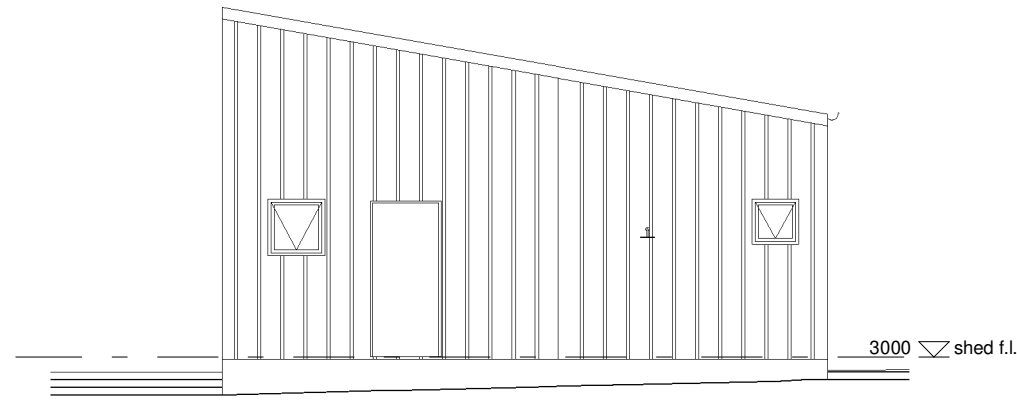




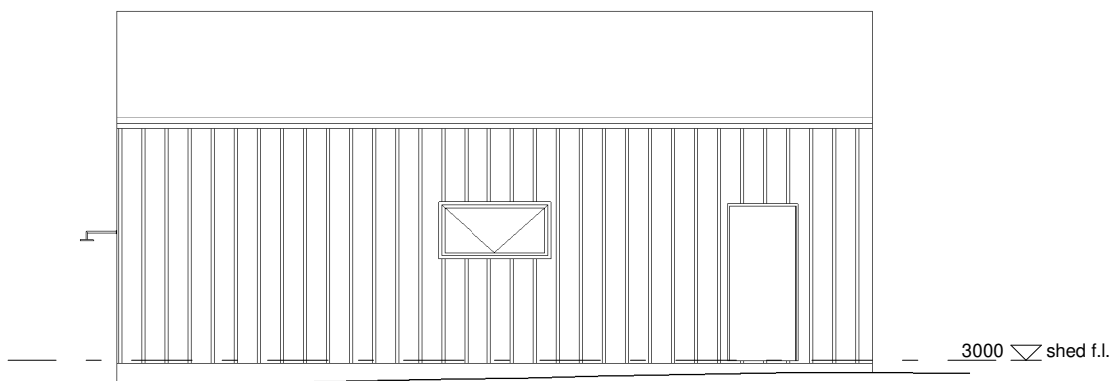
1 proposed shed
1 : 100



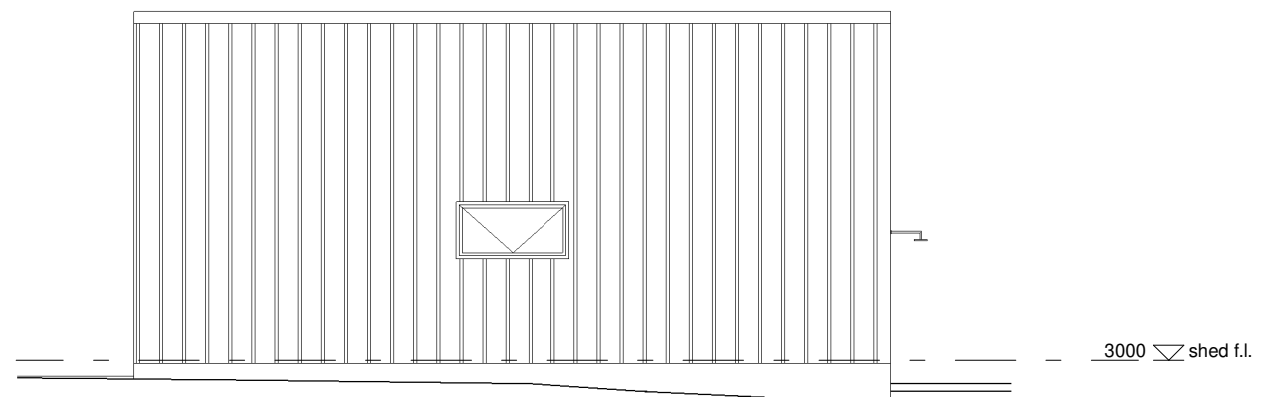
2 shed west
1 : 100



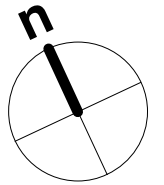
4 shed east
1 : 100





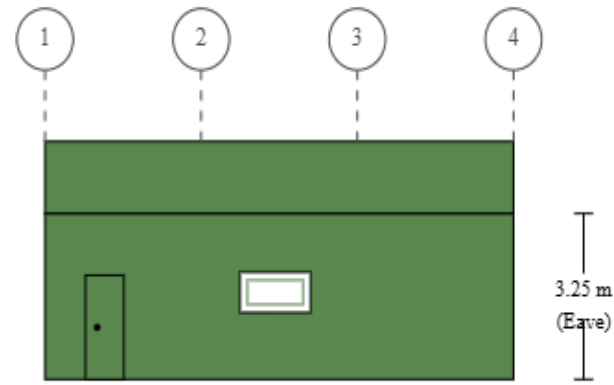
3 shed north
1 : 100



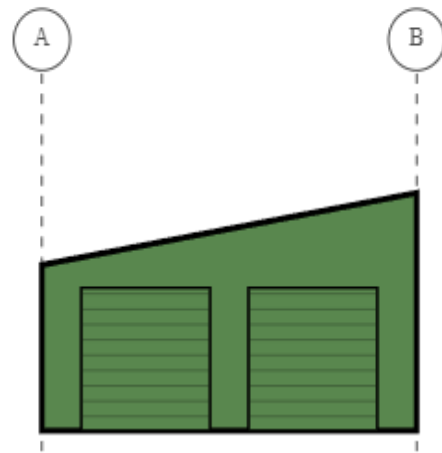
5 shed south
1 : 100



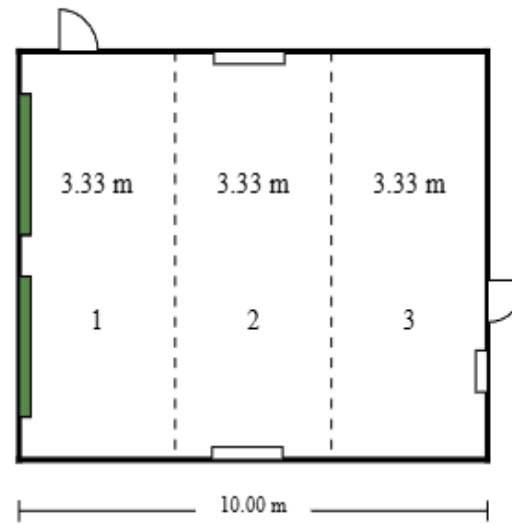
REV:	DESCRIPTION:	DATE:
PROJECT: proposed shed with amenities FOR: r jones + s ashley 17 scamander avenue scamander tasmania 7215		
DRAWING TITLE: proposed shed		
DRAWING NO: a02	DRAWN BY: JB	
	DATE: 19.03.25	
SCALE: 1 : 100	PROJECT: 0325RA	
 www.jenniferbinnsdesign.com.au (03) 6376 2588 : 0439 765 452 : jenniferbinns@bigpond.com suite 8 level 1 avery house, 48 cecilia street, st helens 7216		
 BUILDING DESIGNERS AUSTRALIA		ACCREDITATION NO: CC 1269L



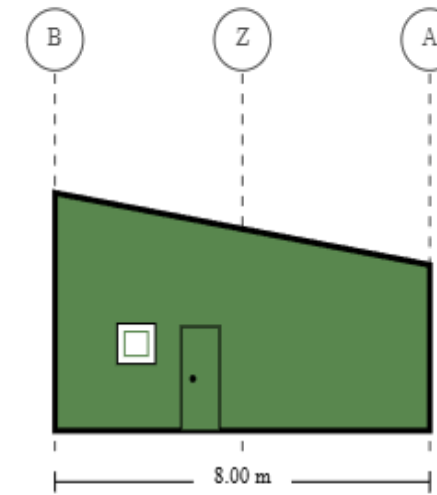
Left Side



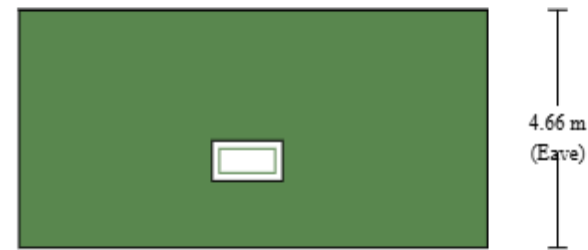
Left End



Right Side



Right End



Purchaser Name: Ralph Jones

Site Address: 17 Scamander Avenue Scamander TAS 7215 Australia

Drawing # rebtl2501009-2

Print Date: 07/02/25

Layout
Not to Scale
© Copyright SteelxIP Pty Ltd

Seller: Sheds n Homes Launceston
Name: Rebecca Thomson
Phone: 0437 120 410
Fax:
Email: rebecca.thomson@shedsnhomes.com.au

proposed shed with amenities

ralph jones + stacey ashley
17 scamander avenue scamander tasmania 7215

planning compliance report

April 8 2025

jennifer binns building design
52 cecilia street st helens tasmania 7216
mail@jenniferbinnsdesign.com.au : 0439 765 452

Introduction

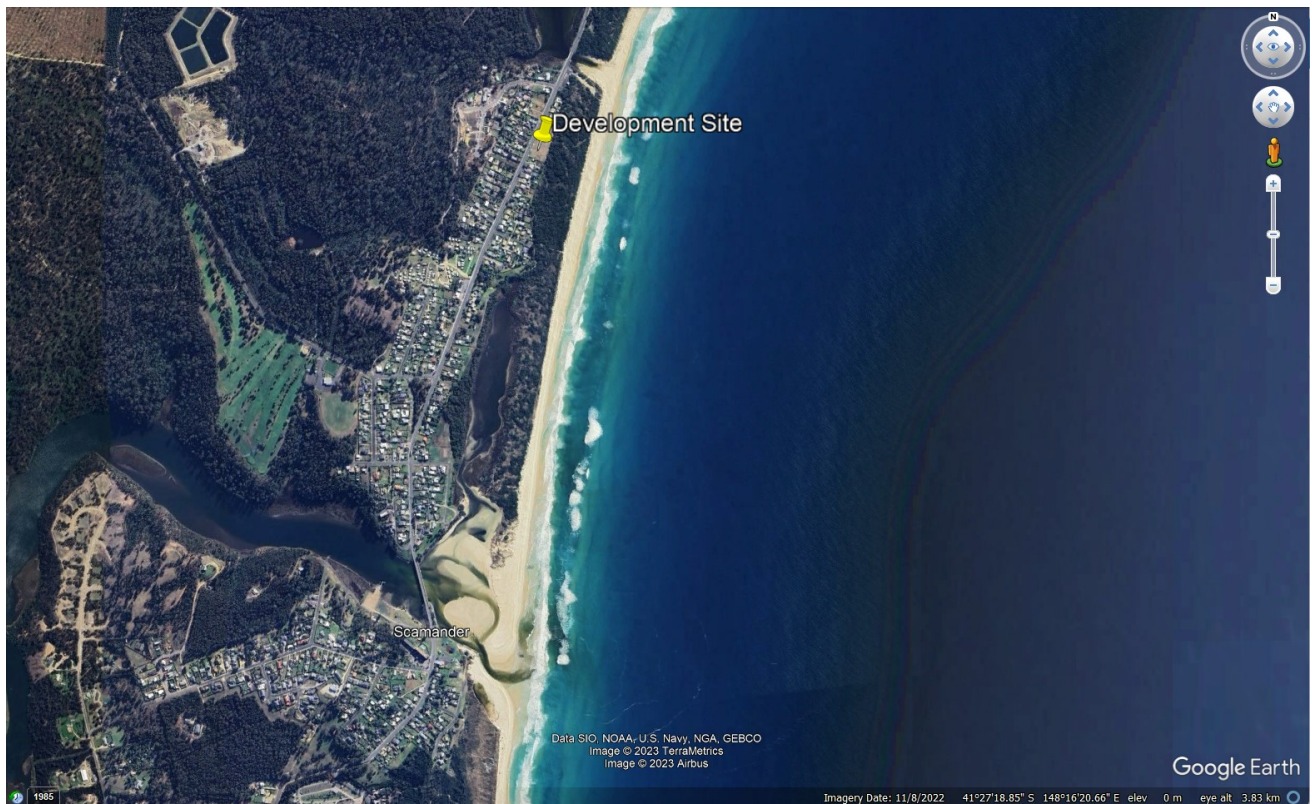
This report aims to demonstrate compliance with relevant planning standards for a proposed shed with amenities for Ralph Jones + Stacey Ashley at 17 Scamander Ave Scamander (c.t.180671/3). The report aims to take into consideration the intent, values and objectives of the Tasmanian Planning Scheme 2013 and address all scheme standards applicable to this development.

The proposed development relies on **Performance Solutions** to satisfy relevant planning standards and is to be read in conjunction with drawings submitted for the development.

Development Site Details

The development site is a residential title within the Scamander township created as part of a recent subdivision and is serviced by existing sewer and stormwater connections. The property is considered flood prone and bushfire prone, however no vegetation removal is required for the proposed development. Approval has previously been granted for a dwelling on the site which included alterations to the vehicle access provisions and no further alterations are proposed as part of this application.

Zone: General Residential



Development Details

The proposed development is a steel kit shed with amenities.

Shed area: 80.0m²

Use Class: Residential

Applicable Planning Codes

The proposed development is in the *Residential* use class which in the *General Residential Zone* is a *No Permit Required* use.

The following zone standards and codes of the Break 'O Day Interim Planning Scheme 2013 are applicable to the proposed development:

- **Zone 8.0 GENERAL RESIDENTIAL ZONE**
- **Code 2.0 PARKING AND SUSTAINABLE TRANSPORT CODE**
- **Code 7.0 NATURAL ASSETS CODE**

The proposed development is an outbuilding and is exempt from Code 12.0 Flood Prone Areas Code

Table 8.3 GENERAL RESIDENTIAL USE STANDARDS

8.3.1 Amenity

A1 Not Applicable

The proposed development is not a *Discretionary* use.

A2 Not Applicable

The proposed development is not a *Discretionary* use.

A3 Not Applicable

The proposed development is not a commercial use.

A4 Not Applicable

The proposed development is not a *Discretionary* use.

8.3.2 Residential Character

A1 Not Applicable

The proposed development is not in the *Visitor Accommodation* use class.

A1 Not Applicable

The proposed development is not in the *Visitor Accommodation* use class.

Table 8.4 GENERAL RESIDENTIAL DEVELOPMENT STANDARDS

8.4.1. Residential density for multiple dwellings

A1 Not Applicable

The proposed development does not include multiple dwellings.

8.4.2 Setback and building envelope for all dwellings

A1 Not Applicable

The proposed development is a shed sited to the rear of the previously approved dwelling.

A2 Acceptable Solution

The proposed shed is sited to the rear of the previously approved dwelling.

A3 Acceptable Solution

- (a) The proposed shed fits within the prescribed building envelope.
- (b) The proposed shed is not within 1.5m of the adjacent side boundary.

8.4.3 Site coverage and private open space for all dwellings

A1 Acceptable Solution

- (a) The site coverage of development is <50% of the lot area.
- (b) The proposed development does not include multiple dwellings.

A2 Acceptable Solution

Adequate private open space is maintained for the previously approved dwelling.

8.4.4 Sunlight to private open space of multiple dwellings

A1 Not Applicable

The proposed development does not include multiple dwellings.

8.4.5 Width of openings for garages and carports for all dwellings

A1 Not Applicable

The proposed shed is not within 12m of a frontage.

4.6 Privacy for all dwellings

A1 Not Applicable

The proposed development does not include a new floor level >1m above natural ground level.

A2 Not Applicable

The proposed development does not include a new floor level >1m above natural ground level.

A3 Not Applicable

The proposed development does not include a shared driveway.

8.4.7 Frontage fences for all dwellings

A1 Not Applicable

Fencing is not proposed as part of this application.

8.4.8 Waste storage for multiple dwellings

A1 Not Applicable

The proposed development does not include multiple dwellings.

Table 8.5 DEVELOPMENT STANDARDS FOR NON DWELLINGS

Not Applicable

The proposed development is shed associated with a single dwelling.

Table 8.6 DEVELOPMENT STANDARDS FOR SUBDIVISION

Not Applicable

No subdivision of land is proposed.

Table C2.5 CAR PARKING USE STANDARDS

C2.5.1 Car parking numbers

Not Applicable

The proposed shed does not require provision of specific parking spaces.

C2.5.2 Bicycle parking numbers

Not Applicable

The proposed development does not require the provision of bicycle parking.

C2.5.3 Motorcycle parking numbers

Not Applicable

The proposed development does not require the provision of motorcycle parking.

C2.5.4 Loading bays

Not Applicable

The proposed development does not require provision of a loading bay.

C2.5.5 Number of car parking spaces within the General Residential zone and Inner Residential zone

Not Applicable

The proposed shed does not require provision of specific parking spaces.

Table C2.6 CAR PARKING DEVELOPMENT STANDARDS

C2.6.1 Construction of parking areas

P1 Performance Solution

The proposed driveway servicing the shed will be compacted gravel drained to adjacent vegetated areas. The shed driveway is a secondary driveway, the primary driveway servicing the dwelling for daily vehicle movements will be sealed and the existing sealed apron between the property boundary and the carriageway will reduce tracking of gravel onto Scamander Avenue.

C2.6.2 Design and layout of parking areas

A1 Acceptable Solution

The layout of the development site facilitates forward egress into Scamander Avenue with turning area between the dwelling and the shed.

A1.2 Not Applicable

No accessible parking is required for the proposed development.

C2.6.3 Number of accesses for vehicles

A1 Acceptable Solution

The proposed development has one access point only.

A2 Not Applicable

The development site is in the *General Residential* zone.

C2.6.4 Lighting of parking areas within the Gen. Business zone and Central Business zone

A1 Not Applicable

The development site is in the *General Residential* zone.

C2.6.5 Pedestrian Access

A1.1 Not Applicable

The proposed development does not require the provision of pedestrian access paths.

A1.2 Acceptable Solution

The proposed development does not require the provision of accessible parking.

C2.6.6 Loading bays

A1 Not Applicable

The proposed development does not require the provision of a loading bay.

A2 Not Applicable

There are no commercial vehicles associated with the proposed development.

C2.6.7 Bicycle parking and storage facilities within the Gen. Business zone and Central Business zone

A1 Not Applicable

The proposed development does not require the provision of bicycle parking.

A2 Not Applicable

The proposed development does not require the provision of bicycle parking.

C2.6.8 Siting of parking and turning areas

A1 Not Applicable

The development site is in the *General Residential* zone.

A2 Not Applicable

The development site is in the *General Residential* zone.

Table C2.7 PARKING PRECINCT PLAN

C2.7.1 Construction of parking areas

A1 Not Applicable

The development site is not within a parking precinct plan.

Table C7.6 NATURAL ASSETS CODE DEVELOPMENT STANDARDS

C7.6.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area

P1.1 Performance Solution

The development site was created as part of a recent subdivision approved for serviced residential development. No removal of vegetation is required and minor earthworks only are proposed to create level building pads, no cut and fill is proposed. The proposed development is not considered to have an adverse impact on the natural values of the site.

P1.2 Not Applicable

The proposed development is not within the spatial extent of tidal waters.

A2 Not Applicable

The proposed development is not within a future coastal refugia area.

A3 Not Applicable

No new stormwater discharge point is proposed.

A4 Not Applicable

No dredging or reclamation is proposed.

A5 Not Applicable

No coastal protection or watercourse erosion works are proposed.

C7.6.2 Clearance within a priority vegetation area

A1 Not Applicable

No vegetation removal is required for the proposed development.

Table C7.7 NATURAL ASSETS CODE SUBDIVISION STANDARDS

Not Applicable

No subdivision of land is required.