

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00053
Applicant	D Nickson
Proposal	Resource Development - Construction of Two Sheds
Location	20 Deals Road, Douglas River (CT176009/1 & CT176012/1)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

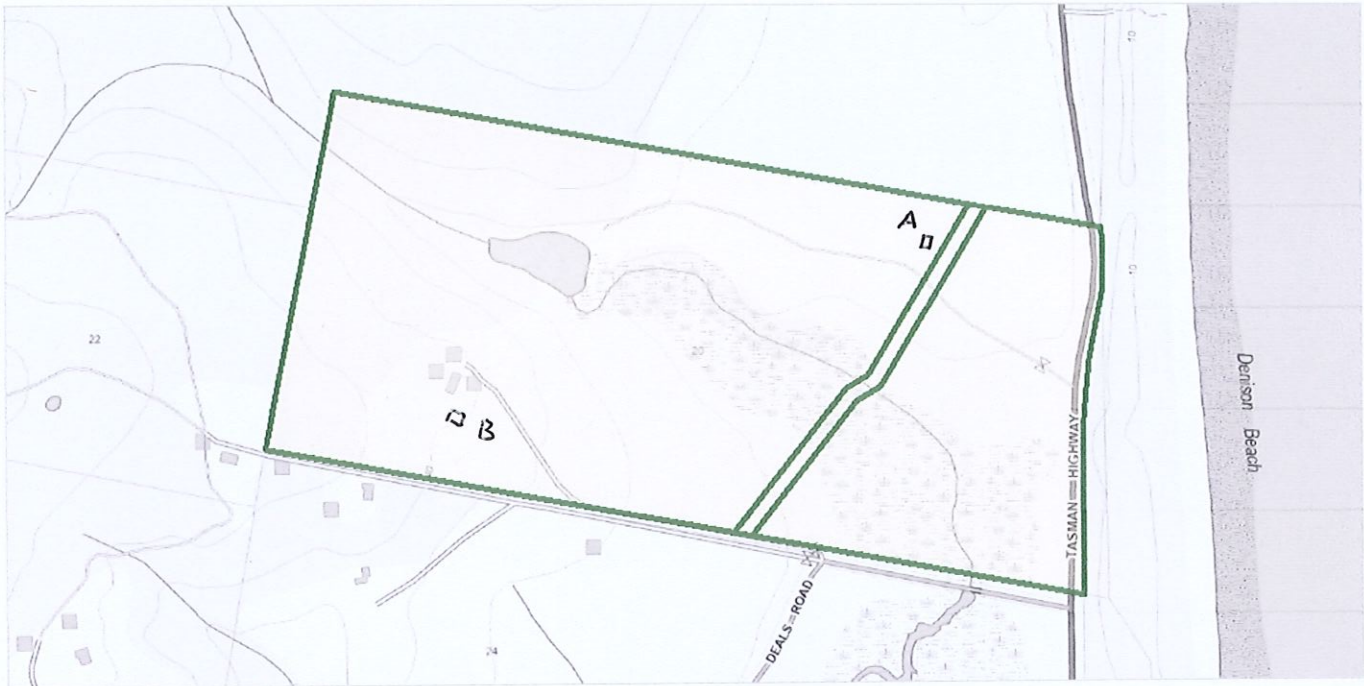
Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 4th July, 2026 **until 5pm Friday 17th July, 2026.**

John Brown
GENERAL MANAGER

SCALE 1 - 3404



Property report for 20 DEALS RD DOUGLAS RIVER TAS 7215



Property Identification Number

6408955

Locality

Douglas River

Planning Zones

Utilities, Landscape Conservation

Total Area

221495 sqm

Certificate of Title Reference (Volume/Folio)

176009/1, 176012/1

Municipality

Break O'Day

Planning Codes Overlay

Priority vegetation area, Waterway and coastal protection area, Coastal inundation investigation area, Bushfire-prone areas, Scenic road corridor, Flood-prone areas, Low landslip hazard band

Planning Scheme

Tasmanian Planning Scheme

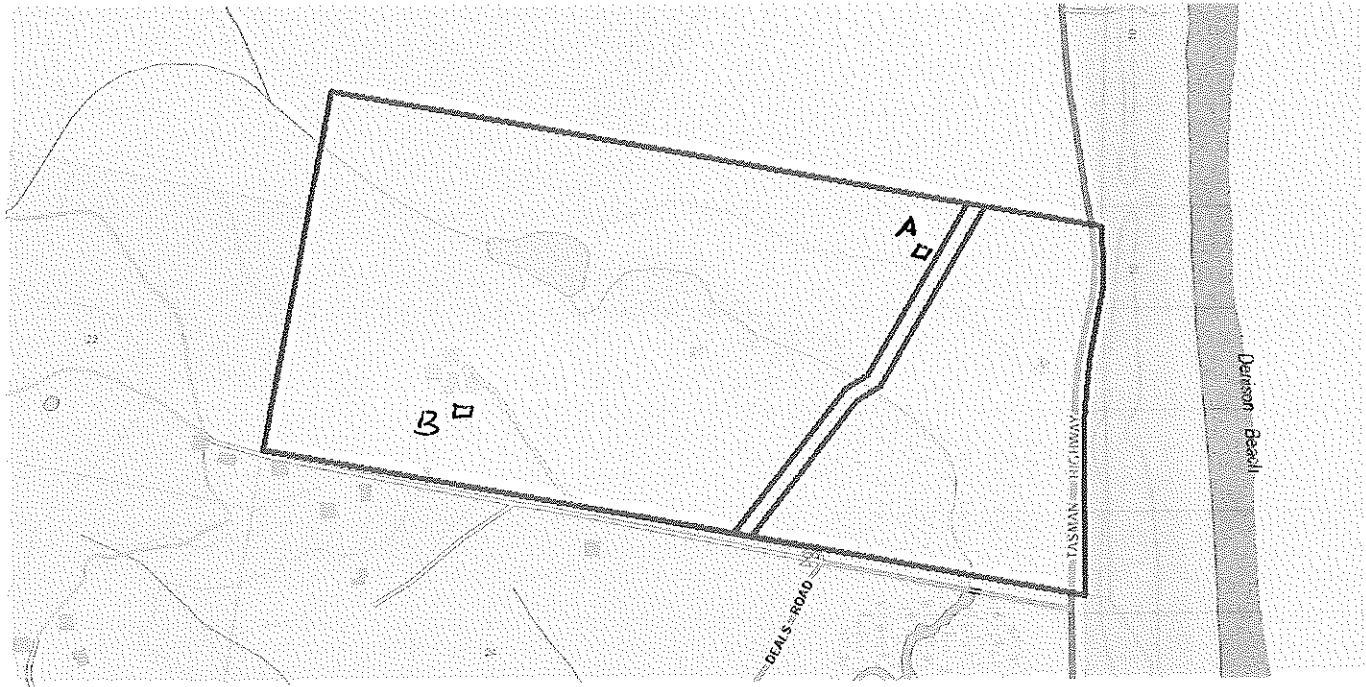
This property is in the **Utilities, Landscape Conservation** planning zones under the Tasmanian Planning Scheme.

The Tasmanian Planning Scheme consists of state wide provisions to ensure consistency across Tasmania, and local provisions which spatially apply those through zoning maps along with specific provisions for unique places in each municipality to address local issues.

PROPOSAL TO ERRECT TWO FARM SHEDS WITHIN THE BOUNDARIES OF OUR PROPERTY, APPROXIMATE LOCATIONS SHOWN ON PLAN. SHED A AND SHED B.
 SHED A 6M X 6M FARM SHED USED FOR STOCK FEED, FERTILIZER AND SMALL FARM IMPLEMENTS
 SHED B 9M X 14M FARM SHED USED FOR STORAGE OF TRACTOR AND OTHER FARM EQUIPMENT.

Location Information

Planning Zone

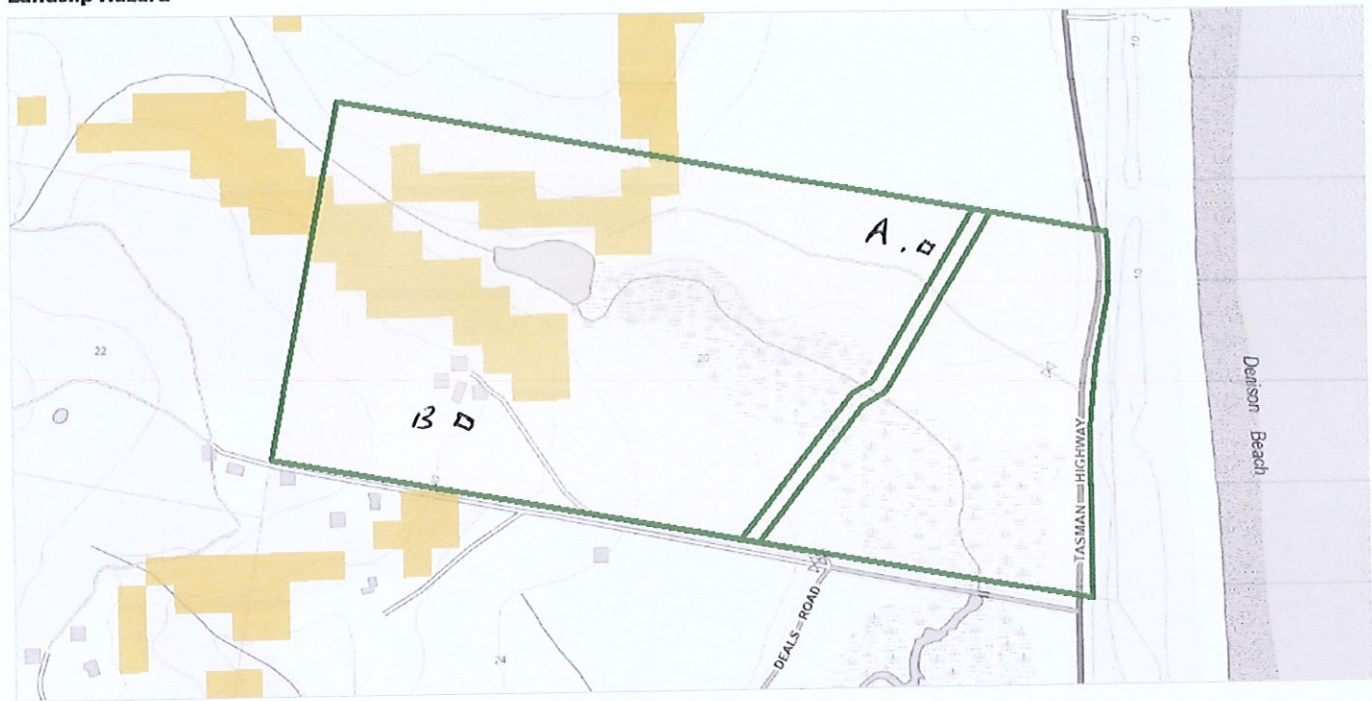


Tasmanian Planning Zone

Zone Number	22
Zone	Landscape Conservation
Zone Number	26
Zone	Utilities

BOTH SITES ARE WITHIN THE PLANNING ZONE BOUNDARIES OF OUR PROPERTY

Landslip Hazard



Landslip hazard bands: Colour coding

The coloured areas on the map represent the relevant Landslip Hazard Bands. The Low Risk Hazard Band is yellow, the Medium Risk Hazard Band is orange, the Medium to Active Hazard Band is purple and the High Hazard Band is Red. The presence of a Hazard Code on the property may affect the planning and building approvals required for development.

Hazard Band	Low
Hazard Exposure	This area has no known active landslides, however it has been identified as being susceptible to landslide by Mineral Resources Tasmania (MRT).

BOTH FARM STRIPS ARE CLEAR OF ANY LANDSLIP HAZARDS

Coastal Inundation Hazard

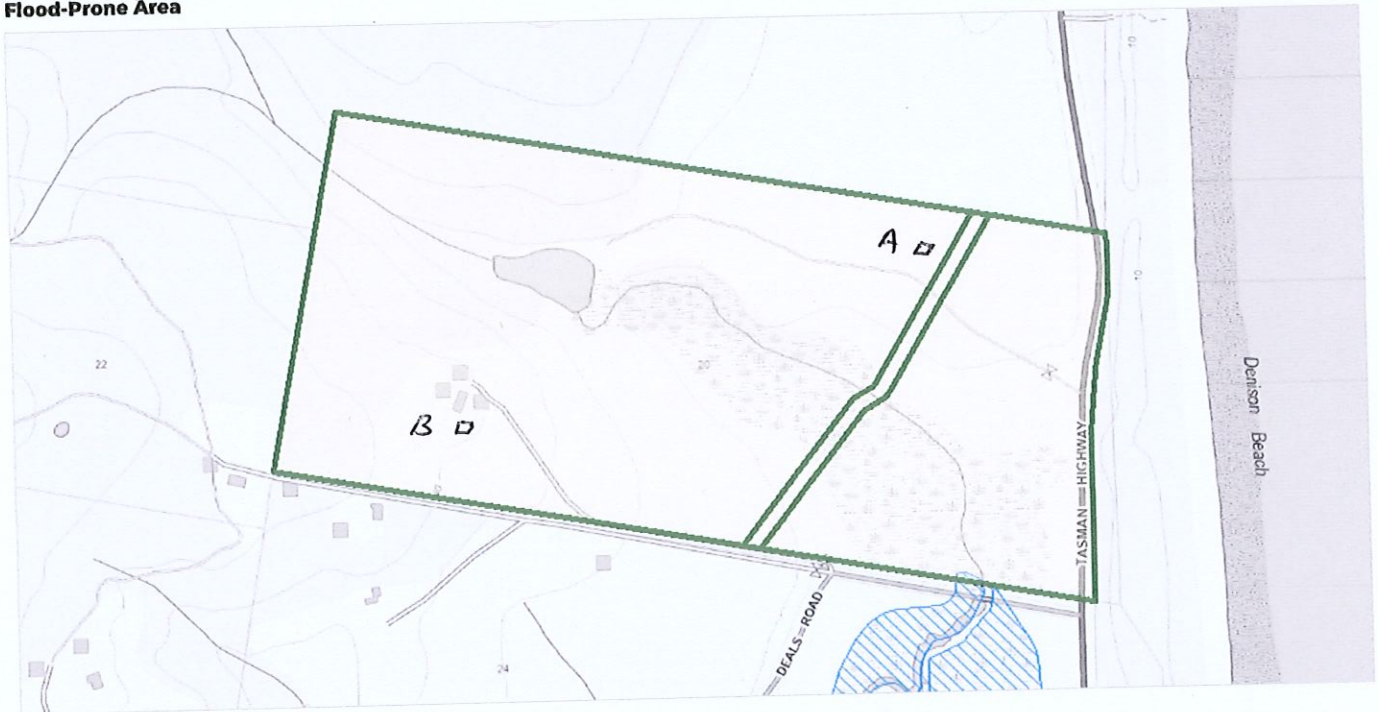


Coastal inundation hazard: All

The Coastal Inundation Hazard Code is applied by reference to the coastal inundation hazard area overlay, which includes land within the High coastal inundation hazard band (Mean high tide plus sea level rise in 2050, rounded up to the nearest 0.1m). The presence of a Hazard Code on the property may affect the planning and building approvals required for development.

Overlay Name Coastal inundation investigation area

Flood-Prone Area



Flood-prone areas

The flood-prone hazard area overlay is applied to areas known to be prone to flooding, particularly areas known to be within the 1 per cent annual exceedance probability (AEP) level.

Overlay Name Flood-prone areas

BOTH FARM SHEDS ARE CLEAR OF COASTAL INUNDATION AND FLOOD PRONE AREAS.

Waterway and Coastal Protection Area



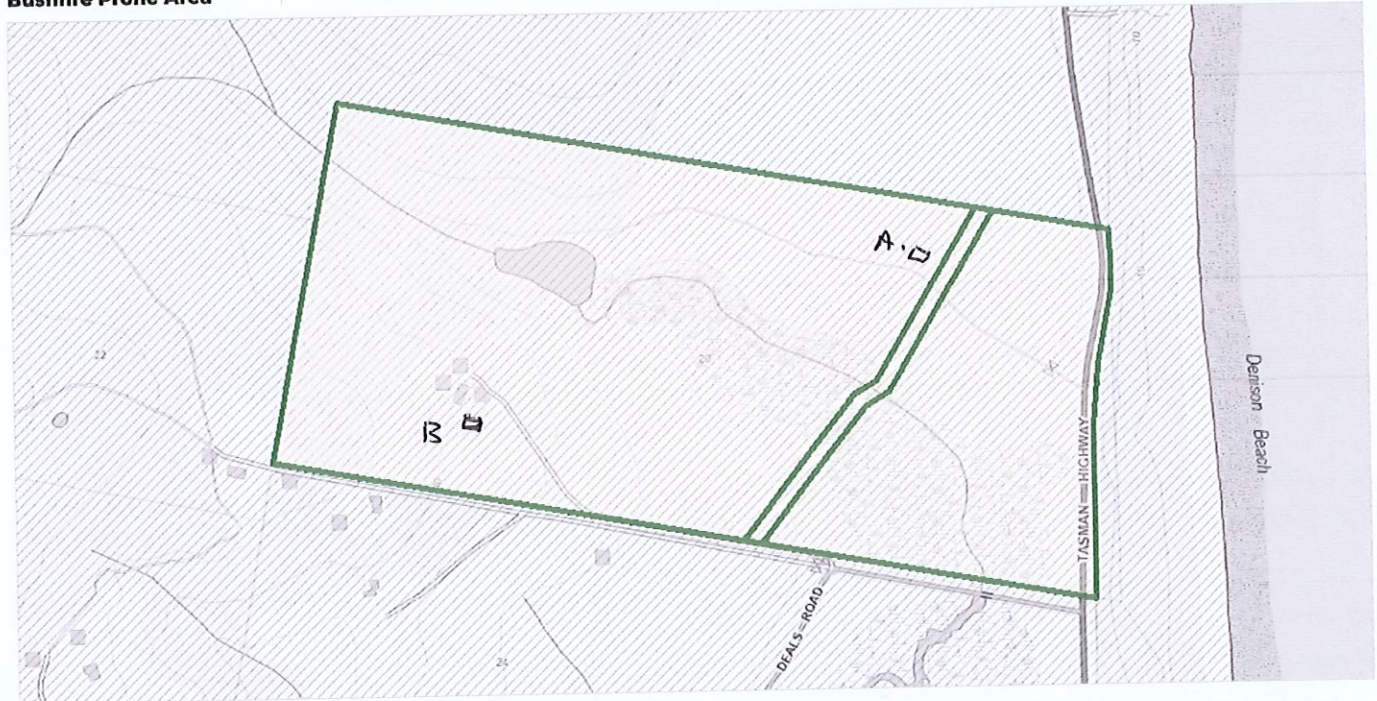
BOTH FARM SITES ARE CLEAR OF WATERWAY AND COASTAL PROTECTION AREAS.

Waterway and coastal protection area

The waterway and coastal protection area overlay includes land within a specified buffer distance from Class 1 to 4 watercourses and wetlands, including Ramsar wetlands. Class 1 watercourses include lakes and tidal waters.

Overlay Name Waterway and coastal protection area

Bushfire Prone Area



Bushfire-prone areas

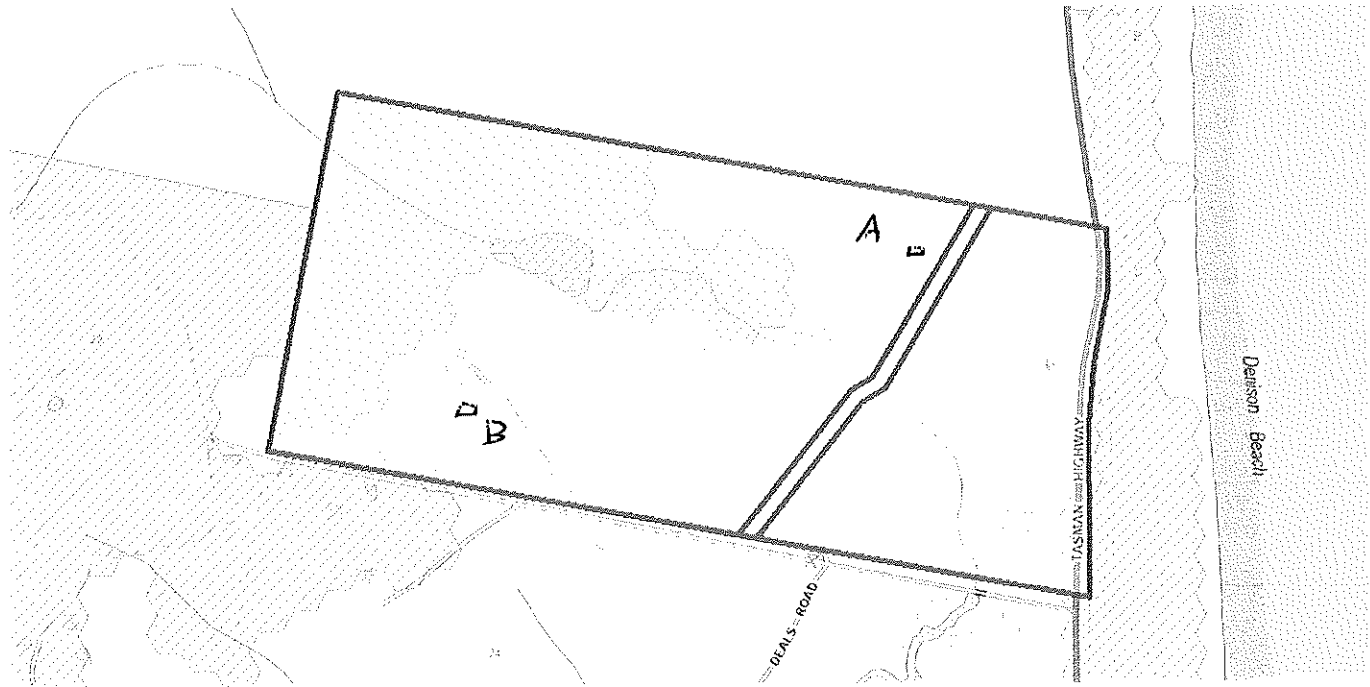
The bushfire-prone area overlay applies in accordance with any overlay map approved by the Tasmania Fire Service for the relevant municipal area. The purpose of the bushfire prone code is to ensure that use and development is appropriately designed, located, serviced, and constructed, to reduce the risk to human life and property, and the cost to the community, caused by bushfires.

Overlay Name Bushfire-prone areas

SITE B IS WITHIN MY FIRE HAZARD FUEL REDUCTION ZONE AROUND HOUSES FURTHER FUEL REDUCTION OF TUSSE GRASS AND DEAD WOOD AROUND SITE. SITE A IS LOCATED IN THE Paddock, FIRE HAZARD WILL BE MANAGED THROUGH GRAZING, WATER TANK 25,000 LT FOR STOCK AND DOMESTIC AND FIRE FIGHTING.

24/02/2026 10:33AM

Priority Vegetation Area



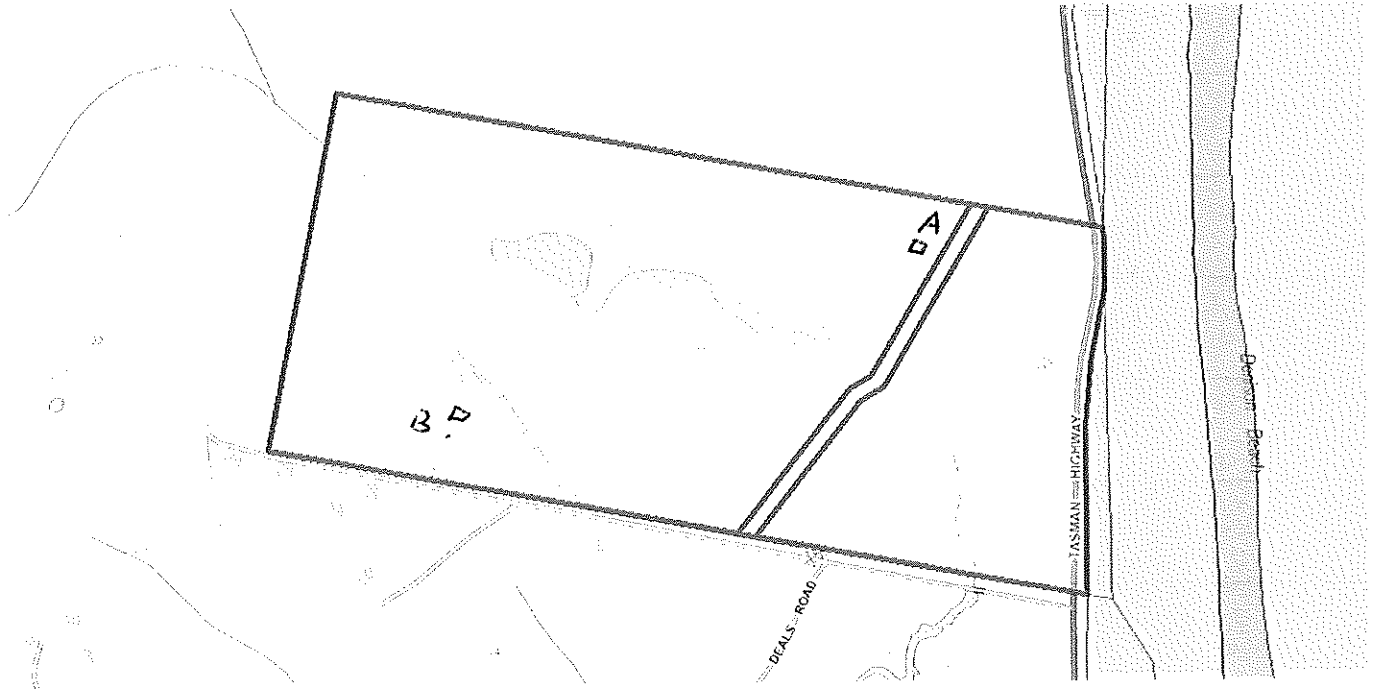
Priority vegetation area

The priority vegetation area overlay is intended for native vegetation that forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the Nature Conservation Act 2002 or is a threatened flora/fauna species.

Overlay Name	Priority vegetation area
Description	Alterations of electronic planning map made under s.800 of LUPAA
Overlay Name	Priority vegetation area

BOTH FARM SHEDS ARE CLEAR OF PRIORITY VEGETATION AREAS.

Crown or Council Land on or adjoining the property



Crown or Council Land on or adjoining the property

Crown Land Authority includes land owned, vested or managed by a Commonwealth, State or Local Government Authority or Government Business Enterprise. Categories include Housing Tasmania, Hydro Tasmania, Councils, Education, Forestry Tasmania, TAS Water and more. This may include properties adjoining land owned by the Crown or the Council.

Tenure Type Crown Land
Authority Type Parks and Wildlife Service

*BOTH SHEDS ARE WITHIN OUR PROPERTY BOUNDARIES.
CLEAR OF ANY INTERFERENCE FROM OTHER
PROPERTIES OR CROWN OR COUNCIL LANDS.*

Scenic Road Corridor



Scenic road corridor

The scenic road corridor overlay is applied to land identified at the local or regional level as important for the protection of scenic values.

Description Tasman Highway - Great Eastern Drive

Overlay Name Scenic road corridor

LPS Reference BRE-C8.2.1

BOTH FARM SITES ARE CLEAR OF SCENIC CORRIDOR.

Council Details

The local council where your property is located can provide advice on a proposed project.

Consult

Break O'Day Council

Mailing address

32-34 Georges Bay Esplanade
St Helens Tasmania 7216

Work: (03) 6376 7900

Disclaimer

This enquiry tool is a guide only and is not a substitute for professional advice.

This enquiry tool only provides information for common developments undertaken individually, for example, building a deck.

The Tasmanian Planning Commission, a court, council or other relevant authority may have an interpretation of the law that is different from the information provided as part of this enquiry tool.

You should always confirm that you are permitted to commence a development by contacting a relevant authority who may be:

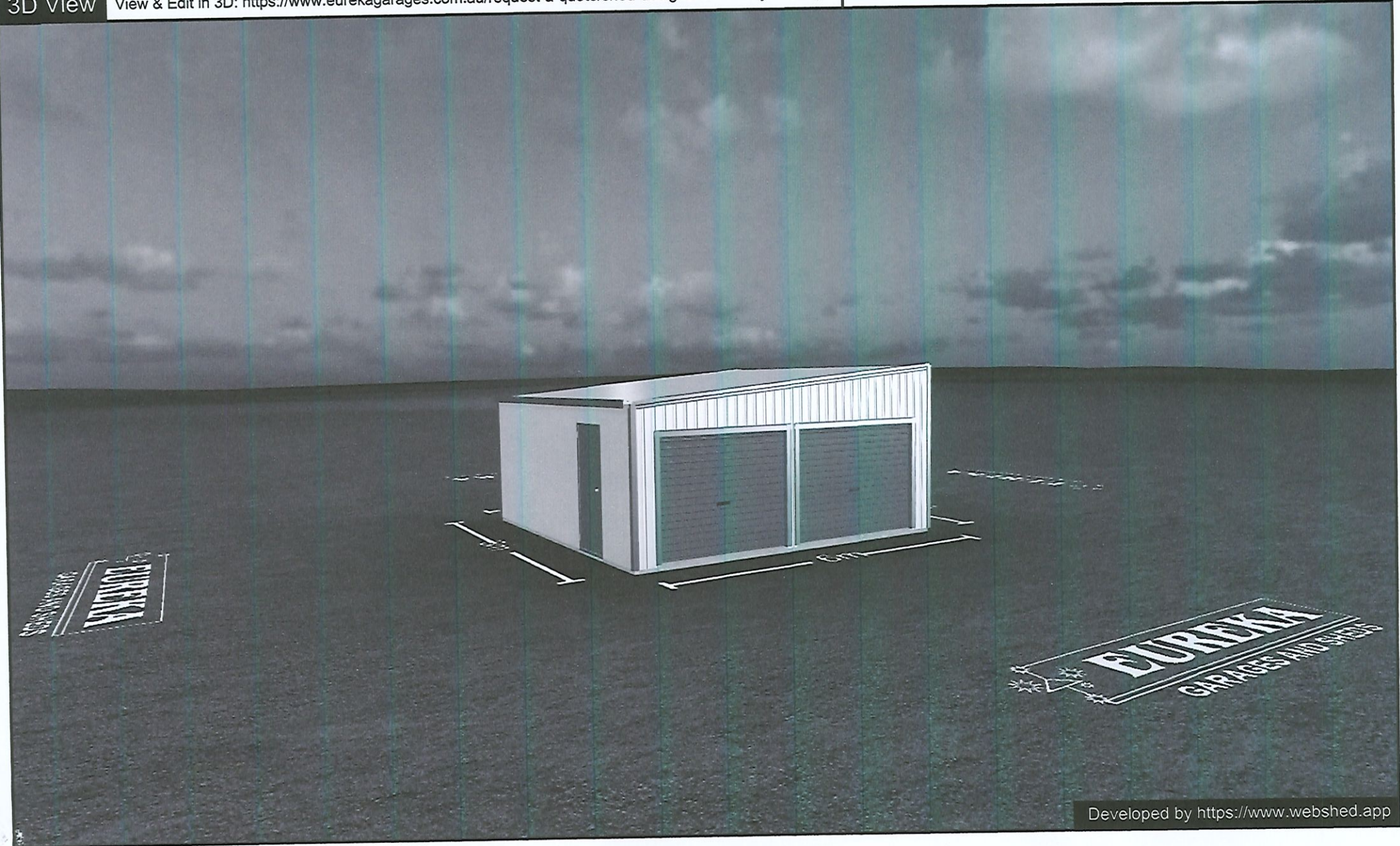
- the local council; or
- an independent Licensed Professional



<https://eurekagarages.com.au>
quotes@eurekagarages.com.au
03 9314 1245
208 Fairbairn Rd
Sunshine West VIC 3020



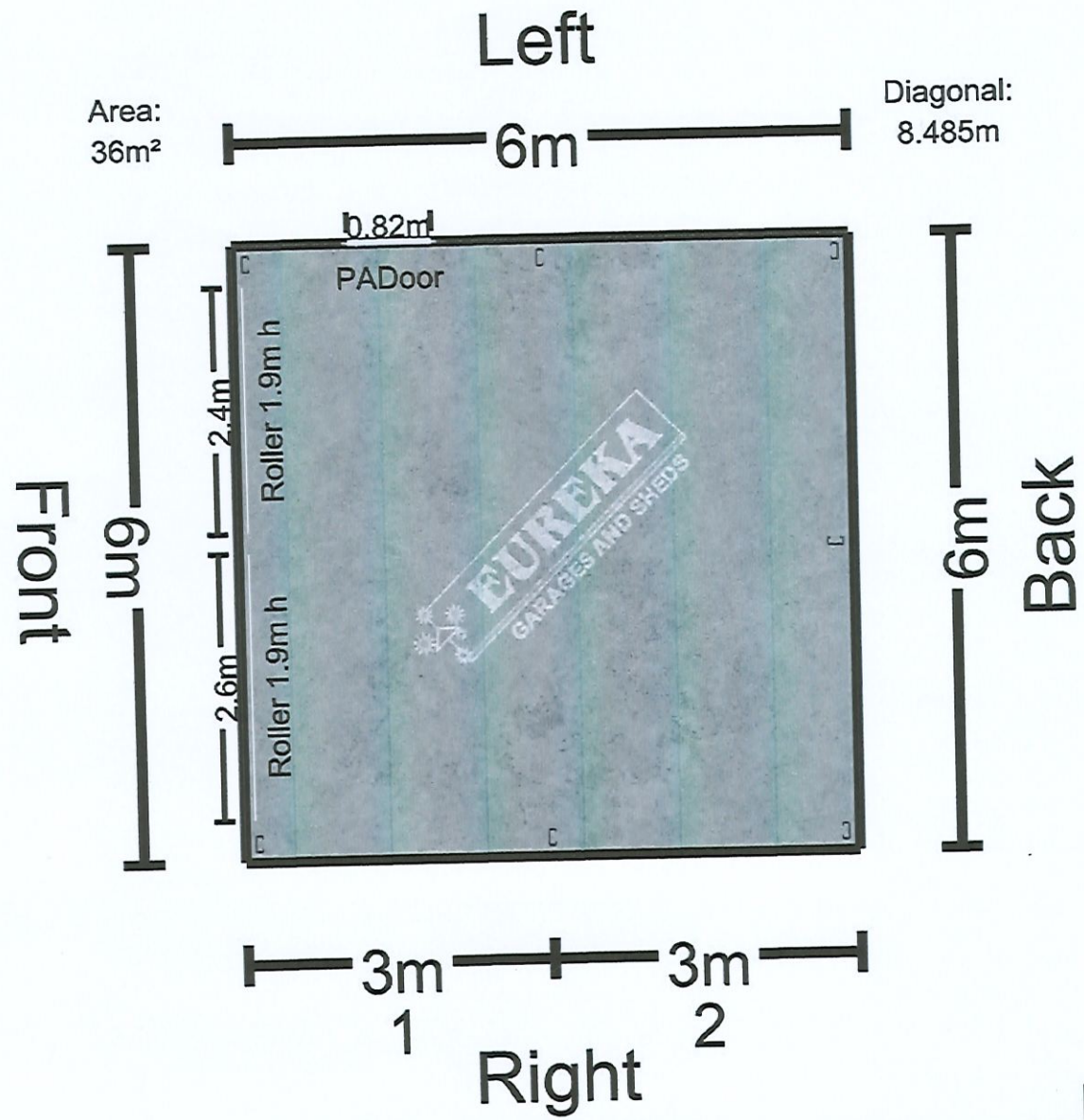
3D View View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#LHjvlArkukp/0>



Developed by <https://www.webshed.app>



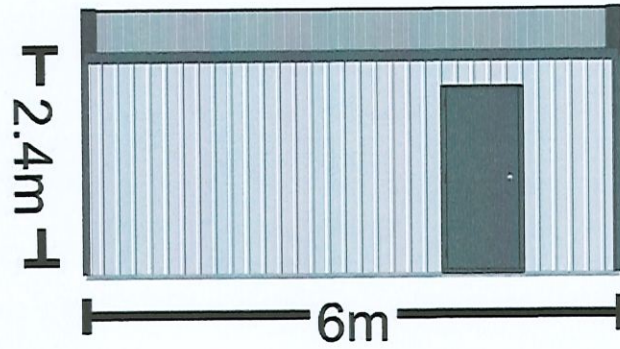
Floor Plan View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#LHjvlArkukp/0>



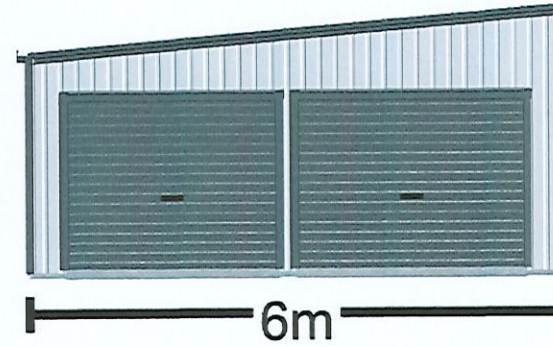


Elevations

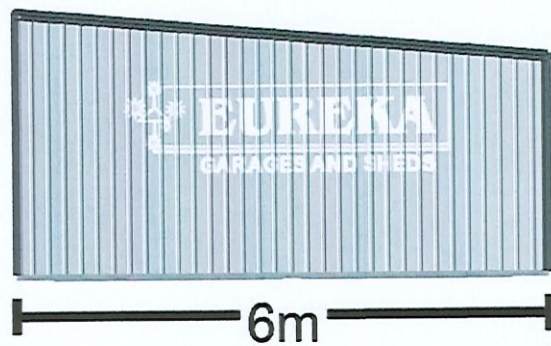
View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#LHjvlArkukp/0>



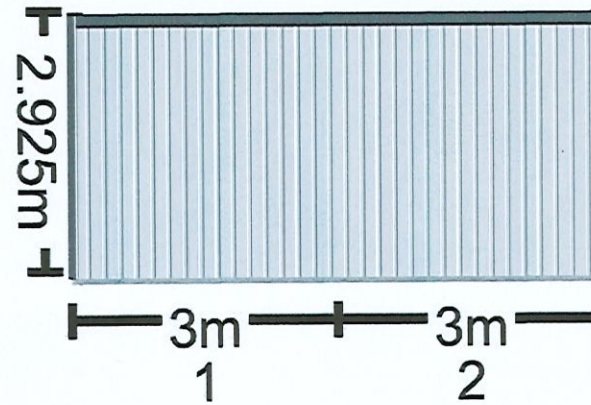
Left



Front



Back



Right



ON BEAM Pty Ltd
 115 Lloyds Lane, Napoleons, 3352
 e-mail: admin@onbeam.com.au
 Phone: 03 5342 0149

Project:	Eureka Garages - Standard Shed Range
Computation ref:	Computation_V20210530

Date Prepared:	30-May-21
Page count	2

COMPUTATIONS FOR EUREKA GARAGES SHEDS

Applicable to:

Gable Sheds and Carports	Roof pitch 11 to 20 degrees
	Portal spans up to 15m
	Bay spacings up to 6m

Skillion Sheds and Carports	Roof pitch 5 to 11 degrees
	Portl spans up to 12m
	Bay spacings up to 6m

Loading			
G	0.1	kPa	(metal sheeting and purlins)
Q	0.25	kPa	

Wind Loads			
Region	A		
qz	TC3	0.84	kPa
	TC2.5	0.92	kPa
	TC2	1.01	kPa

Steel Frame Sections

Section	fy	Ag	f Msx	f Msy	f Ns
RHS	MPa	mm2	kNm	kNm	kN
150x50x2	450	774	12.8	3.09	173.4
150x50x3	450	1140	20.82	5.87	329.2
150x50x4	450	1480	26.49	9.19	525.7
185x65x3	450	1440	32.97	8.87	380.3
200x100x4	450	2280	58.32	23.49	687.9

Section	fy	Ag	f Msx	f Msy	f Ns
C-Sections	MPa	mm2	kNm	kNm	kN
C 150-15	450	443	7.36	2.97	151
C 150-19	450	561	9.56	3.76	198

Purlin Sections

Section	fy	Ag	f Msx	f Msy	f Ns
Tophats	MPa	mm2	kNm	kNm	kN
75 075	550	161	1.5	1.21	75.3
75 100	550	215	1.99	1.62	100.5
120 100	550	340	4.87	3.91	158.9

Joint Capacity

	f Msx kNm		f Msx kNm	f Msx kNm
Double Brackets	9.36	12PL, M12 8.8 Bolts, 150 RHS	18.7	12PL, 4/M16 8.8 Bolts, 200 RHS
Single Knee Brace	8.72	12PL, M16 8.8 Bolts, 150 RHS	35	12PL, 6/M16 8.8 Bolts, 200 RHS
Double Knee Brace	17.4	12PL, M16 8.8 Bolts, 185 RHS	42.4	12PL, M20 8.8 Bolts, 200 RHS

	f N kN	f V kN
4xM12 Dynabolts h,e = 50mm	29.9	14.5
4xM12 Chemsets h=100mm,e=50mm	49	12.2
4xM12 J bolts	107.5	60.5
4xM16 J bolts	201	114.3

Footings

at 100kPa, f=30d

Diam m	Depth m	Bearing kN	Uplift kN	Moment kNm
0.3	0.6	7.1	4.1	0.9
0.3	0.7	7.1	5.7	1.5
0.3	0.8	7.1	7.7	2.2
0.3	0.9	7.1	10.1	3.1
0.3	1	7.1	12.9	4.3
0.3	1.1	7.1	16.2	5.7
0.3	1.2	7.1	19.9	7.5
0.375	0.6	11.0	5.2	1.2
0.375	0.7	11.0	7.0	1.9
0.375	0.8	11.0	9.3	2.8
0.375	0.9	11.0	11.9	3.9
0.375	1	11.0	15.1	5.4
0.375	1.1	11.0	18.7	7.2
0.375	1.2	11.0	22.9	9.3
0.45	0.6	15.9	6.3	1.4
0.45	0.7	15.9	8.4	2.2
0.45	0.8	15.9	11.0	3.3
0.45	0.9	15.9	14.0	4.7
0.45	1	15.9	17.4	6.5
0.45	1.1	15.9	21.5	8.6
0.45	1.2	15.9	26.0	11.2
0.45	1.3	15.9	31.2	14.2
0.45	1.4	15.9	37.0	17.8
0.45	1.5	15.9	43.5	21.9

Diam m	Depth m	Bearing kN	Uplift kN	Moment kNm
0.6	0.6	28.3	9.0	1.9
0.6	0.7	28.3	11.7	3.0
0.6	0.8	28.3	14.9	4.4
0.6	0.9	28.3	18.6	6.3
0.6	1	28.3	22.9	8.6
0.6	1.1	28.3	27.7	11.5
0.6	1.2	28.3	33.1	14.9
0.6	1.3	28.3	39.2	19.0
0.6	1.4	28.3	45.9	23.7
0.6	1.5	28.3	53.4	29.2
0.6	1.6	28.3	61.7	35.4
0.6	1.7	28.3	70.7	42.4
0.6	1.8	28.3	80.6	50.4
0.75	1	44.2	29.1	10.8
0.75	1.1	44.2	34.8	14.4
0.75	1.2	44.2	41.2	18.7
0.75	1.3	44.2	48.3	23.7
0.75	1.4	44.2	56.1	29.6
0.75	1.5	44.2	64.7	36.5
0.75	1.6	44.2	74.0	44.2
0.75	1.7	44.2	84.3	53.1
0.75	1.8	44.2	95.4	63.0

Mullions

Terrain Category	Height m	Maximum Mullion Spacing, $F_y = 450$ Mpa															
		Maximum allowable: 6 m										C150-15		C150-19			
		150X50x2.0		150X50x3.0		150X50x4.0		185X65x3.0		200X100x4.0		X	Y	X	Y		
X	Y	X	Y	X	Y	X	Y	X	Y	X	Y	X	Y				
TC3	3	6.0000	3.2860	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	3.5789	2.1075	4.7895	2.7784	
	3.5	6.0000	2.4142	6.0000	4.5819	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	2.0208	1.5484	2.6450	2.0413	
	4	6.0000	1.8484	6.0000	3.5080	6.0000	5.4918	6.0000	5.2983	6.0000	6.0000	6.0000	1.2007	1.1855	1.5770	1.5629	
	4.5	6.0000	1.4604	6.0000	2.7718	6.0000	4.3392	6.0000	4.1863	6.0000	6.0000	6.0000	-	-	-	-	
	5	4.8928	1.1829	6.0000	2.2451	6.0000	3.5148	6.0000	3.3909	6.0000	6.0000	6.0000	-	-	-	-	
	5.5	4.0437	-	6.0000	1.8555	6.0000	2.9048	6.0000	2.8024	6.0000	6.0000	6.0000	-	-	-	-	
	6	3.3978	-	5.5268	1.5591	6.0000	2.4408	6.0000	2.3548	6.0000	6.0000	6.0000	-	-	-	-	
	6.5	2.8952	-	4.7092	1.3285	5.9919	2.0798	6.0000	2.0065	6.0000	5.3139	6.0000	6.0000	-	-	-	-
	7	2.4963	-	4.0605	1.1455	5.1665	1.7933	6.0000	1.7301	6.0000	4.5819	6.0000	6.0000	-	-	-	-
	7.5	2.1746	-	3.5371	-	4.5006	1.5621	5.6016	1.5071	6.0000	3.9913	6.0000	6.0000	-	-	-	-
8	1.9113	-	3.1088	-	3.9556	1.3730	4.9233	1.3246	6.0000	3.5080	6.0000	6.0000	-	-	-	-	
8.5	1.6930	-	2.7538	-	3.5039	1.2162	4.3611	1.1733	6.0000	3.1074	6.0000	6.0000	-	-	-	-	
9	1.5101	-	2.4564	-	3.1254	1.0848	3.8900	1.0466	6.0000	2.7718	6.0000	6.0000	-	-	-	-	
9.5	1.3554	-	2.2046	-	2.8051	-	3.4913	-	6.0000	2.4877	6.0000	6.0000	-	-	-	-	
10	1.2232	-	1.9595	-	2.4873	-	3.1509	-	5.5741	2.2451	6.0000	6.0000	-	-	-	-	
TC2.5	3	6.0000	2.9908	6.0000	5.6762	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	3.2573	1.9182	4.3592	2.5288	
	3.5	6.0000	2.1973	6.0000	4.1703	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	1.8392	1.4093	2.4073	1.8579	
	4	6.0000	1.6823	6.0000	3.1928	6.0000	4.9985	6.0000	4.8223	6.0000	6.0000	6.0000	1.0928	1.0790	1.4354	1.4225	
	4.5	5.4978	1.3292	6.0000	2.5227	6.0000	3.9494	6.0000	3.8102	6.0000	6.0000	6.0000	-	-	-	-	
	5	4.4533	1.0767	6.0000	2.0434	6.0000	3.1990	6.0000	3.0863	6.0000	6.0000	6.0000	-	-	-	-	
	5.5	3.6804	-	5.9864	1.6888	6.0000	2.6438	6.0000	2.5506	6.0000	6.0000	6.0000	-	-	-	-	
	6	3.0925	-	5.0303	1.4190	6.0000	2.2215	6.0000	2.1432	6.0000	5.6762	6.0000	6.0000	-	-	-	-
	6.5	2.6351	-	4.2861	1.2091	5.4536	1.8929	6.0000	1.8262	6.0000	4.8365	6.0000	6.0000	-	-	-	-
	7	2.2721	-	3.6957	1.0426	4.7023	1.6321	5.8527	1.5746	6.0000	4.1703	6.0000	6.0000	-	-	-	-
	7.5	1.9792	-	3.2194	-	4.0962	1.4218	5.0984	1.3717	6.0000	3.6328	6.0000	6.0000	-	-	-	-
8	1.7396	-	2.8295	-	3.6002	1.2496	4.4810	1.2056	6.0000	3.1928	6.0000	6.0000	-	-	-	-	
8.5	1.5409	-	2.5064	-	3.1891	1.1069	3.9693	1.0679	6.0000	2.8283	6.0000	6.0000	-	-	-	-	
9	1.3745	-	2.2357	-	2.8446	-	3.5405	-	6.0000	2.5227	6.0000	6.0000	-	-	-	-	
9.5	1.2336	-	2.0065	-	2.5531	-	3.1777	-	5.6214	2.2642	6.0000	6.0000	-	-	-	-	
10	1.1133	-	1.7835	-	2.2638	-	2.8678	-	5.0733	2.0434	6.0000	6.0000	-	-	-	-	
TC2	3	6.0000	2.7336	6.0000	5.1881	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	2.9773	1.7532	3.9844	2.3114	
	3.5	6.0000	2.0084	6.0000	3.8117	6.0000	5.9673	6.0000	5.7570	6.0000	6.0000	6.0000	1.6811	1.2881	2.2004	1.6982	
	4	6.0000	1.5377	6.0000	2.9183	6.0000	4.5687	6.0000	4.4077	6.0000	6.0000	6.0000	-	-	1.3119	1.3002	
	4.5	5.0251	1.2149	6.0000	2.3058	6.0000	3.6098	6.0000	3.4826	6.0000	6.0000	6.0000	-	-	-	-	
	5	4.0704	-	6.0000	1.8677	6.0000	2.9240	6.0000	2.8209	6.0000	6.0000	6.0000	-	-	-	-	
	5.5	3.3639	-	5.4717	1.5436	6.0000	2.4165	6.0000	2.3313	6.0000	6.0000	6.0000	-	-	-	-	
	6	2.8266	-	4.5978	1.2970	5.8501	2.0305	6.0000	1.9590	6.0000	5.1881	6.0000	6.0000	-	-	-	-
	6.5	2.4085	-	3.9176	1.1052	4.9847	1.7302	6.0000	1.6692	6.0000	4.4207	6.0000	6.0000	-	-	-	-
	7	2.0767	-	3.3779	-	4.2980	1.4918	5.3495	1.4392	6.0000	3.8117	6.0000	6.0000	-	-	-	-
	7.5	1.8090	-	2.9426	-	3.7440	1.2995	4.6600	1.2537	6.0000	3.3204	6.0000	6.0000	-	-	-	-
8	1.5900	-	2.5862	-	3.2907	1.1422	4.0957	1.1019	6.0000	2.9183	6.0000	6.0000	-	-	-	-	
8.5	1.4084	-	2.2909	-	2.9149	1.0118	3.6280	-	6.0000	2.5851	6.0000	6.0000	-	-	-	-	
9	1.2563	-	2.0435	-	2.6000	-	3.2361	-	5.7248	2.3058	6.0000	6.0000	-	-	-	-	
9.5	1.1275	-	1.8340	-	2.3335	-	2.9044	-	5.1381	2.0695	6.0000	6.0000	-	-	-	-	
10	1.0176	-	1.6301	-	2.0692	-	2.6213	-	4.6371	1.8677	6.0000	6.0000	-	-	-	-	

X = Mullion in strong axis (long side of mullion perpendicular to wall)

Y = Mullion in weak axis (mullion is flat against the wall)

Mullion spacing = (distance to next column or mullion on 1 side + distance to column or mullion on the other side) divide i.e. (Spacing 1 + Spacing 2) / 2

Roof Pitch	5	to	11	Degrees
------------	---	----	----	---------

Max Span (mm)	Max Eave Height (mm)	TC 3				TC 2.5				TC 2			
		Max Bay Spacing (mm)				Max Bay Spacing (mm)				Max Bay Spacing (mm)			
		3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000
5,000	2,700	C 1 a	G 1 a	A 2 a	B 2 a	G 1 a	G 1 a	A 2 a	B 2 b	A 1 a	A 2 a	B 2 b	B 2 b
	3,000	G 1 a	A 2 a	A 2 a	B 2 b	G 1 a	A 2 a	B 2 a	B 2 b	A 2 a	A 2 a	B 2 b	B 3 b
	3,300	G 1 a	A 2 a	B 2 a	B 2 b	A 2 a	A 2 a	B 2 b	B 4 b	A 2 a	B 2 a	B 2 b	D 4 b
	3,600	A 2 a	A 2 a	B 2 b	B 4 b	A 2 a	B 2 a	B 2 b	D 4 b	A 2 a	B 2 b	B 3 b	D 4 b
6,000	2,700	G 1 a	A 2 a	A 2 a	B 2 b	G 1 a	A 2 a	B 2 a	B 3 b	A 2 a	A 2 a	B 2 b	B 4 b
	3,000	G 1 a	A 2 a	B 2 a	B 3 b	A 2 a	A 2 a	B 2 b	B 4 b	A 2 a	B 2 a	B 2 b	D 4 b
	4,200	B 2 a	B 2 a	D 4 b	E 4 b	B 2 a	B 3 b	D 4 b	E 4 b	B 2 a	B 4 b	D 4 b	J 4 b
7,000	4,200	B 2 a	B 3 b	D 4 b	E 4 b	B 2 a	B 4 b	D 4 b	J 4 b	B 3 b	D 4 b	E 4 b	J 4 b
9,000	4,200	B 3 b	D 4 b	E 4 b	J 4 b	D 4 b	D 4 b	E 4 b	J 4 b	D 4 b	E 4 b	J 4 b	n/a
10,500	4,200	D 4 b	D 4 b	J 4 b	J 4 b	D 4 b	E 4 b	J 4 b	n/a	E 4 b	E 4 b	J 4 b	n/a
12,000	4,200	D 4 b	E 4 b	J 4 b	n/a	E 4 b	J 4 b	J 4 b	n/a	E 4 b	J 4 b	n/a	n/a

The above table details the engineering requirements represented as a code and referred to as follow:

Item 1 = Capital Letter	Item 2 = Number	Item 3 = Lower case letter		
Frame sections	Eave and Apex connections	Base connection and fixing		
C C150 X 1.5mm PURLIN	1 Single haunch plate connections with single C7510 knee brace	a C Section portal frame: Angle bracket with Tex Screw fixings to columns and M12 Dynabolts to footings RHS portal frame: Welded base plate to column with M12 Dynabolts.		
G C150 X 1.9mm PURLIN				
A 150 X 50 X 2mm BOX				
B 150 X 50 X 3mm BOX				
D 150 X 50 X 4mm BOX				
E 185 X 65 X 3mm BOX	2 Single haunch plate eave connection with double C7510 knee brace and double haunch plate apex connection or Upgrade to welded 12 mm thick end plates 12mm bolted connections.	b Welded base plate fixing with M12 Chemset		
J 200 X 100 X 4mm BOX				
			3 Welded 12mm thick end plates with 12mm bolted connections	c J Bolts 12 mm base connection or RHS Extensions with welded base plates or
	4 Welded 12mm thick end plates with 16mm bolted connections			
		5 Welded 12mm thick end plates with 16mm Grade 10.9 bolted connections		

Roof Purlins and Wall Girts are resolved to the code relating to the Eave and Apex connections as follow:		
Code	Section	15 % Lapped Spans
1	75 x 0.75mm Top hat	For bay spacings up to 3.6m
2	75 x 1.0mm Top hat	For bay spacings up to 4.5m
3	120 x 1.0mm Top hat	For bay spacings up to 6m

Max spacings are set to the following:	
Max roof purlin spacing	1,200 mm
Max wall girt spacing	1,350 mm

FOOTING SCHEDULE - Slab with incorporated PAD's													
Max Span (mm)	Max Eave Height (mm)	TC 3				TC 2.5				TC 2			
		Max Bay Spacing (mm)				Max Bay Spacing (mm)				Max Bay Spacing (mm)			
		3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000
5,000	2,700	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	3,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	3,300	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	3,600	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
6,000	2,700	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	3,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
7,000	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
9,000	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
10,500	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
12,000	4,200	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500

The above table refers to the dimension of square PAD's incorporated in slab (i.e. width / depth)
 1) 400 square pad footings can be substituted with 450 diameter;
 2) 500 square pad footings can be substituted with 600 diameter;

FOOTING SCHEDULE - Independent PAD's only													
Max Span (mm)	Max Eave Height (mm)	TC 3				TC 2.5				TC 2			
		Max Bay Spacing (mm)				Max Bay Spacing (mm)				Max Bay Spacing (mm)			
		3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000
5,000	2,700	300/600	300/700	300/800	300/900	300/700	300/700	300/800	300/900	300/700	300/800	300/800	300/900
	3,000	300/700	300/700	300/800	300/900	300/700	300/800	300/800	300/900	300/700	300/800	300/900	300/1000
	3,300	300/700	300/700	300/800	300/900	300/700	300/800	300/900	375/900	300/800	300/800	300/900	375/900
	3,600	300/700	300/800	300/800	300/900	300/700	300/800	300/900	375/900	300/800	300/800	300/900	375/1000
6,000	2,700	300/600	300/700	300/800	375/800	300/700	300/800	300/800	375/900	300/700	300/800	300/900	375/900
	3,000	300/700	300/700	300/800	375/900	300/700	300/800	300/800	375/900	300/700	300/800	300/900	375/900
	4,200	300/700	300/800	300/900	375/900	300/800	300/800	300/900	375/1000	300/800	300/900	300/1000	375/1000
7,000	4,200	300/800	300/800	375/800	375/1000	300/800	300/900	375/900	375/1000	300/800	300/900	375/900	375/1000
9,000	4,200	300/800	375/800	375/900	450/900	300/800	375/800	375/900	450/1000	300/900	375/900	375/1000	n/a
10,500	4,200	375/800	375/800	375/900	450/1000	375/800	375/900	375/900	n/a	375/900	375/900	450/800	n/a
12,000	4,200	375/800	375/800	450/900	n/a	375/800	375/900	450/900	n/a	375/900	375/900	450/1000	n/a

The above table refers to the hole dimension of footing PAD's required (i.e. diameter / depth)

Fully braced bay:

Cross bracing set is applied to eave side wall bay, the corresponding roof bay and the opposing eave side wall or high side wall in respect to skillions (i.e., 1 bay across the whole shed). No cross bracing is required on gable/skillion end walls.

Where Strap Bracing 25 x 0.8 mm is supplied

Max Span (mm)		Minimum bracing required	Conditions where additional bays will require bracing
From	To		
0	6,000	No require bracing	No require bracing
6,001	9,000	Where total number of bays <= 5 Minimum of 1 bay fully braced bay that is located adjacent to an end wall.	Where total number of bays >= 6 or more bays Minimum of 2 bays fully braced, commencing the bracing at an end wall bay following with fully braced bay/s every fifth subsequent bay.
9,001	12,000	Number of bays <= 5 Minimum of 2 bay fully braced bays that is located adjacent to an end wall following with bracing in the next adjacent bay.	Number of bays >= 6 or more bays Minimum of 2 bay fully braced bays that is located adjacent to an end wall following with fully braced bay/s every fifth subsequent bay.
12,001	15,000	Number of bays <= 5 Minimum of 3 bay fully braced	Number of bays >= 6 or more bays Minimum of 3 bay fully braced bays that is located adjacent to an end wall following with the remaining bays spread across the remaining six bays. Additional fully braced bay/s will be required for every fifth bay subsequent to the initial six bays.

Please note that relocation of bracing where openings or accessories would prohibit the bracing being installed are as per the **bracing exceptions relocation examples** below.

Where 30 mm channel bracing is supplied

Max Span (mm)		Minimum bracing required	Conditions where additional bays will require bracing
From	To		
9,000.0	15,000	Where total number of bays <= 5 & Eave Height is up to 5,000 mm Minimum of 1 bay fully braced bay with 30 mm channel bracing	Where total number of bays >= 6 or more bays Minimum of 1 bay fully braced bay with 30 mm channel bracing following with fully braced bay/s every fifth subsequent bay.
15,000.1	13,500	Where total number of bays <= 5 & Eave Height is up to 7,000 mm Minimum of 2 bay fully braced bay with 30 mm channel bracing	Where total number of bays >= 6 or more bays Minimum of 2 bay fully braced bay with 30 mm channel bracing following with fully braced bay/s every fifth subsequent bay.

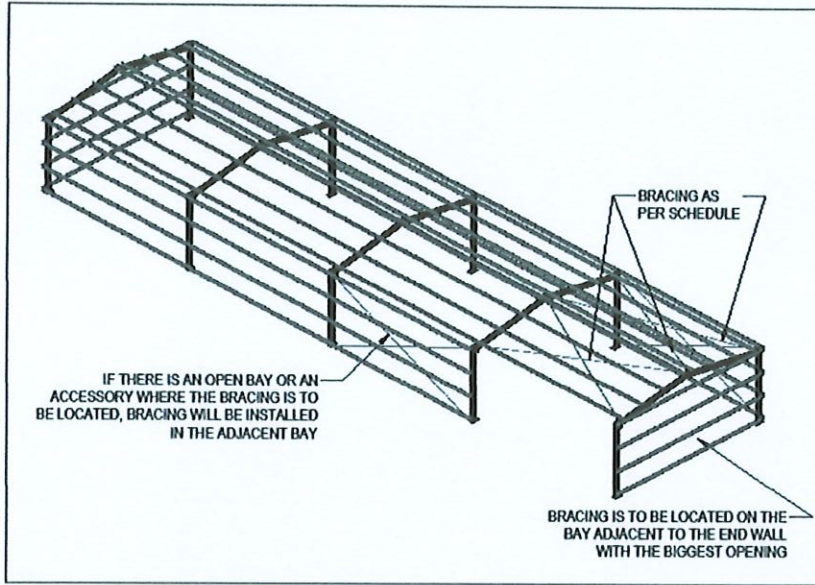
Strap bracing fixings:

1	<p>Strap bracing fixing is as per the following:</p> <p>Tex Screw fixing required for frame type:</p> <p>1) RHS 150 x 50 requires 2 x 12 g Tex Screws; or 2) RHS 185 x 65 requires 2 x 12 g Tex Screws; or 3) RHS 200 x 100 requires 4 x 12 g Tex Screws.</p>	
2	<p>30mm channel bracing fixing is as per the following:</p>	

Bracing relocation examples:

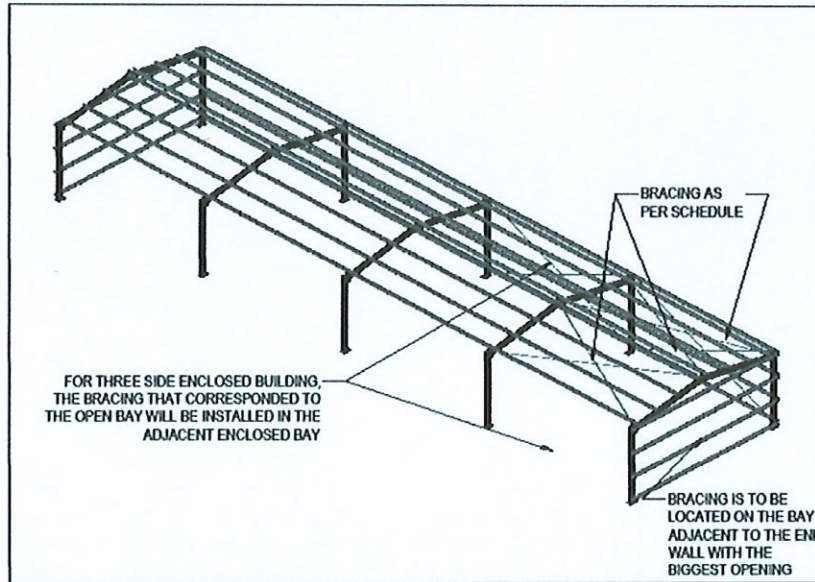
1

Where a wall is open or accessory exists in the bay which requires bracing, bracing will be relocated to the adjacent bay as illustrated in the following drawing:

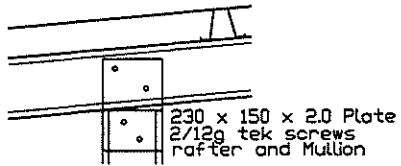


2

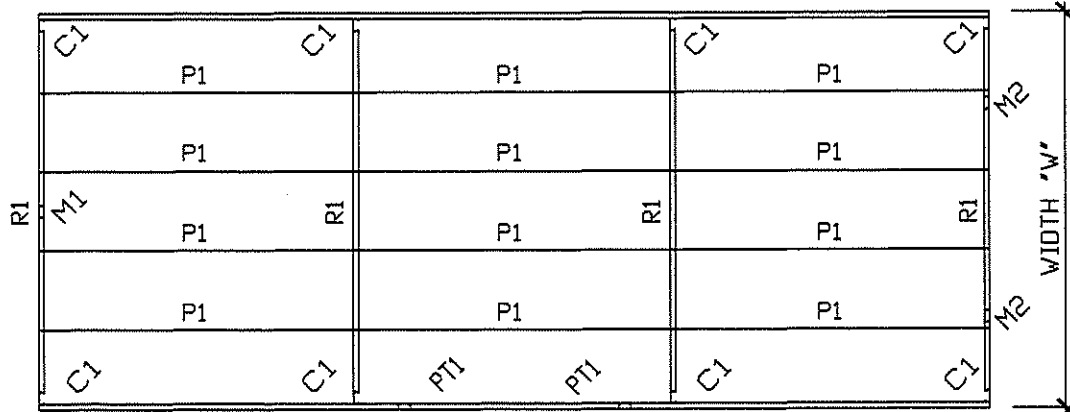
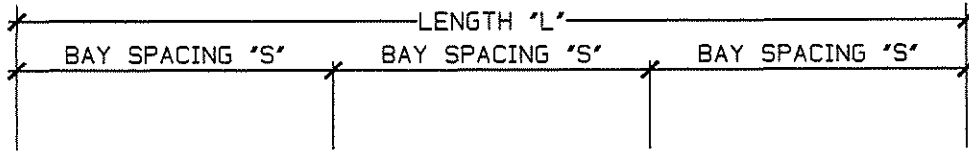
Where the one side of the entire building has open walls the bracing will be relocated to the adjacent bay as illustrated in the following drawing:



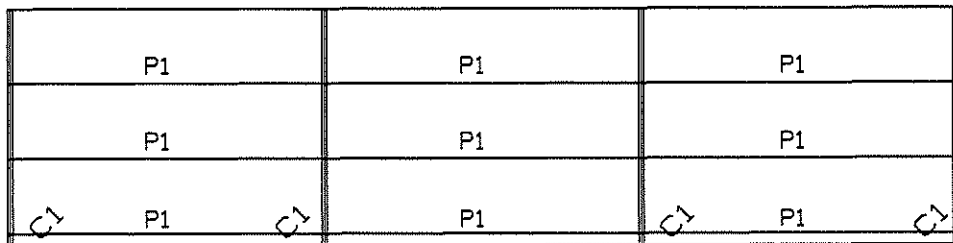
MULLION DETAILS



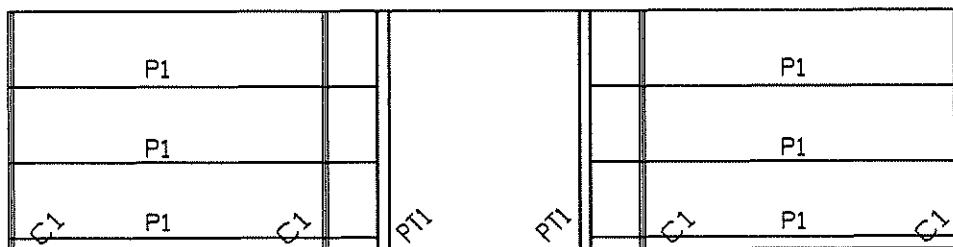
C1	COLUMN
M1/M2	MULLION
R1	RAFTER
P1	PURLIN/GIRT
PT1	POST



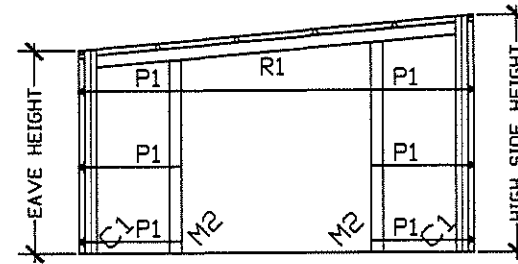
ROOF FRAMING PLAN



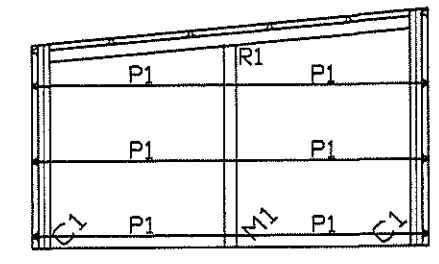
SIDE WALL ELEVATION (NO DOORS)



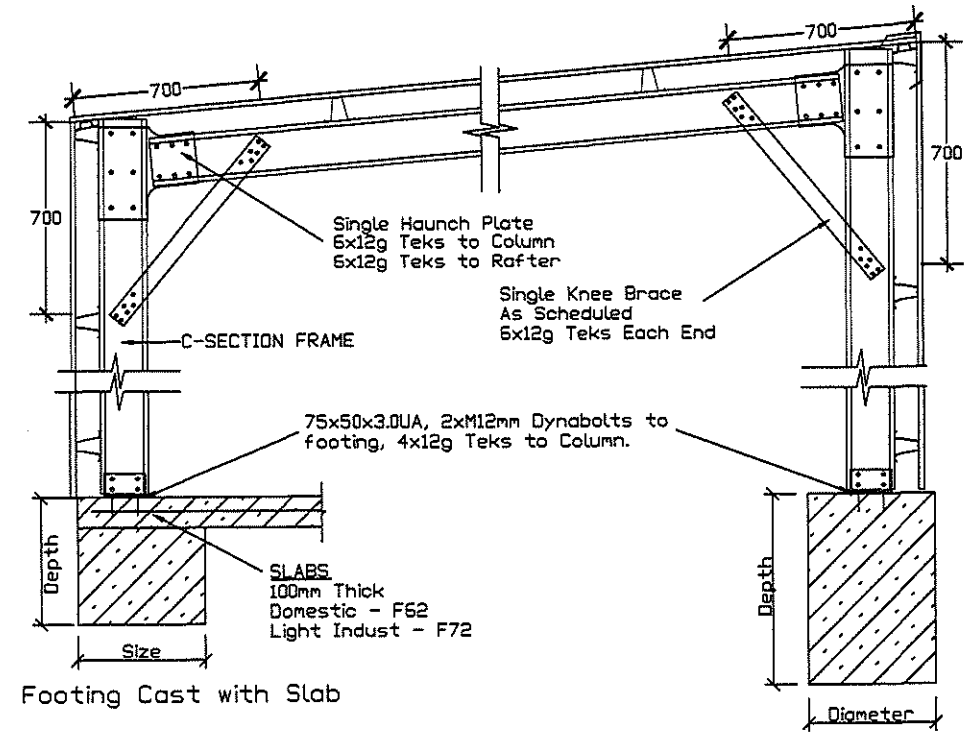
SIDE WALL ELEVATION (DOORS AS OPTION)



END WALL ELEVATION (DOORS AS OPTION)



END WALL ELEVATION (NO DOORS)



FRAME SECTION

Note: Footings to be built as per dimensions shown in member schedule dimensions

Note: Footing cast with slab can be substituted to the independent



PROJECT TITLE	Eureka Garages 208 Fairbairn Road Sunshine West
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SHEET CONTENT	Framing and Details for Skillion Garage C-150 Section
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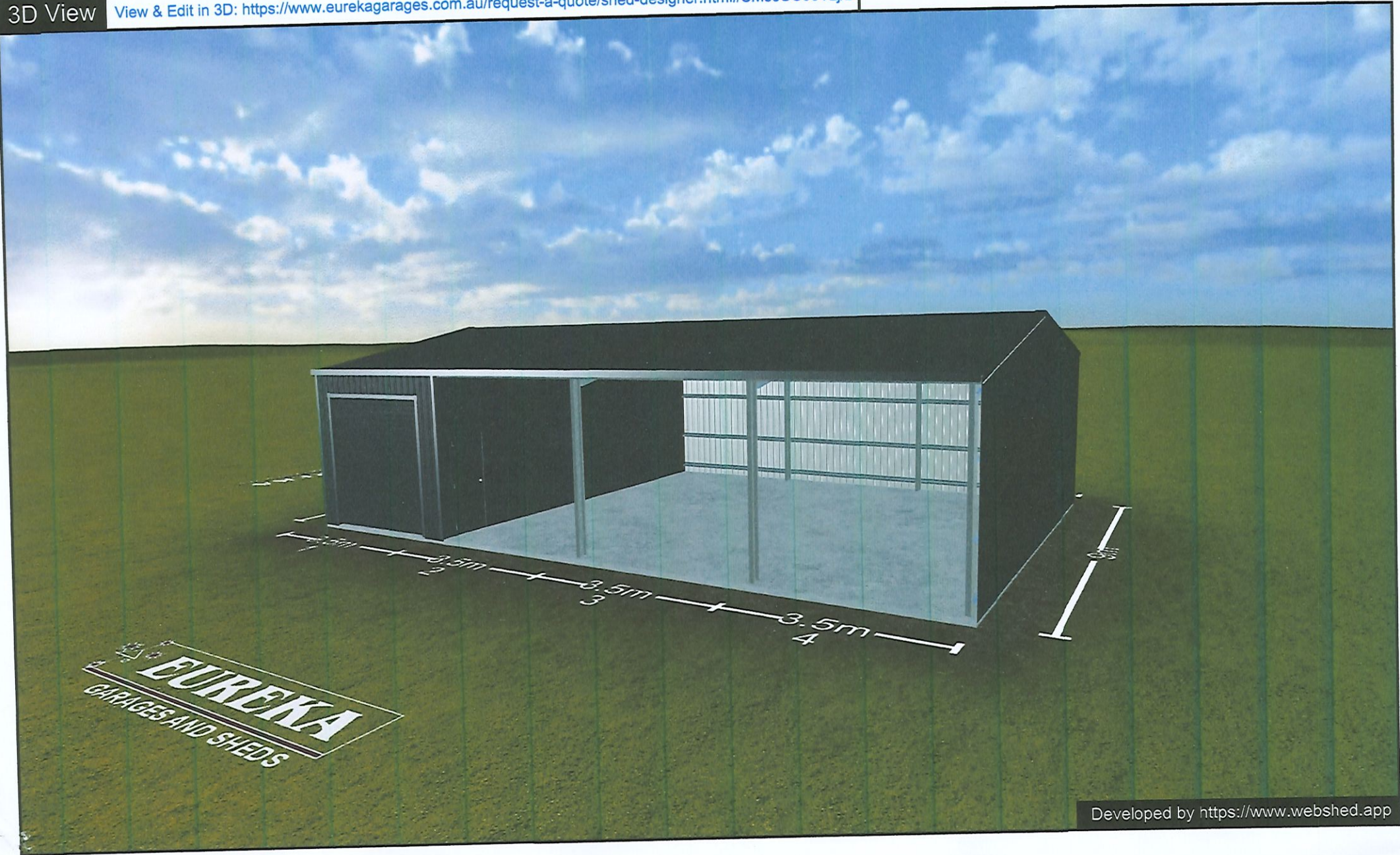
DESIGN BY:	JM
SCALES	NTS
DRAWING No.:	SG-CS

DRAWN BY:	EL
DATE:	22/03/2021

AMENDMENTS	
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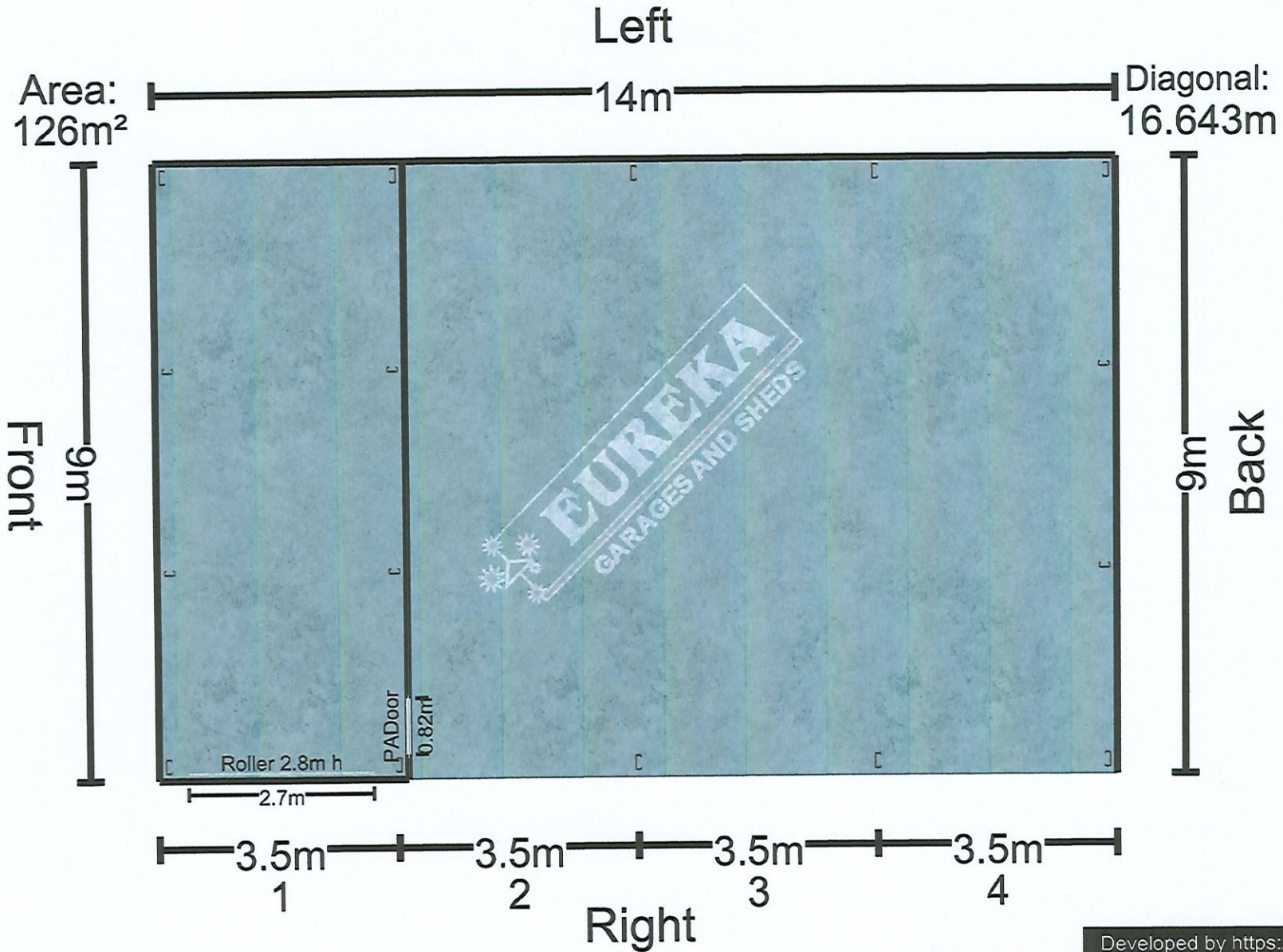


3D View View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#SMs9SOJ6Yzj/2>





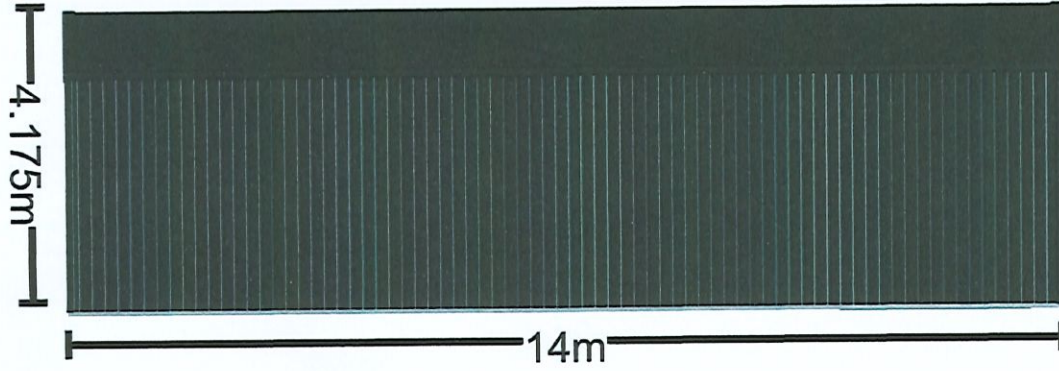
Floor Plan [View & Edit in 3D: https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#SMs9SOJ6Yzj/2](https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#SMs9SOJ6Yzj/2)



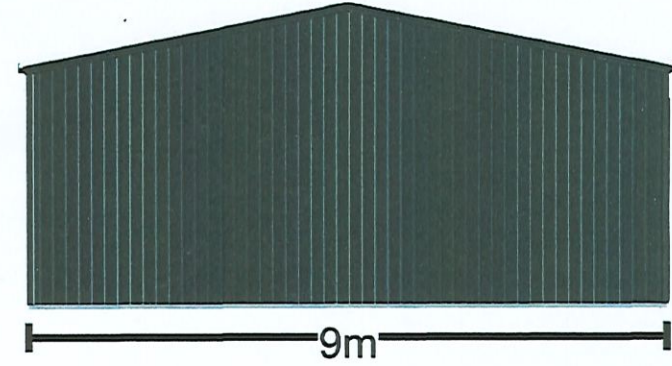


Elevations

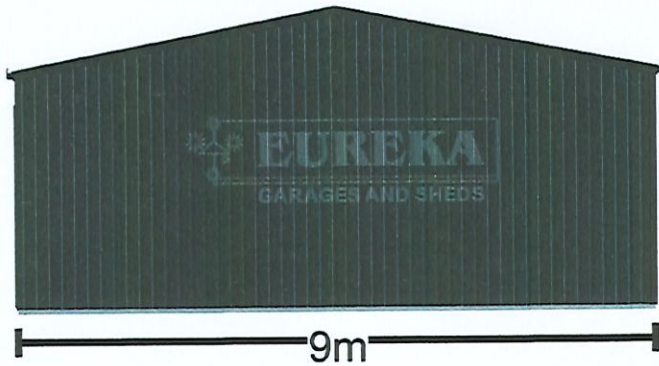
View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#SMs9SOJ6Yzj/2>



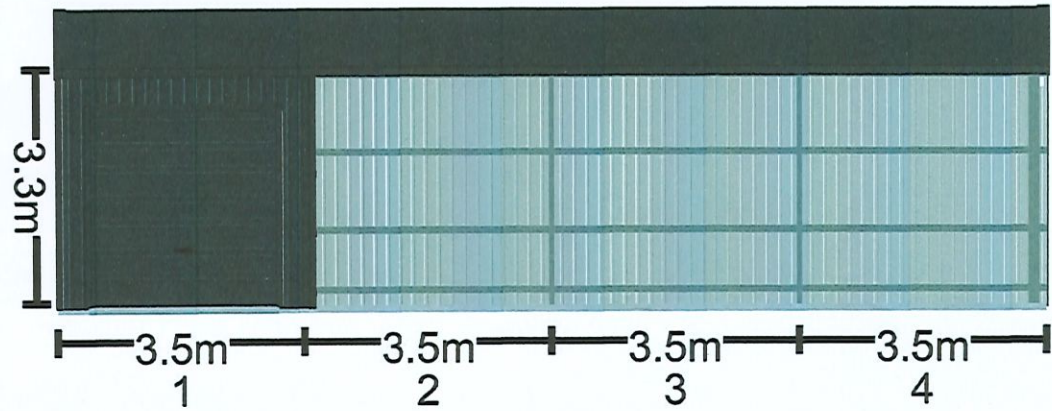
Left



Front



Back



Right



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Project:	Eureka Garages - Standard Shed Range
Computation ref:	Computation_V20210530

Date Prepared:	30-May-21
Page count	2

COMPUTATIONS FOR EUREKA GARAGES SHEDS

Applicable to:

Gable Sheds and Carports	Roof pitch 11 to 20 degrees
	Portal spans up to 15m
	Bay spacings up to 6m

Skillion Sheds and Carports	Roof pitch 5 to 11 degrees
	Portl spans up to 12m
	Bay spacings up to 6m

Loading			
G	0.1	kPa	(metal sheeting and purlins)
Q	0.25	kPa	

Wind Loads			
Region	A		
qz	TC3	0.84	kPa
	TC2.5	0.92	kPa
	TC2	1.01	kPa

Steel Frame Sections

Section	fy	Ag	f M _x	f M _y	f N _s
RHS	MPa	mm ²	kNm	kNm	kN
150x50x2	450	774	12.8	3.09	173.4
150x50x3	450	1140	20.82	5.87	329.2
150x50x4	450	1480	26.49	9.19	525.7
185x65x3	450	1440	32.97	8.87	380.3
200x100x4	450	2280	58.32	23.49	687.9

Section	fy	Ag	f M _x	f M _y	f N _s
C-Sections	MPa	mm ²	kNm	kNm	kN
C 150-15	450	443	7.36	2.97	151
C 150-19	450	561	9.56	3.76	198

Purlin Sections

Section	fy	Ag	f M _x	f M _y	f N _s
Tophats	MPa	mm ²	kNm	kNm	kN
75 075	550	161	1.5	1.21	75.3
75 100	550	215	1.99	1.62	100.5
120 100	550	340	4.87	3.91	158.9

Joint Capacity

	f M _x kNm		f M _x kNm		f M _x kNm
Double Brackets	9.36	12PL, M12 8.8 Bolts, 150 RHS	18.7	12PL, 4/M16 8.8 Bolts, 200 RHS	46.7
Single Knee Brace	8.72	12PL, M16 8.8 Bolts, 150 RHS	35	12PL, 6/M16 8.8 Bolts, 200 RHS	58.6
Double Knee Brace	17.4	12PL, M16 8.8 Bolts, 185 RHS	42.4	12PL, M20 8.8 Bolts, 200 RHS	71.5

	f N kN	f V kN
4xM12 Dynabolts h,e = 50mm	29.9	14.5
4xM12 Chemsets h=100mm,e=50mm	49	12.2
4xM12 J bolts	107.5	60.5
4xM16 J bolts	201	114.3

Footings

at 100kPa, f=30d

Diam	Depth	Bearing	Uplift	Moment
m	m	kN	kN	kNm
0.3	0.6	7.1	4.1	0.9
0.3	0.7	7.1	5.7	1.5
0.3	0.8	7.1	7.7	2.2
0.3	0.9	7.1	10.1	3.1
0.3	1	7.1	12.9	4.3
0.3	1.1	7.1	16.2	5.7
0.3	1.2	7.1	19.9	7.5
0.375	0.6	11.0	5.2	1.2
0.375	0.7	11.0	7.0	1.9
0.375	0.8	11.0	9.3	2.8
0.375	0.9	11.0	11.9	3.9
0.375	1	11.0	15.1	5.4
0.375	1.1	11.0	18.7	7.2
0.375	1.2	11.0	22.9	9.3
0.45	0.6	15.9	6.3	1.4
0.45	0.7	15.9	8.4	2.2
0.45	0.8	15.9	11.0	3.3
0.45	0.9	15.9	14.0	4.7
0.45	1	15.9	17.4	6.5
0.45	1.1	15.9	21.5	8.6
0.45	1.2	15.9	26.0	11.2
0.45	1.3	15.9	31.2	14.2
0.45	1.4	15.9	37.0	17.8
0.45	1.5	15.9	43.5	21.9

Diam	Depth	Bearing	Uplift	Moment
m	m	kN	kN	kNm
0.6	0.6	28.3	9.0	1.9
0.6	0.7	28.3	11.7	3.0
0.6	0.8	28.3	14.9	4.4
0.6	0.9	28.3	18.6	6.3
0.6	1	28.3	22.9	8.6
0.6	1.1	28.3	27.7	11.5
0.6	1.2	28.3	33.1	14.9
0.6	1.3	28.3	39.2	19.0
0.6	1.4	28.3	45.9	23.7
0.6	1.5	28.3	53.4	29.2
0.6	1.6	28.3	61.7	35.4
0.6	1.7	28.3	70.7	42.4
0.6	1.8	28.3	80.6	50.4
0.75	1	44.2	29.1	10.8
0.75	1.1	44.2	34.8	14.4
0.75	1.2	44.2	41.2	18.7
0.75	1.3	44.2	48.3	23.7
0.75	1.4	44.2	56.1	29.6
0.75	1.5	44.2	64.7	36.5
0.75	1.6	44.2	74.0	44.2
0.75	1.7	44.2	84.3	53.1
0.75	1.8	44.2	95.4	63.0

Mullions

Terrain Category	Height m	Maximum Mullion Spacing, $F_y = 450$ Mpa										Maximum allowable: 6 m					
		150X50x2.0		150X50x3.0		150X50x4.0		185X65x3.0		200X100x4.0		C150-15		C150-19			
		X	Y	X	Y	X	Y	X	Y	X	Y	X	Y	X	Y		
TC3	3	6.0000	3.2860	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	3.5789	2.1075	4.7895	2.7784
	3.5	6.0000	2.4142	6.0000	4.5819	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	2.0208	1.5484	2.6450	2.0413
	4	6.0000	1.8484	6.0000	3.5080	6.0000	5.4918	6.0000	5.2983	6.0000	6.0000	6.0000	6.0000	1.2007	1.1855	1.5770	1.5629
	4.5	6.0000	1.4604	6.0000	2.7718	6.0000	4.3392	6.0000	4.1863	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	5	4.8928	1.1829	6.0000	2.2451	6.0000	3.5148	6.0000	3.3909	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	5.5	4.0437	-	6.0000	1.8555	6.0000	2.9048	6.0000	2.8024	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	6	3.3978	-	5.5268	1.5591	6.0000	2.4408	6.0000	2.3548	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	6.5	2.8952	-	4.7092	1.3285	5.9919	2.0798	6.0000	2.0065	6.0000	6.0000	5.3139	6.0000	-	-	-	-
	7	2.4963	-	4.0605	1.1455	5.1665	1.7933	6.0000	1.7301	6.0000	6.0000	4.5819	6.0000	-	-	-	-
	7.5	2.1746	-	3.5371	-	4.5006	1.5621	5.6016	1.5071	6.0000	3.9913	6.0000	6.0000	-	-	-	-
8	1.9113	-	3.1088	-	3.9556	1.3730	4.9233	1.3246	6.0000	3.5080	6.0000	6.0000	-	-	-	-	
8.5	1.6930	-	2.7538	-	3.5039	1.2162	4.3611	1.1733	6.0000	3.1074	6.0000	6.0000	-	-	-	-	
9	1.5101	-	2.4564	-	3.1254	1.0848	3.8900	1.0466	6.0000	2.7718	6.0000	6.0000	-	-	-	-	
9.5	1.3554	-	2.2046	-	2.8051	-	3.4913	-	6.0000	2.4877	6.0000	6.0000	-	-	-	-	
10	1.2232	-	1.9595	-	2.4873	-	3.1509	-	5.5741	2.2451	6.0000	6.0000	-	-	-	-	
TC2.5	3	6.0000	2.9908	6.0000	5.6762	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	3.2573	1.9182	4.3592	2.5288
	3.5	6.0000	2.1973	6.0000	4.1703	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	1.8392	1.4093	2.4073	1.8579
	4	6.0000	1.6823	6.0000	3.1928	6.0000	4.9985	6.0000	4.8223	6.0000	6.0000	6.0000	6.0000	1.0928	1.0790	1.4354	1.4225
	4.5	5.4978	1.3292	6.0000	2.5227	6.0000	3.9494	6.0000	3.8102	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	5	4.4533	1.0767	6.0000	2.0434	6.0000	3.1990	6.0000	3.0863	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	5.5	3.6804	-	5.9864	1.6888	6.0000	2.6438	6.0000	2.5506	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	6	3.0925	-	5.0303	1.4190	6.0000	2.2215	6.0000	2.1432	6.0000	5.6762	6.0000	6.0000	-	-	-	-
	6.5	2.6351	-	4.2861	1.2091	5.4536	1.8929	6.0000	1.8262	6.0000	4.8365	6.0000	6.0000	-	-	-	-
	7	2.2721	-	3.6957	1.0426	4.7023	1.6321	5.8527	1.5746	6.0000	4.1703	6.0000	6.0000	-	-	-	-
	7.5	1.9792	-	3.2194	-	4.0962	1.4218	5.0984	1.3717	6.0000	3.6328	6.0000	6.0000	-	-	-	-
8	1.7396	-	2.8295	-	3.6002	1.2496	4.4810	1.2056	6.0000	3.1928	6.0000	6.0000	-	-	-	-	
8.5	1.5409	-	2.5064	-	3.1891	1.1069	3.9693	1.0679	6.0000	2.8283	6.0000	6.0000	-	-	-	-	
9	1.3745	-	2.2357	-	2.8446	-	3.5405	-	6.0000	2.5227	6.0000	6.0000	-	-	-	-	
9.5	1.2336	-	2.0065	-	2.5531	-	3.1777	-	5.6214	2.2642	6.0000	6.0000	-	-	-	-	
10	1.1133	-	1.7835	-	2.2638	-	2.8678	-	5.0733	2.0434	6.0000	6.0000	-	-	-	-	
TC2	3	6.0000	2.7336	6.0000	5.1881	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	6.0000	2.9773	1.7532	3.9844	2.3114
	3.5	6.0000	2.0084	6.0000	3.8117	6.0000	5.9673	6.0000	5.7570	6.0000	6.0000	6.0000	6.0000	1.6811	1.2881	2.2004	1.6982
	4	6.0000	1.5377	6.0000	2.9183	6.0000	4.5687	6.0000	4.4077	6.0000	6.0000	6.0000	6.0000	-	-	1.3119	1.3002
	4.5	5.0251	1.2149	6.0000	2.3058	6.0000	3.6098	6.0000	3.4826	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	5	4.0704	-	6.0000	1.8677	6.0000	2.9240	6.0000	2.8209	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	5.5	3.3639	-	5.4717	1.5436	6.0000	2.4165	6.0000	2.3313	6.0000	6.0000	6.0000	6.0000	-	-	-	-
	6	2.8266	-	4.5978	1.2970	5.8501	2.0305	6.0000	1.9590	6.0000	5.1881	6.0000	6.0000	-	-	-	-
	6.5	2.4085	-	3.9176	1.1052	4.9847	1.7302	6.0000	1.6692	6.0000	4.4207	6.0000	6.0000	-	-	-	-
	7	2.0767	-	3.3779	-	4.2980	1.4918	5.3495	1.4392	6.0000	3.8117	6.0000	6.0000	-	-	-	-
	7.5	1.8090	-	2.9426	-	3.7440	1.2995	4.6600	1.2537	6.0000	3.3204	6.0000	6.0000	-	-	-	-
8	1.5900	-	2.5862	-	3.2907	1.1422	4.0957	1.1019	6.0000	2.9183	6.0000	6.0000	-	-	-	-	
8.5	1.4084	-	2.2909	-	2.9149	1.0118	3.6280	-	6.0000	2.5851	6.0000	6.0000	-	-	-	-	
9	1.2563	-	2.0435	-	2.6000	-	3.2361	-	5.7248	2.3058	6.0000	6.0000	-	-	-	-	
9.5	1.1275	-	1.8340	-	2.3335	-	2.9044	-	5.1381	2.0695	6.0000	6.0000	-	-	-	-	
10	1.0176	-	1.6301	-	2.0692	-	2.6213	-	4.6371	1.8677	6.0000	6.0000	-	-	-	-	

X = Mullion in strong axis (long side of mullion perpendicular to wall)

Y = Mullion in weak axis (mullion is flat against the wall)

Mullion spacing = (distance to next column or mullion on 1 side + distance to column or mullion on the other side) divide i.e. (Spacing 1 + Spacing 2) / 2

Roof Pitch 11 to 20 Degrees

Max Span (mm)	Max Eave Height (mm)	TC 3				TC 2.5				TC 2			
		Max Bay Spacing (mm)				Max Bay Spacing (mm)				Max Bay Spacing (mm)			
		3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000
6,000	3,000	C 1 a	C 1 a	C 1 a	A 2 a	C 1 a	C 1 a	G 1 a	A 2 a	C 1 a	G 1 a	A 2 a	B 2 a
	3,600	C 1 a	C 1 a	G 1 a	B 2 a	C 1 a	G 1 a	A 2 a	B 2 b	G 1 a	A 2 a	A 2 a	B 2 b
	5,000	A 2 a	B 2 a	B 2 b	D 4 b	B 2 a	B 2 b	B 2 b	E 4 b	B 2 a	B 2 b	D 4 b	E 4 b
7,500	3,000	C 1 a	G 1 a	A 2 a	A 2 a	C 1 a	G 1 a	A 2 a	B 2 b	G 1 a	A 2 a	A 2 a	B 4 b
	3,600	C 1 a	A 2 a	A 2 a	B 2 b	G 1 a	A 2 a	B 2 a	B 2 b	A 2 a	A 2 a	B 2 a	B 4 b
	4,200	A 2 a	A 2 a	B 2 b	B 4 b	A 2 a	B 2 a	B 2 b	D 4 b	A 2 a	B 2 a	B 4 b	D 4 b
8,000	5,000	A 2 a	B 2 a	B 2 b	D 4 b	B 2 a	B 2 b	D 4 b	E 4 b	B 2 b	B 4 b	D 4 b	J 4 b
	7,000	D 4 b	E 4 b	J 4 b	J 5 b	E 4 b	J 4 b	J 5 b	J 5 c	E 4 b	J 5 b	J 5 b	J 5 c
	3,600	A 2 a	A 2 a	B 2 a	B 4 b	A 2 a	A 2 a	B 2 b	D 4 b	A 2 a	B 2 a	B 4 b	D 4 b
9,000	4,200	A 2 a	B 2 a	B 2 b	D 4 b	A 2 a	B 2 a	B 4 b	D 4 b	B 2 a	B 2 b	D 4 b	E 4 b
	5,000	B 4 b	B 2 b	D 4 b	E 4 b	B 2 b	B 2 b	D 4 b	J 4 b	B 2 b	D 4 b	E 4 b	J 4 b
	6,000	B 4 b	D 4 b	E 4 b	J 5 b	D 4 b	E 4 b	J 4 b	J 5 b	D 4 b	E 4 b	J 5 b	J 5 c
10,500	4,200	A 2 a	B 2 b	B 4 b	D 4 b	B 2 a	B 4 b	D 4 b	E 4 b	B 2 b	B 4 b	D 4 b	E 4 b
	5,000	B 2 b	B 4 b	D 4 b	E 4 b	B 4 b	D 4 b	E 4 b	J 4 b	B 4 b	D 4 b	E 4 b	J 5 b
	4,200	B 4 b	B 4 b	D 4 b	E 4 b	B 4 b	B 4 b	D 4 b	E 4 b	B 4 b	D 4 b	E 4 b	J 4 b
12,000	5,000	B 4 b	D 4 b	D 4 b	J 4 b	B 4 b	D 4 b	E 4 b	J 5 b	D 4 b	E 4 b	J 4 b	J 5 b
	6,000	D 4 b	E 4 b	J 4 b	J 5 b	D 4 b	E 4 b	J 5 b	J 5 c	E 4 b	J 4 b	J 5 b	J 5 c
	7,000	E 4 b	J 4 b	J 5 b	J 5 c	J 4 b	J 5 b	J 5 c	J 5 c	J 5 b	J 5 b	J 5 c	n/a
13,500	4,600	B 4 b	D 4 b	E 4 b	J 4 b	B 4 b	D 4 b	E 4 b	J 5 b	D 4 b	E 4 b	J 4 b	J 5 b
	5,000	D 4 b	E 4 b	J 4 b	J 5 b	D 4 b	E 4 b	J 4 b	J 5 c	E 4 b	J 4 b	J 5 b	J 5 c
	6,000	D 4 b	E 4 b	J 4 b	J 5 c	E 4 b	J 4 b	J 5 b	J 5 c	J 4 b	J 5 b	J 5 c	J 5 c
15,000	7,000	E 4 b	J 4 b	J 5 b	J 5 c	J 4 b	J 5 b	J 5 c	n/a	J 5 b	J 5 c	J 5 c	n/a

The above table details the engineering requirements represented as a code and referred to as follow:

Item 1 = Capital Letter		Item 2 = Number		Item 3 = Lower case letter	
Frame sections		Eave and Apex connections		Base connection and fixing	
C	C150 X 1.5mm PURLIN	1	Single haunch plate connections with single C7510 knee brace	a	C Section portal frame:
G	C150 X 1.9mm PURLIN				Angle bracket with Tex Screw fixings to columns and M12 Dynabolts to footings
A	150 X 50 X 2mm BOX	2	Single haunch plate eave connection with double C7510 knee brace and double haunch plate apex connection or Upgrade to welded 12 mm thick end plates 12mm bolted connections.		RHS portal frame:
B	150 X 50 X 3mm BOX				Welded base plate to column with M12 Dynabolts.
D	150 X 50 X 4mm BOX				Welded base plate fixing with M12 Chemset
E	185 X 65 X 3mm BOX	3	Welded 12mm thick end plates with 12mm bolted connections	b	J Bolts 12 mm base connection or
J	200 X 100 X 4mm BOX	4	Welded 12mm thick end plates with 16mm bolted connections	c	RHS Extensions with welded base plates or
		5	Welded 12mm thick end plates with 16mm Grade 10.9 bolted connections		

Roof Purlins and Wall Girts are resolved to the code relating to the Eave and Apex connections as follow:

Code	Section	Lapped Spans
1	75 x 0.75mm Top hat	For bay spacings up to 3.6m
2	75 x 1.0mm Top hat	For bay spacings up to 4.5m
3	120 x 1.0mm Top hat	For bay spacings up to 6m

Max spacings are set to the following:

Max roof purlin spacing	1,200 mm
Max wall girt spacing	1,350 mm

FOOTING SCHEDULE - Slab with incorporated PAD's

Max Span (mm)	Max Eave Height (mm)	TC 3				TC 2.5				TC 2			
		Max Bay Spacing (mm)				Max Bay Spacing (mm)				Max Bay Spacing (mm)			
		3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000
6,000	3,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	3,600	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	5,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
7,500	3,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	3,600	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
8,000	5,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	7,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	450/1100	400/400	400/400	400/400	600/1700
	3,600	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
9,000	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	5,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	6,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
9,500	6,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	4,200	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
	5,000	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400	400/400
12,000	4,200	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500
	5,000	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500
	6,000	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500
	7,000	500/500	500/500	500/500	500/500	600/1700	500/500	500/500	500/500	600/1700	500/500	500/500	600/1700
13,500	4,600	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500
	5,000	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500	500/500
	6,000	500/500	500/500	500/500	500/500	750/1600	500/500	500/500	500/500	750/1600	500/500	500/500	750/1600
15,000	7,000	500/500	500/500	500/500	750/1600	500/500	500/500	500/500	500/500	750/1600	500/500	600/1700	750/1600
	5,000	500/500	500/500	500/500	750/1600	500/500	500/500	500/500	600/1700	500/500	500/500	600/1700	500/500

The above table refers to the dimension of square PAD's incorporated in slab (i.e. width / depth)

- 1) 400 square pad footings can be substituted with 450 diameter;
- 2) 500 square pad footings can be substituted with 600 diameter;
- 3) All other dimensions are suitable for both square or round holes.

FOOTING SCHEDULE - Independent PAD's only

Max Span (mm)	Max Eave Height (mm)	TC 3				TC 2.5				TC 2			
		Max Bay Spacing (mm)				Max Bay Spacing (mm)				Max Bay Spacing (mm)			
		3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000	3,000	3,600	4,500	6,000
6,000	3,000	300/700	300/700	300/800	375/800	300/700	300/700	300/800	375/900	300/700	300/800	300/900	375/900
	3,600	300/700	300/700	300/800	375/900	300/700	300/800	300/900	375/900	300/800	300/800	300/900	375/900
	5,000	300/800	300/800	300/900	375/1000	300/800	300/900	300/1000	375/1000	300/900	300/900	300/1000	375/1100
7,500	3,000	300/700	300/700	375/800	375/900	300/700	300/800	375/800	375/900	300/800	300/800	375/800	375/900
	3,600	300/700	300/800	375/800	375/900	300/800	300/800	375/800	375/900	300/800	300/800	375/900	375/1000
	4,200	300/700	300/800	375/800	375/900	300/800	300/800	375/900	375/1000	300/800	300/900	375/900	375/1000
8,000	5,000	300/800	300/800	375/900	375/1000	300/800	300/900	375/900	375/1000	300/900	300/900	375/1000	375/1100
	7,000	300/900	300/1000	375/1000	450/1100	300/1000	300/1000	375/1100	450/1100	300/1000	375/1000	375/1100	600/1700
	3,600	300/700	375/800	375/800	450/900	300/800	375/800	375/900	450/900	300/800	375/800	375/900	450/1000
9,000	4,200	300/800	375/800	375/900	450/900	300/800	375/800	375/900	450/1000	300/800	375/800	375/900	450/1000
	5,000	300/800	375/800	375/900	450/900	300/800	375/900	375/900	450/1000	300/900	375/900	375/1000	450/1100
	6,000	300/800	375/900	375/900	450/1000	300/900	375/900	375/1000	450/1100	300/1000	375/1000	375/1100	600/1700
10,500	4,200	375/700	375/800	375/900	450/900	375/800	375/800	375/900	450/1000	375/800	375/900	450/900	450/1000
	5,000	375/800	375/800	375/900	450/1000	375/800	375/900	450/900	450/1000	375/900	375/900	450/1000	450/1100
	4,200	375/800	375/800	450/900	600/900	375/800	375/900	450/900	600/900	375/800	375/900	450/900	600/1000
12,000	5,000	375/800	375/900	450/900	600/900	375/800	375/900	450/900	600/1000	375/900	375/1000	450/1000	600/1000
	6,000	375/800	375/900	450/900	600/900	375/900	375/900	450/1000	600/1700	375/900	375/1000	450/1000	600/1700
	7,000	375/900	375/900	450/1000	600/1700	375/900	375/1000	600/1700	600/1700	375/1000	375/1100	600/1700	n/a
	4,600	375/800	450/800	450/900	600/900	375/900	450/900	450/1000	600/1000	375/900	450/900	450/1000	600/1000
15,000	5,000	375/800	450/900	450/900	600/1000	375/900	450/900	600/900	750/1600	375/900	450/1000	600/900	750/1600
	6,000	375/900	450/900	600/900	750/1600	375/900	450/900	600/900	750/1600	375/1000	450/1000	600/1700	750/1600
	7,000	375/900	450/900	600/900	750/1600	375/1000	450/1000	600/1700	n/a	375/1000	600/1700	600/1700	n/a

The above table refers to the hole dimension of footing PAD's required (i.e. diameter / depth)

Fully braced bay:

Cross bracing set is applied to eave side wall bay, the corresponding roof bay and the opposing eave side wall or high side wall in respect to skillions (i.e., 1 bay across the whole shed). No cross bracing is required on gable/skillion end walls.

Where Strap Bracing 25 x 0.8 mm is supplied

Max Span (mm)		Minimum bracing required	Conditions where additional bays will require bracing
From	To		
0	6,000	No require bracing	No require bracing
6,001	9,000	Where total number of bays <= 5 Minimum of 1 bay fully braced bay that is located adjacent to an end wall.	Where total number of bays >= 6 or more bays Minimum of 2 bays fully braced, commencing the bracing at an end wall bay following with fully braced bay/s every fifth subsequent bay.
9,001	12,000	Number of bays <= 5 Minimum of 2 bay fully braced bays that is located adjacent to an end wall following with bracing in the next adjacent bay.	Number of bays >= 6 or more bays Minimum of 2 bay fully braced bays that is located adjacent to an end wall following with fully braced bay/s every fifth subsequent bay.
12,001	15,000	Number of bays <= 5 Minimum of 3 bay fully braced	Number of bays >= 6 or more bays Minimum of 3 bay fully braced bays that is located adjacent to an end wall following with the remaining bays spread across the remaining six bays. Additional fully braced bay/s will be required for every fifth bay subsequent to the initial six bays.

Please note that relocation of bracing where openings or accessories would prohibit the bracing being installed are as per the bracing exceptions relocation examples below.

Where 30 mm channel bracing is supplied

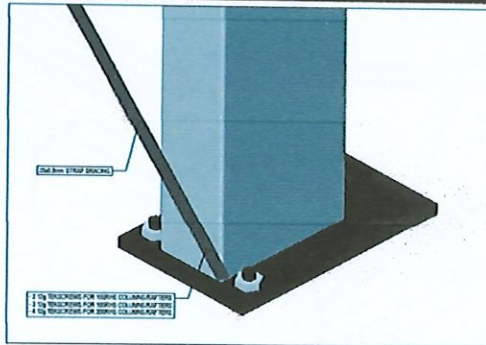
Max Span (mm)		Minimum bracing required	Conditions where additional bays will require bracing
From	To		
9,000.0	15,000	Where total number of bays <= 5 & Eave Height is up to 5,000 mm Minimum of 1 bay fully braced bay with 30 mm channel bracing	Where total number of bays >= 6 or more bays Minimum of 1 bay fully braced bay with 30 mm channel bracing following with fully braced bay/s every fifth subsequent bay.
15,000.1	13,500	Where total number of bays <= 5 & Eave Height is up to 7,000 mm Minimum of 2 bay fully braced bay with 30 mm channel bracing	Where total number of bays >= 6 or more bays Minimum of 2 bay fully braced bay with 30 mm channel bracing following with fully braced bay/s every fifth subsequent bay.

Strap bracing fixings:

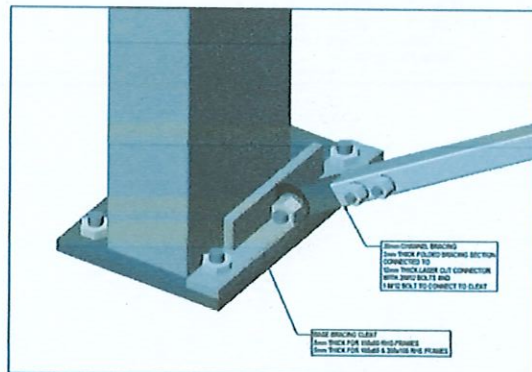
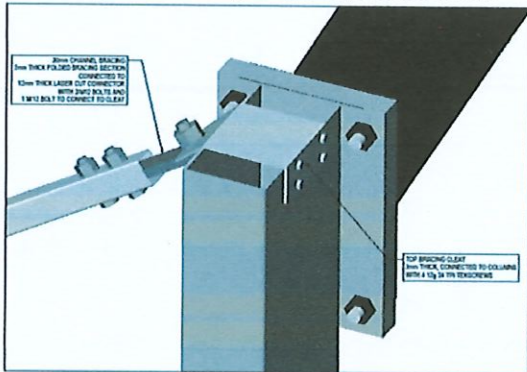
1 **Strap bracing fixing is as per the following:**

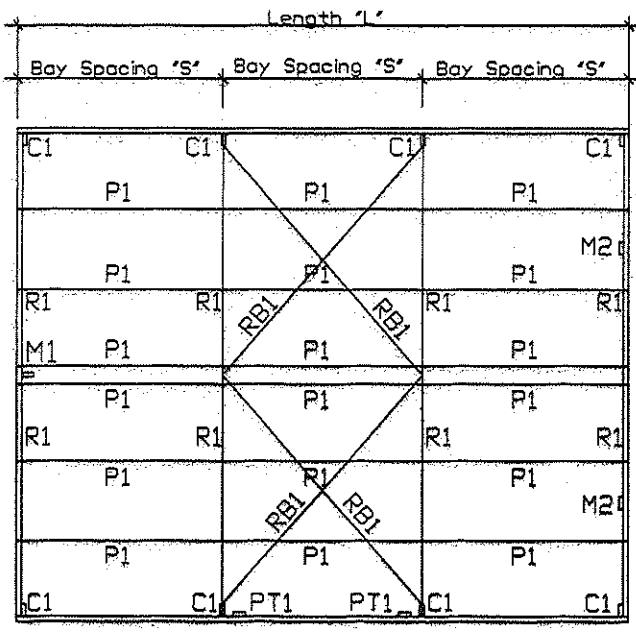
Tex Screw fixing required for frame type:

- 1) RHS 150 x 50 requires 2 x 12 g Tex Screws; or
- 2) RHS 185 x 65 requires 2 x 12 g Tex Screws; or
- 3) RHS 200 x 100 requires 4 x 12 g Tex Screws.



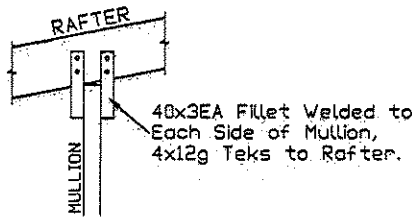
2 **30mm bracing channel bracing fixing is as per the following:**





ROOF FRAMING PLAN

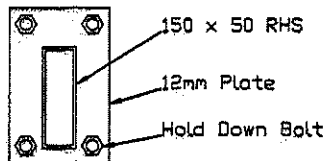
Note: Mullion M1 only required for width greater than 4500



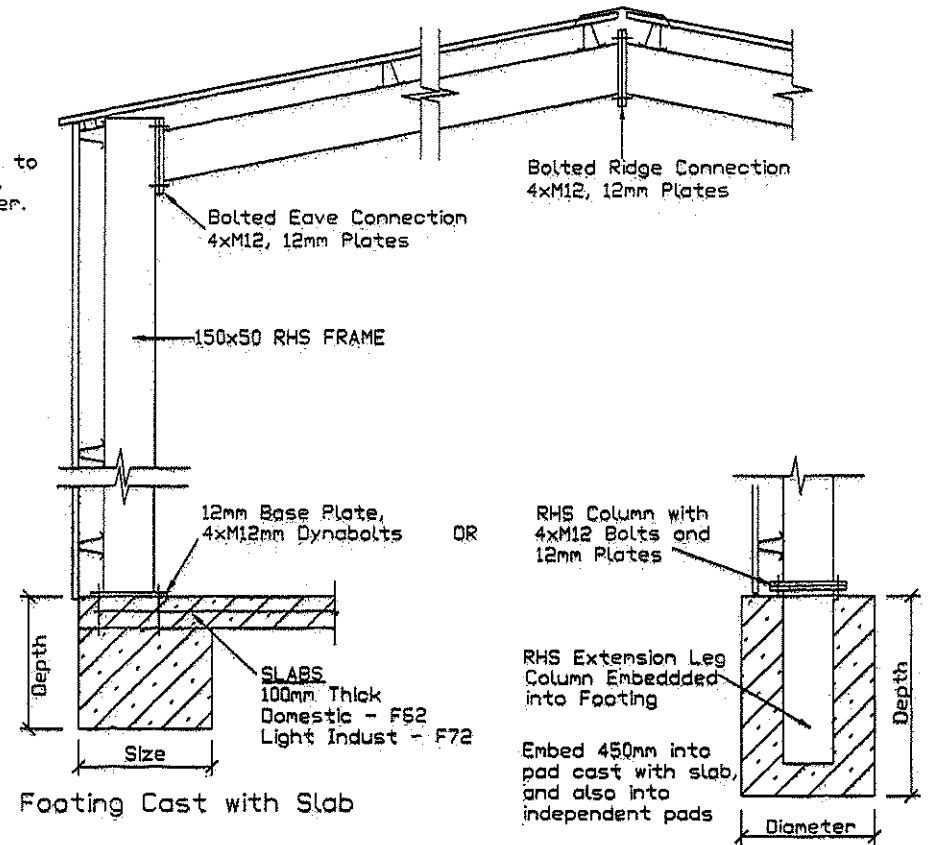
RAFTER TO MULLION

C1	COLUMN
M1/M2	MULLION
R1	RAFTER
RB1	BRACING
P1	PURLIN/GIRT
PT1	DOOR POST

NOTE: BRACING LOCATION AS PER MEMBER SCHEDULE



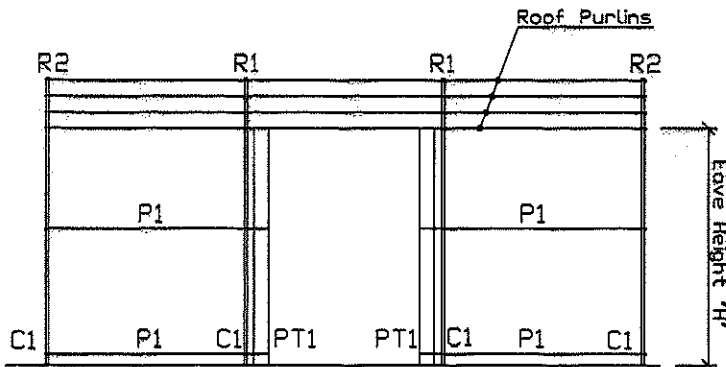
RHS BASE



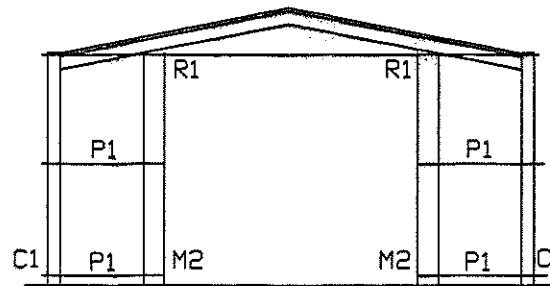
FRAME SECTION

Note: Footings to be built as per dimensions shown in member schedule

Note: Footing cast with slab can be substituted to the independent



SIDE WALL FRAMING (DOOR AS OPTION)



END WALL FRAMING (DOOR AS OPTION)



DAVID NICKSON.
20 DEALS RD DOUGLAS RIVER
TASMANIA 7215.

MOB.

TO WHOM IT MAY CONCERN.

BREAK ODAY COUNCIL.

WE ARE REQUESTING PERMISSION TO ERECT TWO FARM SHEDS ON OUR PROPERTY UNDER LOW RISK BUILDING WORK, SUBJECT TO COUNCIL APPROVAL.

BOTH SHEDS ARE KIT FORM AND ARE UNDER THE 200M² AREA.

SHED A IS 6M X 6M AND IS BEING USED FOR AGRICULTURAL PURPOSES FOR STOCK FEED, FERTILIZER AND SMALL FARM IMPLEMENTS.

SHED B IS 9M X 14M AND IS BEING USED FOR TRACTOR EXCAVATOR AND OTHER FARM EQUIPMENT.

ALL SPECIFICATION OF SHEDS HAVE BEEN SUPPLIED WITH DEVELOPMENT APPLICATION

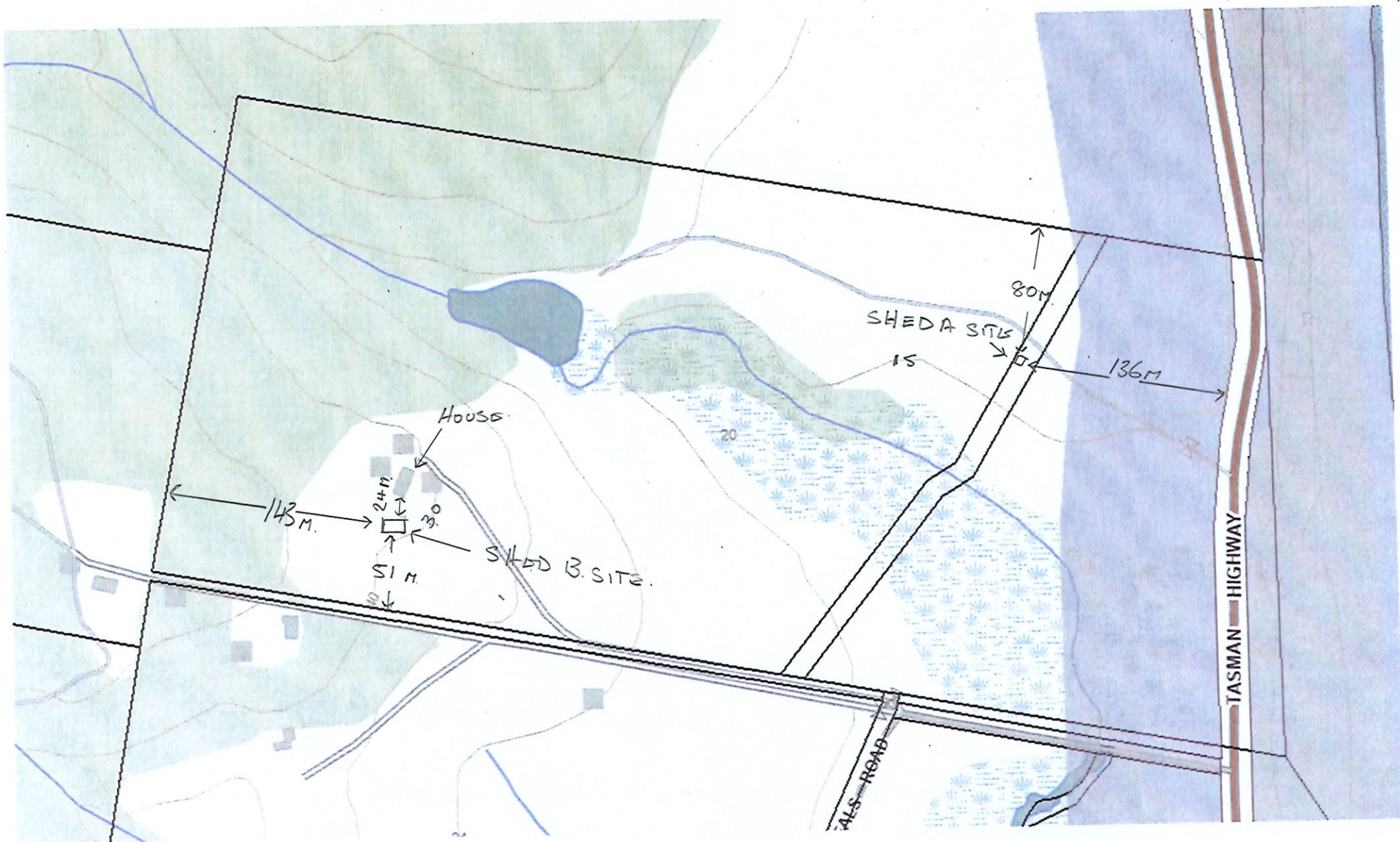
INTENTION OF SMALL SCALE CROPPING OF GAINS AND VEGETABLES. AND PLANTING OF FRUIT AND NUT TREES. WITHIN THE ESTABLISHED PADDOCKS.

REGARDS.

DAVID NICKSON.

SCALE 1:3405

SHED SITE A IS APPROX 15 METERS ABOVE SEA LEVEL
SHED SITE B IS APPROX 30 METERS ABOVE SEA LEVEL



to me

1 email in thread.

Email 1 of 1

Date: June 11, 2026 11:08 AM +10:00

D & M Nickson

Date: 10 June 2026

Attention: Rebecca Green
Development Services Team
Break O'Day Council
32-34 Georges Bay Esplanade
St Helens TAS 7216

Dear Rebecca,

**RE: Development Application DA 2026 / 00053
Response to Request for Additional Information – Section 51(1AC) & Section 54
Construction of Two Sheds – 20 Deals Road, Douglas River**

I refer to your correspondence dated 19 March 2026 regarding the development application for the construction of two sheds at 20 Deals Road, Douglas River. Please find enclosed the formal response and the requested additional information required to satisfy the provisions of the Land Use Planning and Approvals Act 1993 and the Tasmanian Planning Scheme.

Background and Existing Property Use

By way of background, we have owned and managed this property since 1988. The land has been consistently utilised for agricultural purposes falling under the Resource Development use class. Over this time, the continuous agricultural use of the land has included:

- **1989 – 1995:** Extensive grazing operations running cattle across the property.
- **1993 – 1995:** Small-scale cropping, producing commercial market garden varieties such as tomatoes, pumpkins, and corn.
- **1995 – 1997:** Establishment and operation of an approved piggery on the property, following formal Council approval.
- **1998:** Horticultural development involving the planting of a sizable olive orchard. While a significant portion of this orchard was lost over time due to rabbit pressure and concurrent employment obligations, agricultural intent remained constant.
- **2007 – 2016:** Maintenance of low-density livestock grazing operations (sheep) to manage pastures while balancing Fly-In Fly-Out (FIFO) mining work commitments.
- **2017 – Present:** Re-escalation and scaling up of active livestock operations, including an increased sheep flock and the integration of goats.

Current operations focus heavily on infrastructure revitalization, specifically rebuilding the internal property fencing and addressing outstanding boundary fencing repairs. To facilitate these ongoing works, we have invested in a new agricultural tractor along with various farming implements.

The immediate plan for the property includes expanding a dedicated, small-scale market garden and establishing an orchard to provide primary produce for our family. The two proposed sheds are critical support infrastructure to store this newly acquired tractor, implements, fencing materials, and tools required to sustain these long-term agricultural operations.

Intended Building Approval Pathway

In addition to the specific planning items detailed below, we wish to clarify the regulatory building approval pathway for these structures. Both proposed sheds are non-commercial outbuildings designed strictly to support the ongoing, long-term agricultural operations on our 22-hectare property.

Under the provisions of the *Tasmanian Building Act 2016* and the current *Director's Determination on Categories of Building and Demolition Work* issued by Consumer, Building and Occupational Services (CBOS), standalone farm sheds erected on land within a rural zone are explicitly categorized as **Category 1: Low Risk Building Work**, provided that they do not exceed a gross floor area of 200 square metres per structure and are used exclusively for non-habitable farming purposes.

As our engineering designs from Eureka Garages & Sheds indicate footprints of 36 m² (Shed A) and 126 m² (Shed B), both structures sit comfortably below the state's 200 m² regulatory threshold. Consequently, these structures are legally exempt from requiring a formal Building Permit, a Certificate of Likely Compliance, or the engagement of a private Building Surveyor.

We fully understand that this building permit exemption is entirely separate from, and subject to, first obtaining Planning Approval under the Tasmanian Planning Scheme. Following the successful determination of this Planning Permit, we intend to proceed with construction under the state's Low Risk framework and will formally lodge a *Form 80: Notification of Low Risk Work* with the Council within the mandatory timeframe following completion.

Response to Specific Council Items

1. Amended Development Application Form & Owner Details

The two owners of the property are **Mijum Nickson** and **David Nickson**. An amended Development Application Form has been completed to reflect this. Both owners are now correctly listed in the 'Owner Details' section.

2. Vehicular Access Clarification

It is confirmed that vehicular access to the property is achieved **directly onto Deals Road**. Access does not rely on, nor pass through, the adjoining property at 22 Deals Road. Consequently, no external owner authorizations or details are required for this application, as all works and access points remain entirely within the boundaries of 20 Deals Road.

3. Existing Use Confirmation

As detailed in the background section of this letter, the property has been actively utilized for Resource Development (agricultural and hobby farming) use since 1988. The proposed structures are non-commercial outbuildings explicitly required to shelter equipment, machinery, and agricultural assets that support this ongoing land use.

4. Shed Specifications & Site Layout Context

Engineering designs from Eureka Garages & Sheds confirm the detailed structural physical dimensions of the components as follows:

Proposed Shed A (Skillion Storage Shed): Formed on a C150 x 1.9mm steel purlin structure. The physical footprint measures a compact **6.0 metres in width by 6.0 metres in length** (36 m² total floor area) across a **2-bay configuration with a 3000mm spacing design**. The roof profile features a 5-degree skillion pitch, tapering from a **high side eave height of 2.9 metres** down to a **low side eave height of 2.4 metres**. Access points include a standard Personal Access Door (2200mm x 870mm) and a Front Gable Roller Door (2100mm high x 2400mm wide). Foundation work consists of a **120 mm thick concrete slab** engineered to sit on a relatively flat profile, taking up a minimal ground drop across its span with **no earth cutting required**. This building is positioned independently within the paddock, situated **approximately 136 metres from the eastern boundary (main road), approximately 80 metres from the northern boundary line, and approximately 2 metres from the internal boundary** of the adjoining internal allotment.

Proposed Shed B (Machinery Shed): Formed on a heavy-duty 150mm x 50mm x 3mm steel box frame chassis utilizing rigid bolted connections. The footprint measures **14.0 metres in length by 9.0 metres in width** across a **4-bay configuration with a 3500mm spacing design**. The structure features an **eave height of 3.3 metres** scaling up to a central **roof ridge height of 4.2 metres**, providing optimal clearance for active primary production vehicles. The building sits on a relatively flat building envelope featuring a mild drop of 350 mm over its 14-metre length. The foundation will consist of a **120 mm thick concrete slab**, with the side edge of the slab deepening at the enclosed bay to cleanly take up the 350 mm drop, ensuring **no ground cutting or excavation is required** on the site. This structure is located **approximately 20 metres south** of the existing dwelling house, **approximately 143 metres from the western boundary, and approximately 51 metres from the southern boundary fence**.

An amended site plan accompanies this letter, detailing these precise boundary lines, setbacks, and distances to existing structures.

5. Building Setbacks & Amenity Impacts (Clause 22.4.2 P3)

Proposed Shed B satisfies primary zoning setbacks by sitting **approximately 51 metres clear of the southern boundary fence and approximately 143 metres clear of the western boundary**. Proposed Shed A sits **approximately 136 metres from the eastern boundary, approximately 80**

metres from the northern boundary, and is positioned **approximately 2 metres from an internal boundary line** dividing the subject property from an adjoining internal block of land, which is also under our direct ownership.

The natural topography of the development sites consists of flat to gently undulating rural terrain. To proactively address local visual amenity, the location for Proposed Shed A has been strategically adjusted and moved from its initial proposed site. While Shed A is not completely obscured from view, its visual profile has been significantly reduced from the northern direction by utilizing a natural rise in the ground running along our northern boundary fence. Furthermore, the building's eastern profile is heavily screened from view by thick, established bush running along the main road's designated scenic corridor, paired with the dense natural tree growth parallel to Deals Road.

Similarly, the visual impact of Proposed Shed B is entirely minimized and hidden from external view points. Due to its positioning **approximately 20 metres behind the existing dwelling house**, the natural lay of the surrounding ground, and the presence of established local bush vegetation, the structure is effectively obscured from roads and public viewpoints.

Because Shed A faces an internal boundary line of land within the same ownership and both structures are heavily screened by vegetation and terrain, the development causes zero unreasonable loss of amenity to external properties. Foundations sit naturally on the grade with no aggressive cutting or benching required, keeping building lines flush with the environment. No native vegetation clearance is required to accommodate either slab footprint.

6. Building Finishes and Exterior Colours

The exterior finishes for both proposed structures have been selected to blend into the surrounding environment and comply with acceptable solution A5 of clause 22.4.2. As specified by the structural quotes, the material choices consist of:

Roof Profile: Corrugated 0.47mm steel cladding in the colour **Monolith**.

Wall Profile: Profiled 0.47mm steel cladding (HiClad/ShedClad) in the colour **Monolith**.

Trims, Guttering, and Barges: Matching Monolith quad-gutters and structural trims.

The colour **Monolith** is a dark, natural charcoal tone featuring a Solar Absorptance rating of 0.73. This translates to a light reflectance value (LRV) well below the 40% maximum threshold enforced by the Planning Scheme, ensuring that the structures do not generate problematic glare or visual impacts.

7. Site Coverage and Runoff Management (Clause 22.4.1 P1)

The subject property encompasses an extensive rural land area of approximately **22 hectares (220,000 m²)**. While the combined physical footprint of the existing house and the two proposed sheds will technically exceed an aggregate site coverage of 400 m², this total developed roof space

represents less than 0.2% of the overall property holding. The sheer scale of the 22-hectare acreage is more than ample to absorb any localized rainwater runoff.

Furthermore, stormwater absorption will be completely controlled and mitigated right at the source. **We intend to install an independent 25,000-litre water storage tank on each of the two sheds.** Rainwater from the roofs will be explicitly captured by the integrated quad-gutters and downpipes and fed straight into these tanks to provide dedicated, self-contained water resources for our ongoing stock operations and domestic farm use. Any overflow during major storm events will release via controlled outlets safely onto our wide, highly permeable pasture zones and natural, cleared farm drainage lines, entirely avoiding adverse soil stability or water management impacts on adjacent properties.

8. Landscape Protection (Clause 22.4.4 P1, P2.1, & P2.2)

The sheds are intentionally sited on clear, pre-existing clearings to ensure that **zero protected native vegetation canopy or fauna habitat needs to be removed.**

Vegetation removal on the property is strictly limited to routine property maintenance and seasonal fire hazard reduction. Prior to the bushfire season, the footprint of Shed Site A was slashed to clear ground-level sags and minor tea tree scrub within the paddock zone. Similarly, Shed Site B required only the disturbance of a minimal amount of low-level sags adjacent to the house asset protection zone.

Neither building footprint interferes with mature timber. Furthermore, by relocating Shed A to take direct advantage of the natural ground rise running along our northern boundary fence, paired with the dense scenic corridor tree growth that buffers the main road to the east and the screening timber along Deals Road, the building's visibility is heavily restricted. Combined with embedding Shed B completely behind the existing house and surrounding bush, neither structure sits within 10 vertical metres of a prominent skyline or ridgeline crest due to the level topography of the select sites. The foundation methods preserve the existing surface lay of the land, meaning the low-profile layouts and the dark natural finish of both buildings ensure compliance with Performance Criteria P1 and P2 by preserving the rural character and local landscape values of Douglas River.

Finally, thank you for your initial information request letter and for taking the time to speak with me over the phone regarding these application requirements. The clarification provided during our conversation was incredibly valuable in helping me compile these exact details for the council.

Yours sincerely,

David & Mijum Nickson

Subject: Additional Information Response - DA 2026 / 00053 - 20 Deals Road, Douglas River

Attention: Rebecca Green

Dear Rebecca,

I am writing in response to your request for additional information dated 22 June 2026 regarding DA 2026 / 00053 for the construction of two sheds at 20 Deals Road, Douglas River.

Please accept my apologies for the incomplete sections on the initial paperwork. To rectify this, I am submitting an amended Development Application form with this email. As the sole applicant, I have now fully completed the "If Applicant is not the Owner" declaration section at the bottom of the second page to account for both registered property owners.

Please also find below the clarification required under Section 54 regarding vehicle access and carriageway details for the proposed sheds:

1. **Shed A Access:** This shed will be accessed via the existing front gate entry off the Tasmanian Highway. This dirt access track and gate pre-date our purchase of the property in 1982, feature a 4-metre minimum wide carriageway, and provide long-established historical access.
2. **Shed B Access:** This shed will be accessed via the existing gravel driveway off Deals Road. This driveway was formally established in 1985, serves as the main access to the house, features a 4-metre minimum wide carriageway, and provides direct, stable access.

Both of these existing access roads are already shown on the site plan previously submitted with our application. No new driveways, crossovers, or modifications to the road reserve are required or proposed for either shed.

I hope this information and the amended form satisfy the requirements, and I look forward to your feedback if anything further is required.

Kind regards,

David & Mijum Nickson