

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00076
Applicant	Spectura Studio
Proposal	Community Meeting & Entertainment - Alterations/Additions to Community Centre
Location	18 Morrison Street, Falmouth

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 21st June, 2025 **until 5pm Friday 4th July, 2025**.

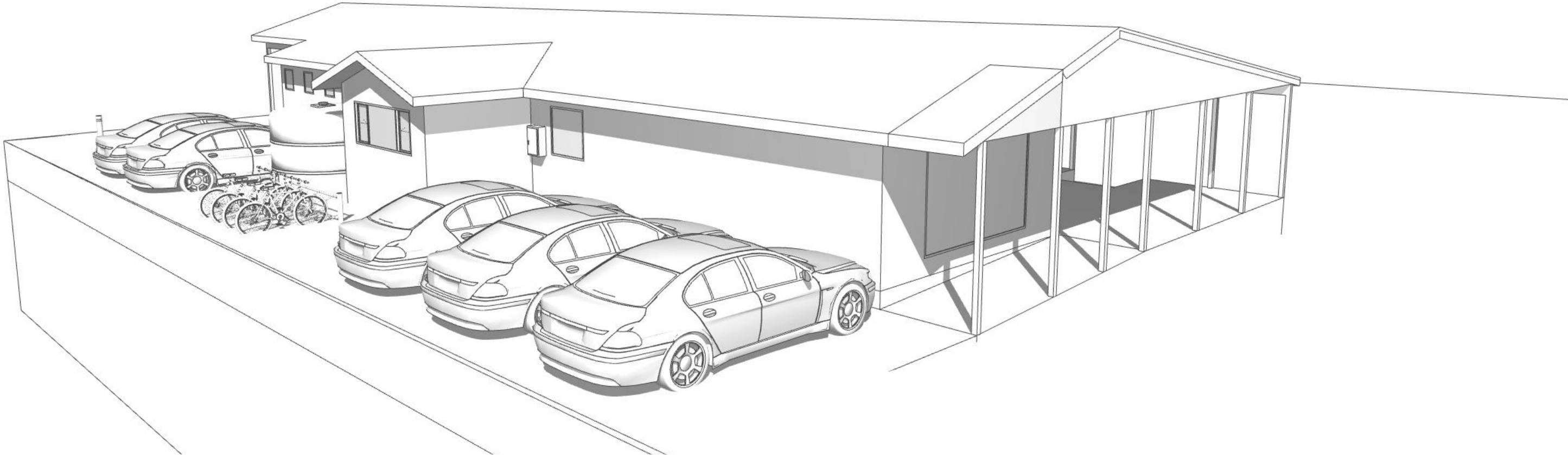
John Brown
GENERAL MANAGER

SHEET No.	DRAWING TITLE	ISSUE	DATE
A00	Cover Sheet	B	12/06/2025 2:34 PM
A01	Location Plan	B	12/06/2025 2:34 PM
A02	Site Plan	B	12/06/2025 2:34 PM
A03	Site Plan - Overall	B	12/06/2025 2:34 PM
A04	Floor Plan	A	12/05/2025 1:38 PM
A05	Kitchen Layout	A	12/05/2025 1:38 PM
A06	Elevations	A	12/05/2025 1:38 PM
A07	Existing Conditions	A	12/05/2025 1:38 PM
A08	Demolition Plan	A	12/05/2025 1:38 PM

CHANGE LIST			
ID	DETAILS	LAST MODIFIED	STATUS
Ch-01	On street parking shown	12/06/2025 2:25 PM	Transmitted
Ch-02	Bicycle rack added	12/06/2025 2:27 PM	Transmitted

Development Application

Issue: B- DA Submission - RFI
Response : Falmouth Community Centre





CHANGE LIST			
ID	DETAILS	LAST MODIFIED	STATUS
Ch-01	On street parking shown	12/06/2025 2:25 PM	Transmitted
Ch-02	Bicycle rack added	12/06/2025 2:27 PM	Transmitted

SITE DETAILS

ADDRESS: 18 Morrison St Falmouth
TAS 7215
LOT/DP: 114977/1
COUNCIL: Break O'Day Council
ZONING: Community Purpose

NOTE:
ALL DIMENSIONS TO BE VERIFIED
ONSITE BY BUILDING CONTRACTOR
AND PHYSICALLY LOCATE ALL
UNDERGROUND SERVICES AND
THEIR LOCATION IN RELATION TO
PROPOSED WORKS.
WRITTEN DIMENSIONS
PREFERENCED OVER SCALED
DIMENSIONS.
DISCREPENCIES TO BE REFERRED TO
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PROCEEDING.

ISSUE LIST		
Issue	Description	Date
A	DA Submission	12/05/2025
B	DA Submission - RFI Response	12/06/2025

PROJECT
Proposed Community Centre upgrades

PROJECT ADDRESS:
114977/1
18 Morrison St Falmouth TAS 7215

CLIENT
Break O Day Council

SHEET SIZE A3
A01



Location Plan
SCALE: 1:400, 1:1
PROJECT NUMBER: G153B



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MP
CHECKED BY:
MP
DATE:
Thursday, 12
June 2025
BDA&T: 6521



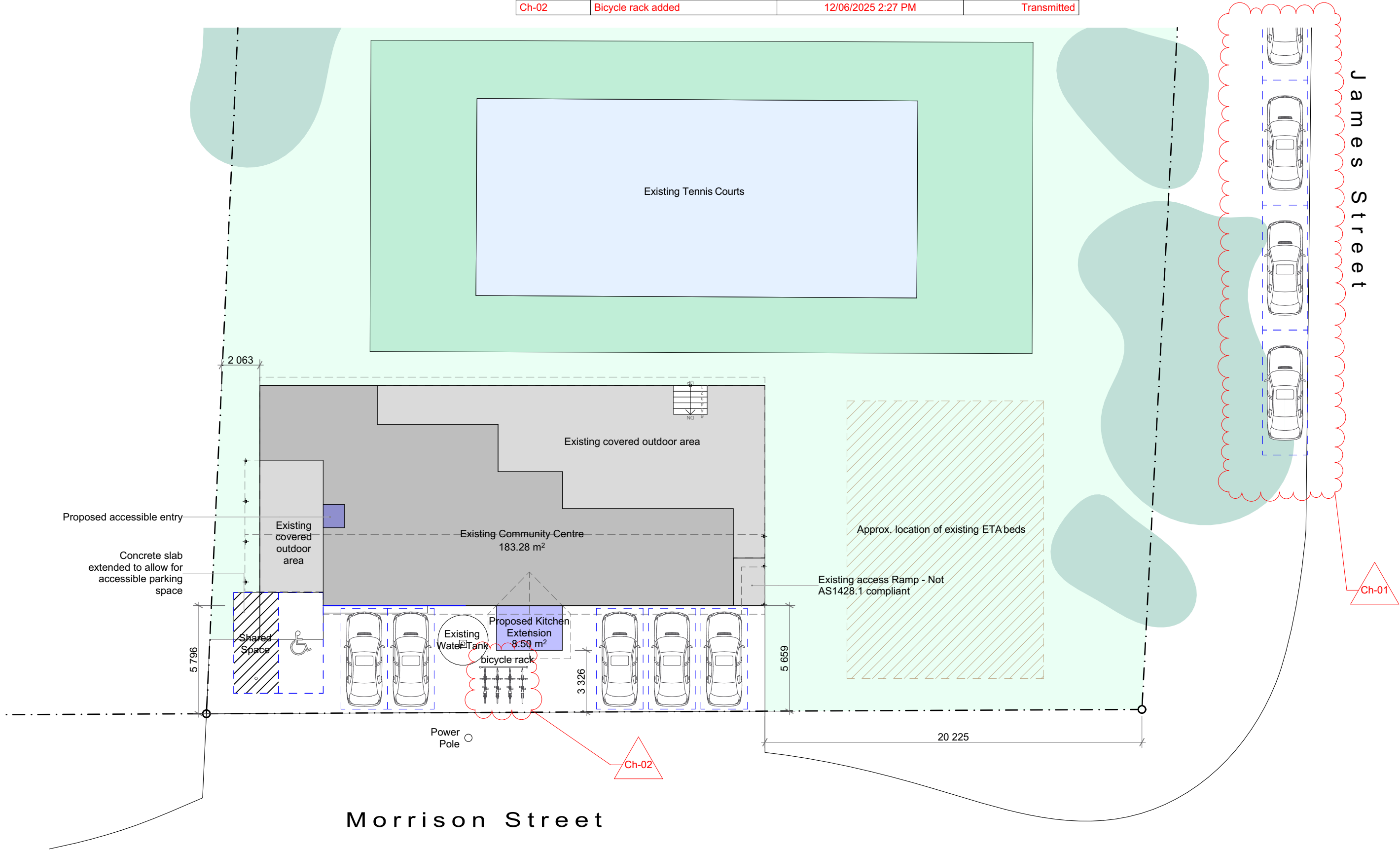
Location Plan


Scale 1:400

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Thursday, 12 June 2025

BDA&T: 6521

Issue	Description	Date
SK1	Concept Development	20/03/2025
A	DA Submission	12/05/2025
B	DA Submission - RFI Response	12/06/2025

PROJECT
Proposed Community Centre upgrades

PROJECT ADDRESS:
114977/1
18 Morrison St Falmouth TAS 7215

CLIENT
Break O Day Council


A02

SHEET SIZE A3

Site Plan

SCALE: 1:200, 1:1

PROJECT NUMBER: G153B



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SITE DETAILS

ADDRESS: 18 Morrison St Falmouth TAS 7215

LOT/DP: 114977/1

COUNCIL: Break O'Day Council

ZONING: Community Purpose



Legge Street

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PROJECT
Proposed Community Centre upgrades

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114977/1
18 Morrison St Falmouth TAS 7215

CLIENT
Break O Day Council

SHEET SIZE A3

A03

Site Plan - Overall
SCALE: 1:400, 1:1
PROJECT NUMBER: G153B

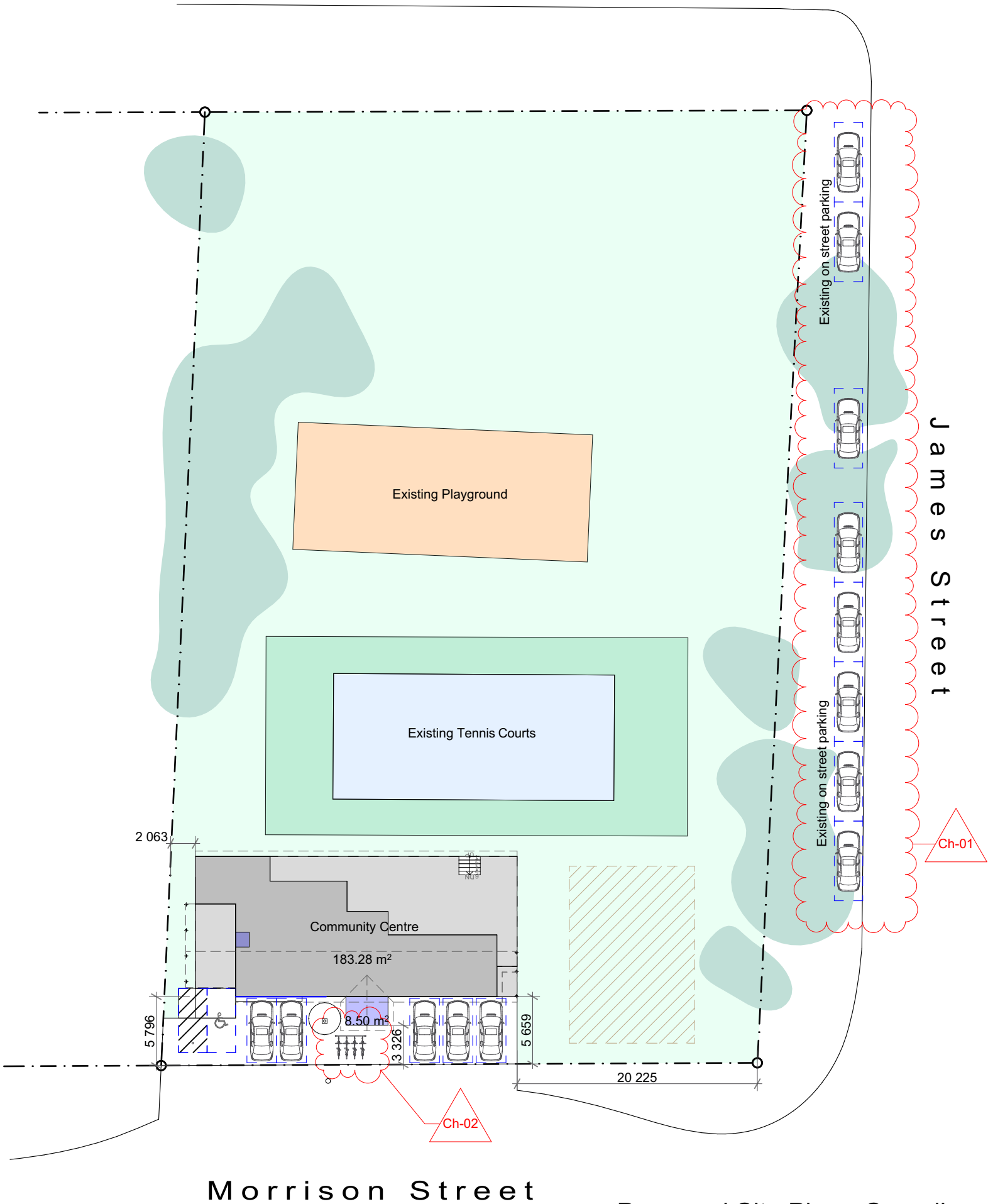
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Parking & Transportation	
Typical parking spaces provided:	5
Accessible parking spaces provided:	1
Total Spaces Provided:	6
Available off site (adjacent on street) parking available:	8
Total Available Parking Spaces:	14
Total available bicycle spaces:	4

SITE DETAILS
ADDRESS: 18 Morrison St Falmouth TAS 7215
LOT/DP: 114977/1
COUNCIL: Break O'Day Council
ZONING: Community Purpose

Proposed Site Plan - Overall
Scale 1:400

Scale 1:100

1

0

1

2

3

4

5

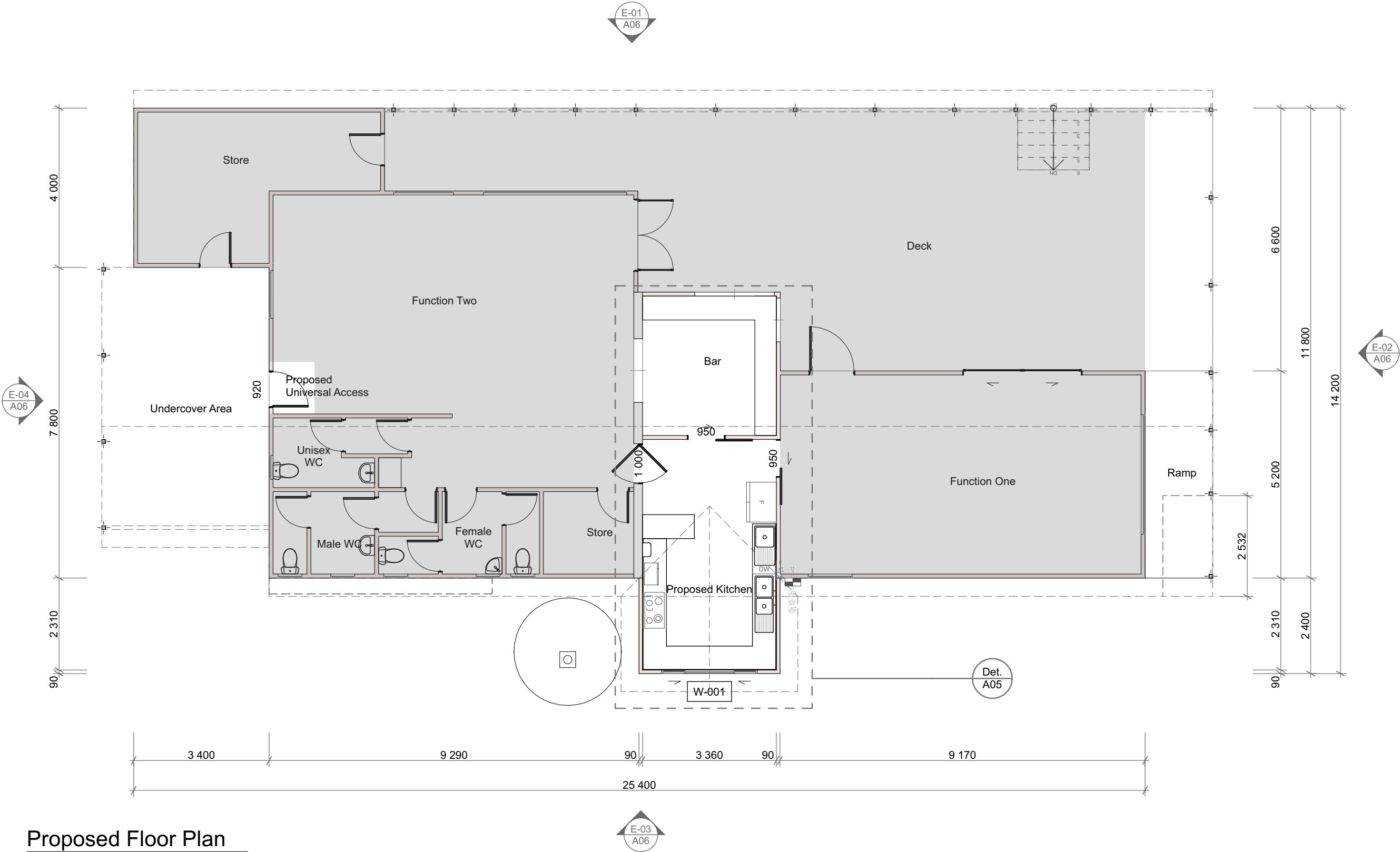
6

7

8



9

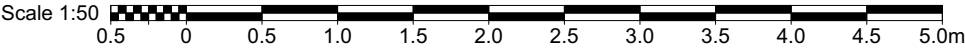
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Proposed Floor Plan

Scale 1:100

PROJECT NUMBER: G153B		ISSUE LIST			PROJECT		A04		NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERRED OVER SCALED DIMENSIONS. DISCREPENCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.
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	MP	SK1	Concept Development	20/03/2025	PROJECT ADDRESS:				
	CHECKED BY:	A	DA Submission	12/05/2025					
	MP				114977/1 18 Morrison St Falmouth TAS 7215				
	DATE:								
	Thursday, 12 June 2025				CLIENT Break O Day Council				
BDA&T: 6521									
							Floor Plan		
							SCALE: 1:100 PROJECT NUMBER: G153B		



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PROJECT
Proposed Community Centre upgrades

PROJECT ADDRESS:
114977/1
18 Morrison St Falmouth TAS 7215

CLIENT
Break O Day Council

SHEET SIZE A3

A05

Kitchen Layout
SCALE: 1:50
PROJECT NUMBER: G153B

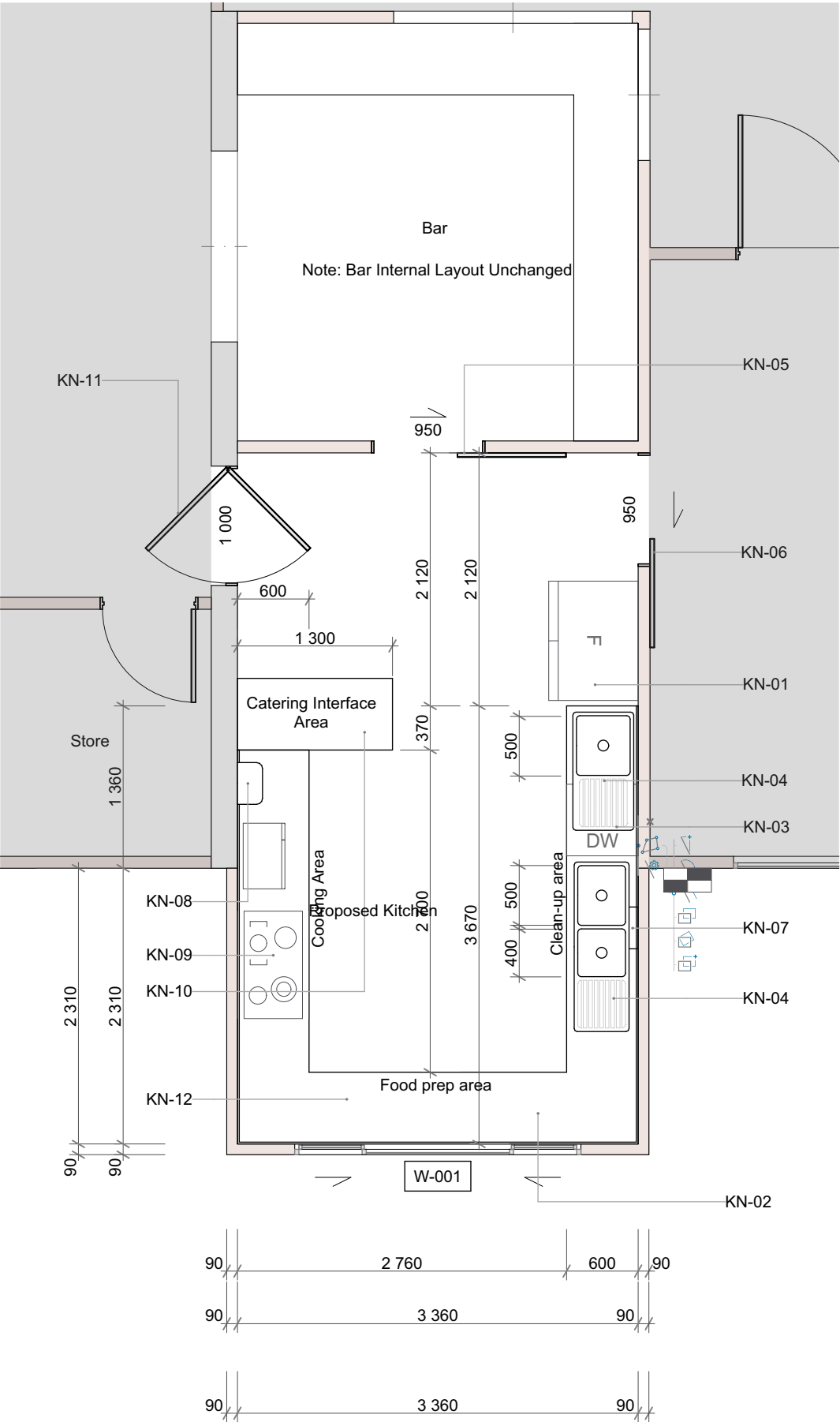
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Kitchen Notes

KN-01	Fridge	~1000mm width, double door. Glass faced if budget permits.
KN-02	Benchtops	Stainless steel Benchtops with 150mm return coving to wall
KN-03	Dishwasher	Underbench Dishwasher
KN-04	Wash ups	Two sinks. Overmount stainless steel. Single & double, with drain trays.
KN-05	Bar Access	Doorway realignment to improve circulation space, door to be lockable slider
KN-06	Function One Access	Sliding door to be installed to allow for segregation of public and service space when required
KN-07	Instant hot water	Steibel eltron (or like) underbench hot water providing instant hot water and reducing running costs associated with storage tanks in buildings of intermittent use. Recommend cold water supply only to amenities until budget allowance for instant units in amenities available
KN-08	Urn / Water boiler	Underbench instant hot water boiler with overhead tap and drip tray
KN-09	Stove/Oven	Induction cooktop with underbench oven
KN-10	Catering Bench	600x1300mm Stainless Steel catering bench on castors allowing for different alignments and locations
KN-11	Swing Door	Dual swinging door to Function Two providing hands free access. Lockable with wall hook to allow door to keep open when required
KN-12	Storage	Storage to be underbench drawers. Specification to be finalised

Note:
Kitchen to comply with
Food Standard 3.2.3 -
Food Premises and
Equipment

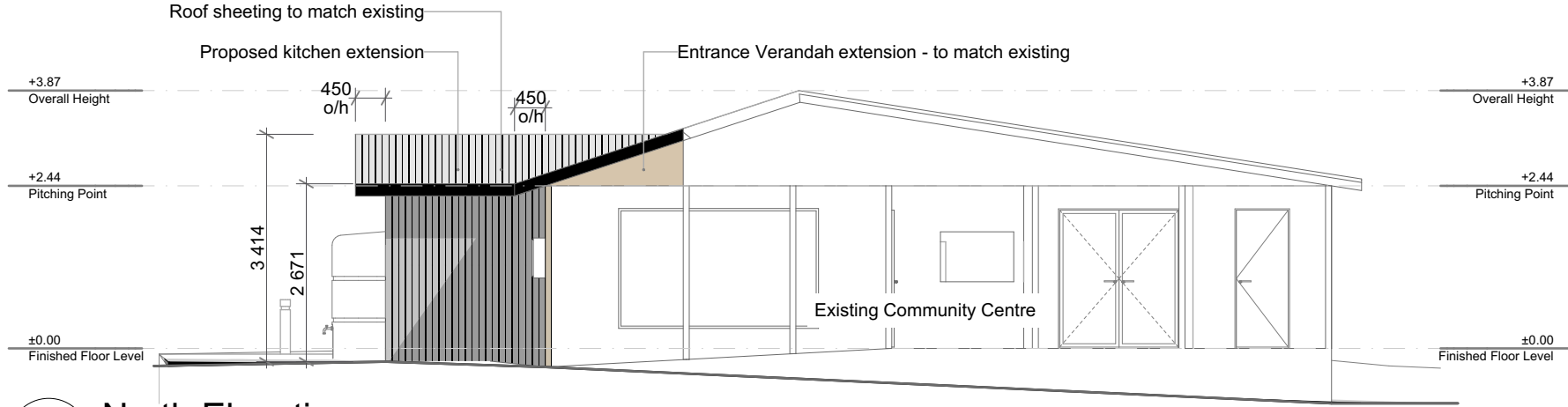


Proposed Kitchen Layout

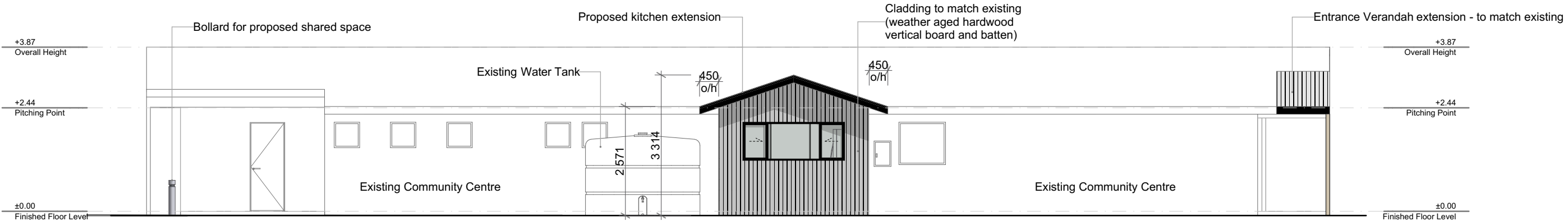
Scale 1:50



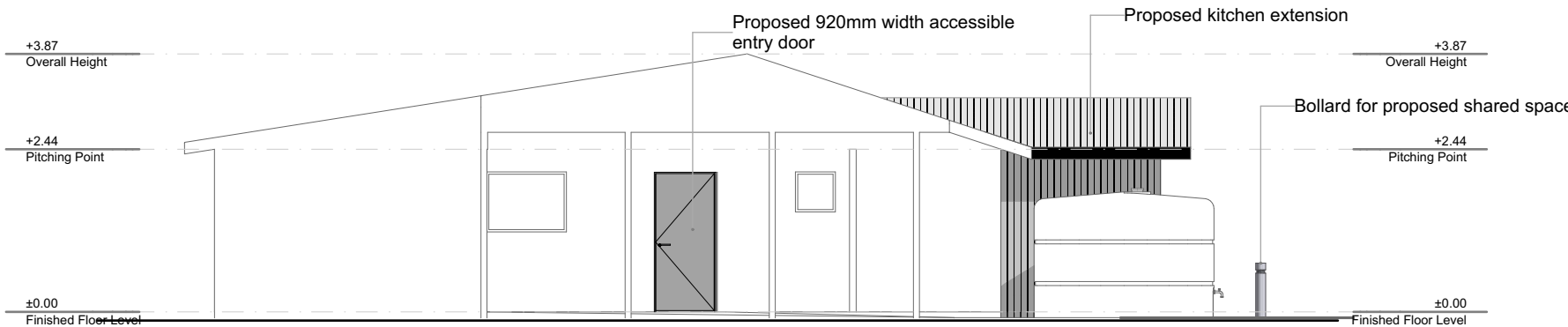
E-01 West Elevation
A02 Scale 1:100



E-02 North Elevation
A02 Scale 1:100



E-03 East Elevation
A04 Scale 1:100



E-04 South Elevation
A04 Scale 1:100



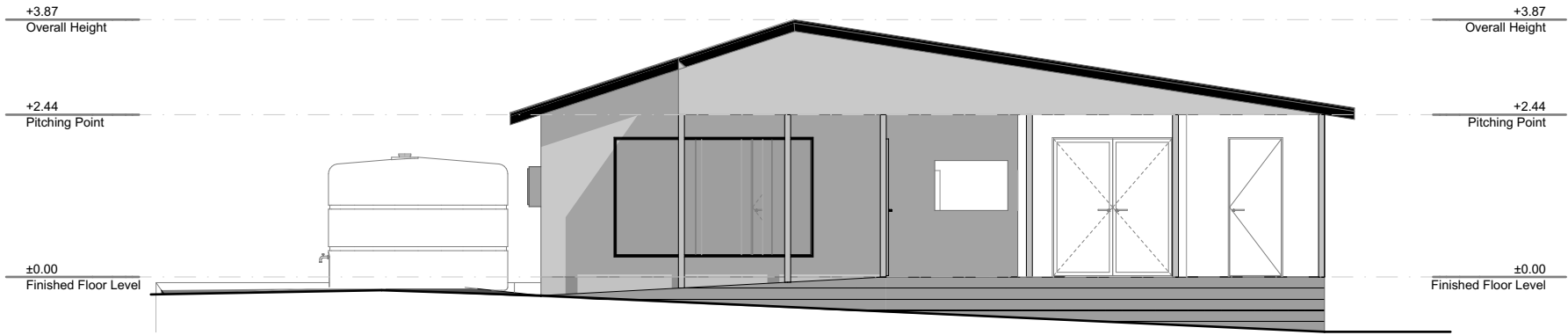
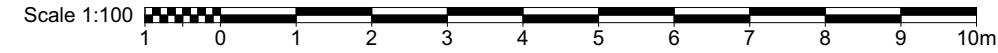
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PROJECT NAME
Falmouth Community
Centre

PROJECT ADDRESS:
18 Morrison St Falmouth
TAS 7215

A06
Elevations

1:100



East Elevation - Existing

Scale 1:100

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18 Morrison St Falmouth TAS 7215

CLIENT
Break O Day Council

SHEET SIZE A3
A07

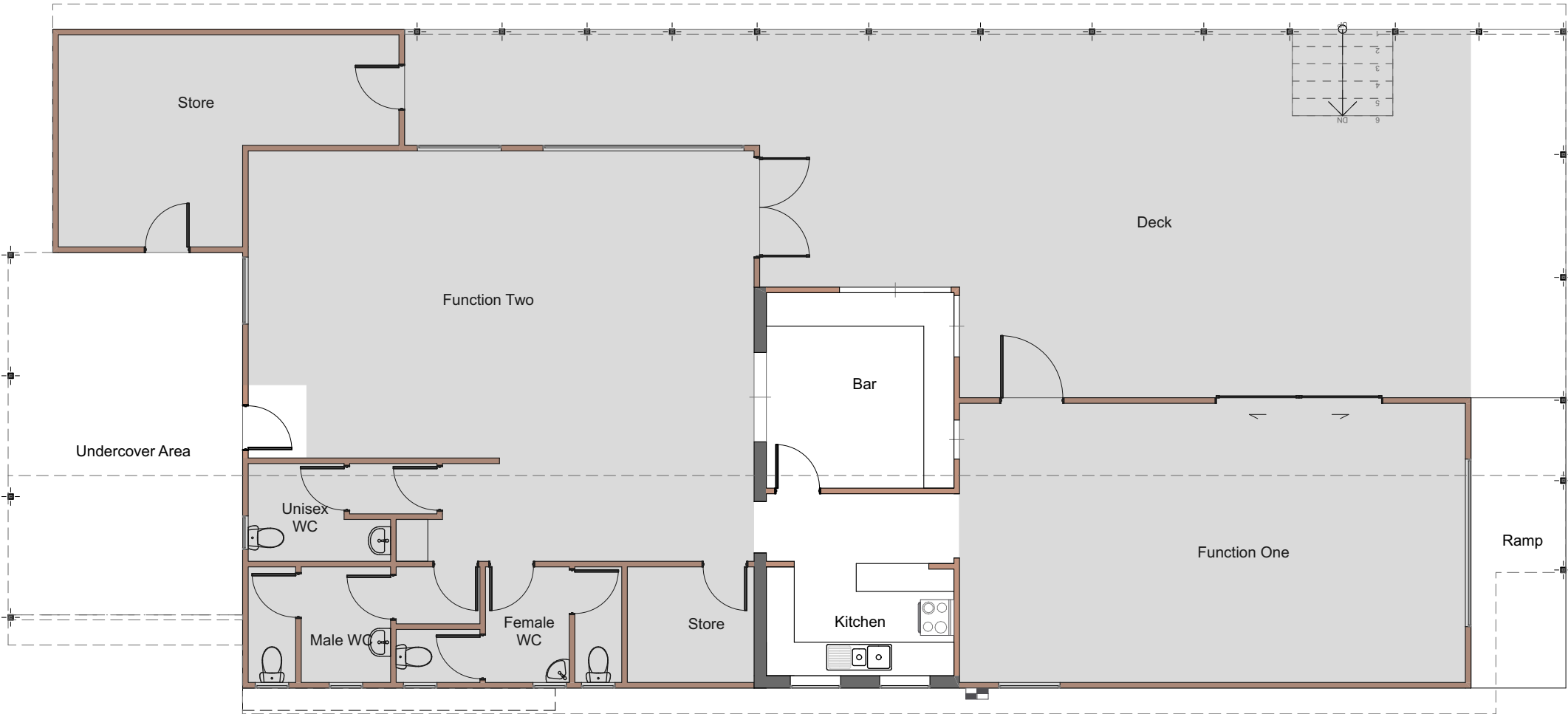


Existing Conditions
SCALE: 1:100
PROJECT NUMBER: G153B



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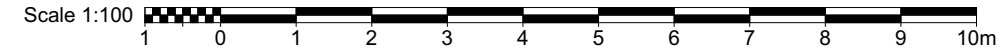
Existing Conditions

Scale 1:100



South Elevation - Existing

Scale 1:100



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18 Morrison St Falmouth TAS 7215

CLIENT
Break O Day Council

SHEET SIZE A3

A08

Demolition Plan

SCALE: 1:100

PROJECT NUMBER: G153B

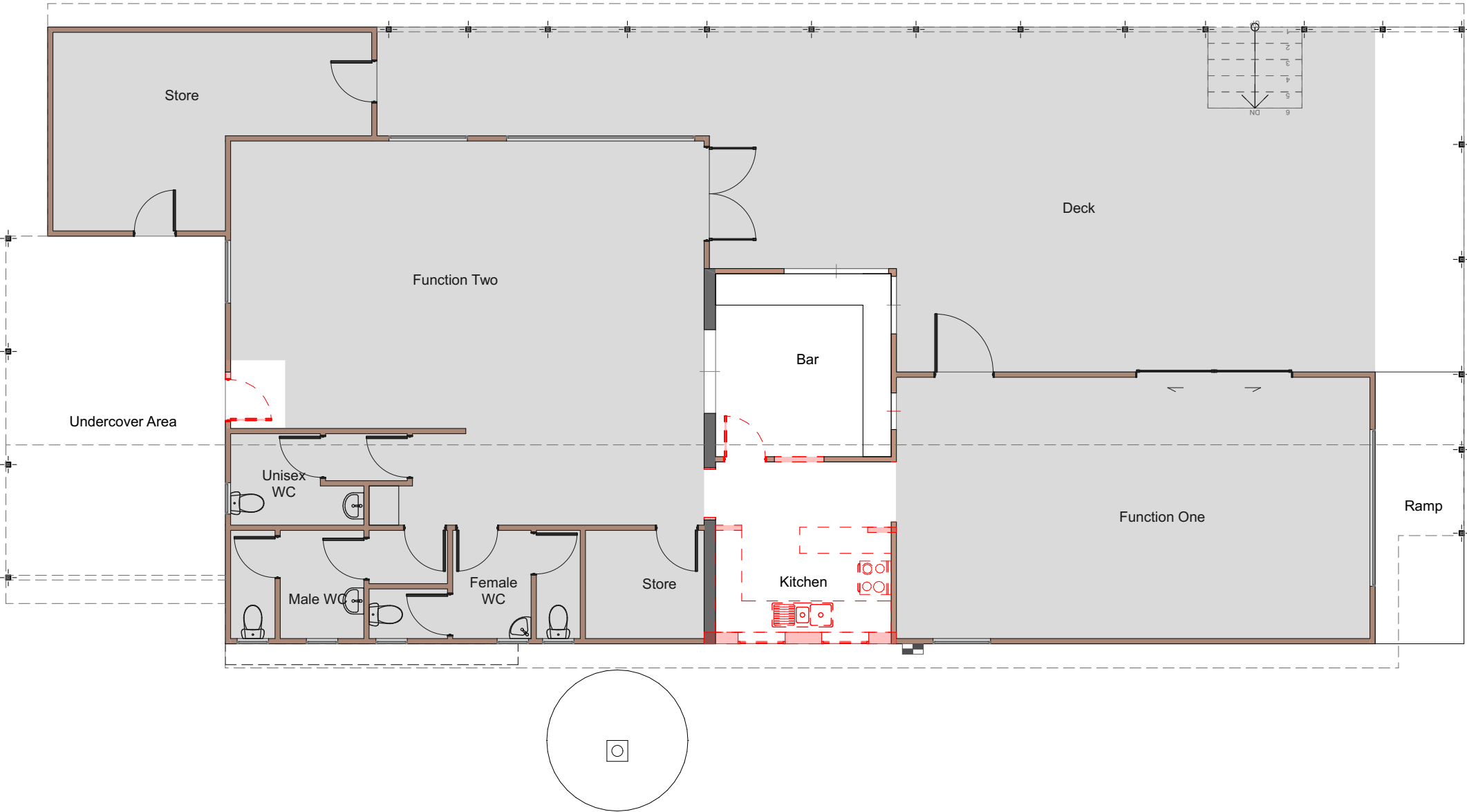
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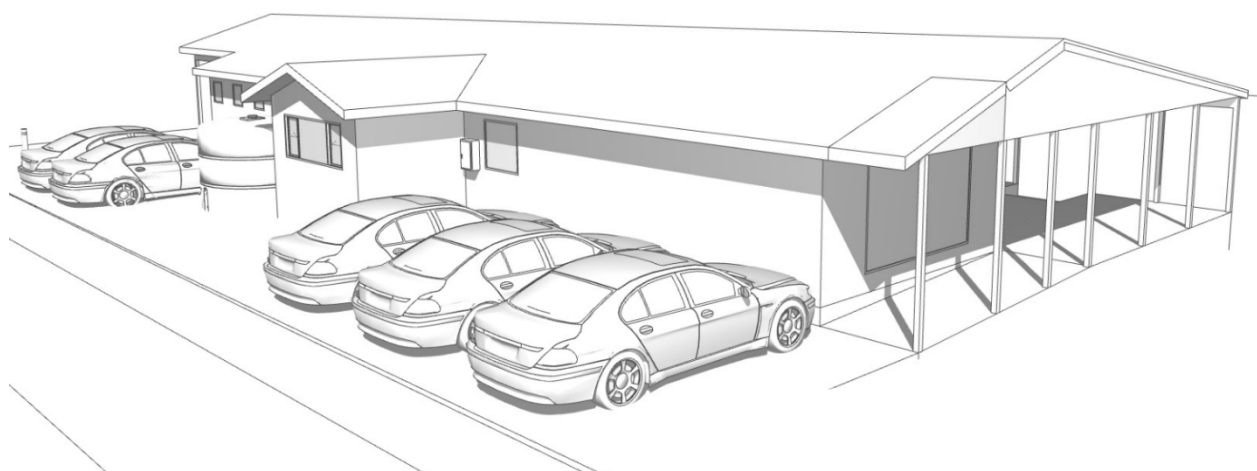


Demolition Plan

Scale 1:100

Proposed Alterations & Additions

18 Morrison Street Falmouth
TAS 7215



Updated response addressing LGA RFI – 13/06/25
June 2025



SPECTURA
STUDIO
BUILDING DESIGN

SPECTURA STUDIO
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Subject site & locality

1.0 Introduction

This planning scheme response supports the development application for the Alterations and Additions to the existing Falmouth Community Centre located at 18 Morrison St Falmouth. The proposed development is situated within the Community Purpose Zone as defined in the Tasmanian Planning Scheme - State Planning Provisions (SPPs).

2.0 Project Description

The project involves the upgrade to the kitchen and bar/serving area of the centre as well as accessibility upgrades. Proposed works include:

- Demolition of the existing kitchen.
- Construction of a new wing on the eastern elevation of the building adjacent to the existing rainwater tank.
- New fit for purpose kitchen.
- New AS1428.1 compliant parking and access to the building.
- Extended weather protection to the existing access area.

3.0 Planning Assessment

3.1 Compliance with the Community Purpose Zone

Objective:

The purpose of the Community Purpose Zone is to provide for key community facilities and services including health, educational, government, cultural and social facilities and to encourage multi-purpose, flexible and adaptable social infrastructure.

Development Standards:

The proposal has been assessed against the relevant Development Standards of the Community Purpose zone, as follows:

- **Building Height (27.4.1):** The alterations and additions will not increase the building height beyond the maximum permissible height of 10 meters as the height of the existing building is not to be increased. The proposed height of the additions is ~3.4m metres above natural ground level, which complies with this standard.
- **Setbacks (27.4.2):** The Acceptable Solution allowances for setbacks are listed below against both the existing and proposed setbacks:
 - Front setback: Existing 5.7metres, **proposed 3.3 metres** (minimum required: 5 metres)
 - Side setback: Existing 20.2 metres, **proposed 20.2 metres** (minimum required: 3 metres)
 - Side setback: Existing 2.1 metres, **proposed 2.1 metres** (minimum required: 3 metres)
 - Rear setback: Existing >40 metres, **proposed >40 metres** (minimum required: 3 metres)

Front and side setbacks do not meet acceptable solution criteria, so must be assessed against the relevant performance criteria, stated below in relation to each category of setback:

Front Setback

Buildings must have a setback from a frontage that is compatible with the streetscape, having regard to:

- (a) the topography of the site;
- (b) the setbacks of buildings on adjacent properties;
- (c) the height, bulk, and form of existing and proposed buildings; and
- (d) the safety of road users.

The proposed building's front setback is viewed as compatible with the topography of the site, the site being a gently sloping site with no proposed changes to the slope.

The proposed building's front setback is not seen as affecting buildings on adjacent properties as any proposed setback encroachments are not in the proximity of the boundary and are all within an area on the lot currently utilised as access/parking.

The proposed building's front setbacks height, bulk and form impact are viewed as minimal, with the proposed extension creating articulation and softening the facade and is setback further from the front boundary than the existing adjacent rainwater tank.

The proposed building's front setback is not viewed as adversely affecting the current safety of road users due to the proximity of the existing rainwater tank.

Side Setback

Buildings must be sited to not cause an unreasonable loss of amenity to adjoining properties within a General Residential Zone, Inner Residential Zone or Low Density Residential Zone, having regard to:

- (a) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings;
- (b) overlooking and reduction of privacy to adjoining properties; or
- (c) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the adjoining property.

There are no changes proposed to the side setback, so the proposal is viewed as not affecting existing amenity.

- **Fencing (27.4.3):**
There are no changes proposed to the existing fencing on site.
- **Outdoor Storage Areas (27.4.4):**
There are no changes proposed to the existing storage arrangements onsite.

3.2 Compliance with the Parking and Sustainable Transport Code **13th June 2025**

Objective:

The purpose of the Parking and Sustainable Transport Code is:

- To ensure that an appropriate level of parking facilities is provided to service use and development.
- To ensure that cycling, walking and public transport are encouraged as a means of transport in urban areas.
- To ensure that access for pedestrians, vehicles and cyclists is safe and adequate.
- To ensure that parking does not cause an unreasonable loss of amenity to the surrounding area.
- To ensure that parking spaces and accesses meet appropriate standards.
- To provide for parking precincts and pedestrian priority streets.

Development Standards:

The proposal has been assessed against the relevant Development Standards of the Parking and Sustainable Parking Code as follows:

- **Car Parking Numbers (C2.5.1):** The proposed parking spaces provided (6 available including accessible parking space) falls short of the required parking spaces necessary to comply with the acceptable solution, therefore, performance criteria must be addressed.

Performance Criteria	Response
(a) the availability of off-street public car parking spaces within reasonable walking distance of the site;	The closest publicly available off-street parking can be found at Falmouth Recreation reserve, approximately 500m walking distance.
(b) the ability of multiple users to share spaces because of: (i) variations in car parking demand over time; or (ii) efficiencies gained by consolidation of car parking spaces;	Car parking demand for use of the tennis court and playground on site will be low, with most users of these facilities walking from their place of residence or utilising the available on-street car parking adjacent to the site. During larger events, the carparking available will be effective for event organisers and volunteers, and the proposed accessible parking bay will provide adequate parking and access to those requiring accessible access, previously unavailable.
(c) the availability and frequency of public transport within reasonable walking distance of the site;	No public transport is available to the site location.
(d) the availability and frequency of other transport alternatives;	As mentioned in response to (b), with the community centre having a central location in the Falmouth locality, walking from place of residence to the site is a popular means of access. Bike riding is also a viable means of transport, with a proposed bike rack incorporated in the alterations and additions design.
(e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;	The location of the existing community centre and related on-site wastewater management system and fencing does create limited space to provide parking spaces directly adjacent to the building off Morrison Street.

	Any new off-street parking provisions off Grant Street would require removal of vegetation and recreation area space, with any parking spaces gained as off-street parking resulting in an equal loss of on-street parking already available in this location.
(f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;	There is a significant quantity of on-street parking already available, which has been made use of to date without incident. Given the low frequency of event usage requiring full parking space capacity, the low traffic volume of the roads adjacent to the site & the preferred usage of these parking spaces for users of the tennis court and playground, these existing parking spaces are seen as adequate for providing parking space for community centre events requiring full parking capacity.
(g) the effect on streetscape; and	The proposed parking arrangement will not affect the existing streetscape as it is utilising the existing car parking areas already in use. Change to this arrangement by providing further off-street parking to the site is seen as out of character with the existing provisions, aesthetic, and amenity of the locality.
(h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.	The above responses to the performance criteria are seen as addressing and complying with the performance criteria, in regard to the scale and nature of the use of the existing and proposed development.

- **Bicycle Parking Numbers (C2.5.2):** The proposal includes a Bicycle rack meeting the quantity requirements set out in Table C2.1 (4 Bicycle parking spaces).
- **Motorcycle Parking Numbers (C2.5.3):** There is no requirement for motorcycle parking spaces as the proposed development contains less than 20 car parking spaces.

4.0 Conclusion

It is viewed that the proposed alterations and additions to the existing Falmouth Community Centre at 18 Morrison St Falmouth are in keeping with the relevant provisions of the Tasmanian Planning Scheme for the Community Purpose Zone. The design and layout of the alterations have been carefully considered to ensure compatibility with the surrounding area and to meet the objectives of the zone.

We respectfully request that the planning authority grant approval for this development application.
Thank you,



Matthew Purves
Spectura Studio
CBOS Tas: 964058515