32-34 Georges Bay Esplanade
St Helens Tasmania 7216
T: 03 6376 7900 | ABN 96 017 131 248

Break O'Day COUNCIL

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00079
Applicant	Woolcott Land Services
Proposal	Residential - Construction of a Dwelling & Shed
Location	11 Susan Court, St Helens

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 21st June, 2025 **until 5pm Friday 4th July, 2025.**

John Brown
GENERAL MANAGER

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY
- SIGN SIZE DIMENSIONS
  - MIN. 300mm x 300mm
  - LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL – GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:
- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:

- A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
- A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
- A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

BAL NOTES:
- FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS

- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTABLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS

- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE

LEGEND

SEWER	
WATER	
STORMWATER	

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
SEWER & STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING SEWER & STORWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

NOTE:
ENTIRETY OF PROPERTY LOT IS WITHIN BAL HAZARD MANAGEMENT AREA AND STORMWATER MANAGEMENT SPECIFIC AREA.

SITE PLAN
SCALE 1 : 200

ISSUED FOR APPROVAL

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Rev:	Amendment:	Date:	Int:

Date Drawn: 22.04.25
Drawn: W. Tan
Checked: C. Lim
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: G. & J. EASTON
Project: PROPOSED DWELLING & SHED
Address: 11 SUSAN CT
HELEN TAS 7216

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Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-95 A01 / A08 Rev D

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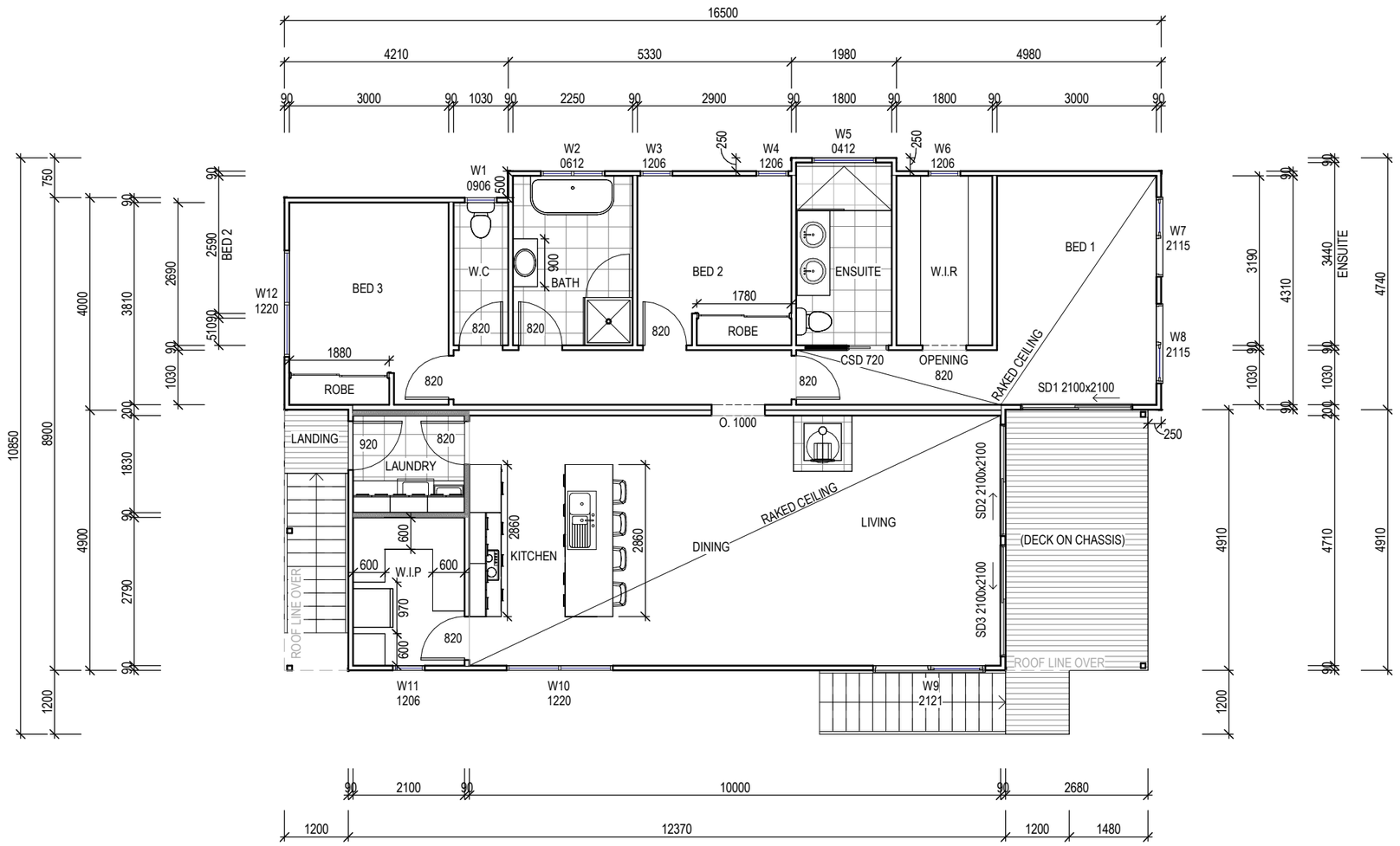

CONSTRUCTION PLAN

SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	600	DG	4.3	.55
W2	600	1200	DG	4.3	.55
W3	1200	600	DG	4.3	.55
W4	1200	600	DG	4.3	.55
W5	400	1200	DG	4.3	.55
W6	1200	600	DG	4.3	.55
^W7	2100	1500	DG	4.3	.55
^W8	2100	1500	DG	4.3	.55
^W9	2100	2100	DG	4.3	.55
W10	1200	2000	DG	4.3	.55
W11	1200	600	DG	4.3	.55
W12	1200	2000	DG	4.3	.55
*W14	400	1800	DG	4.3	.55
*W15	400	1800	DG	4.3	.55
*W16	400	1800	DG	4.3	.55
SD1	2100	2100	DG	4.0	.61
SD2	2100	2100	DG	4.0	.61
SD3	2100	2100	DG	4.0	.61

NOTE:

- NO GROUND FLOOR TO BE PROPOSED ON THIS APPLICATION. THE LEVEL BENEATH IS FOUNDATION LEVEL ONLY.

* - REFER ELEVATIONS FOR HIGHLIGHT WINDOWS

^ - IF HEIGHT TO GROUND GREATER THEN 2.0m WINDOW TO HAVE PERMANENTLY FIXED ROBUST SCREEN INSTALLED OR HAVE AN OPENING RESTRICTED TO 125mm.

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	132.04 m²	14.21
LANDING	1.44 m²	0.16
DECK	14.60 m²	1.57
PROPOSED SHED	49.00 m²	5.27
	197.08 m²	21.21

DISCLAIMER:
ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

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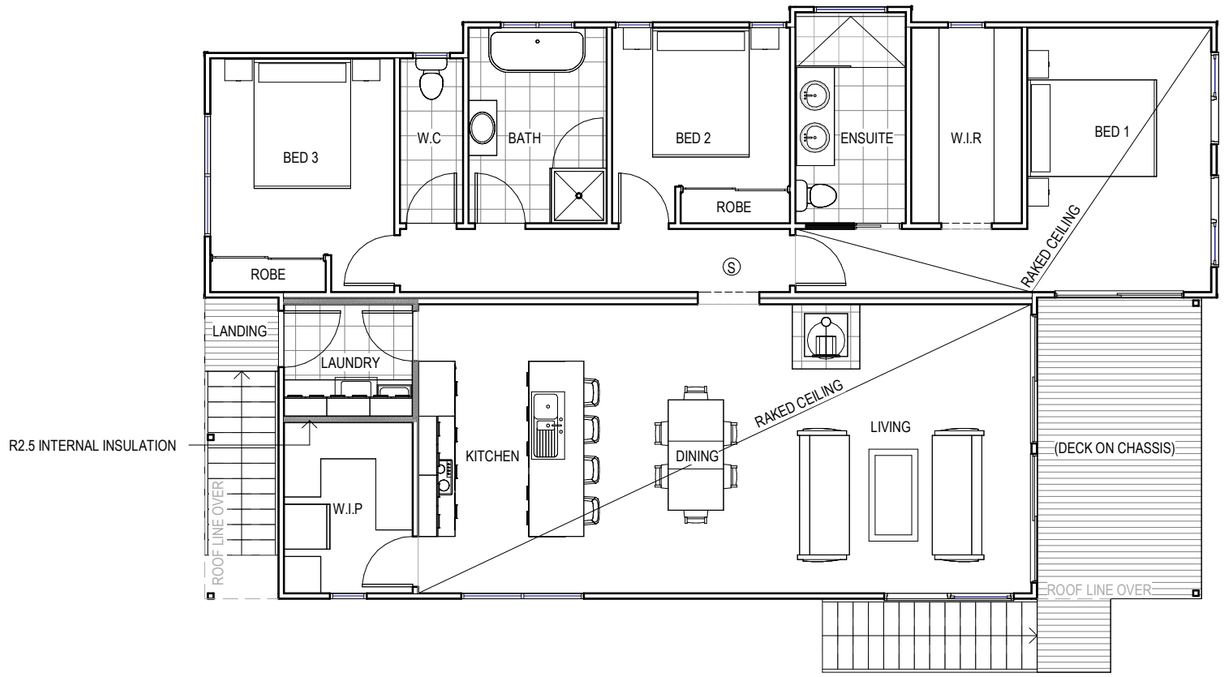

FLOOR PLAN
SCALE 1 : 100

FLOOR COVERINGS
CARPET
CONCRETE
TIMBER DECKING
TILE
VINYL TIMBER FLOORING

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE
TO BUILDING POWER SUPPLY TO AS 3786.
CEILING MOUNTED WITH 9VDC
ALKALINE BATTERY BACKUP
TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE
WITH ABCB OF H3D6 - PART 9.5.2

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)

Name	Area	Area (sq)
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PROPOSED SHED	49.00 m²	5.27
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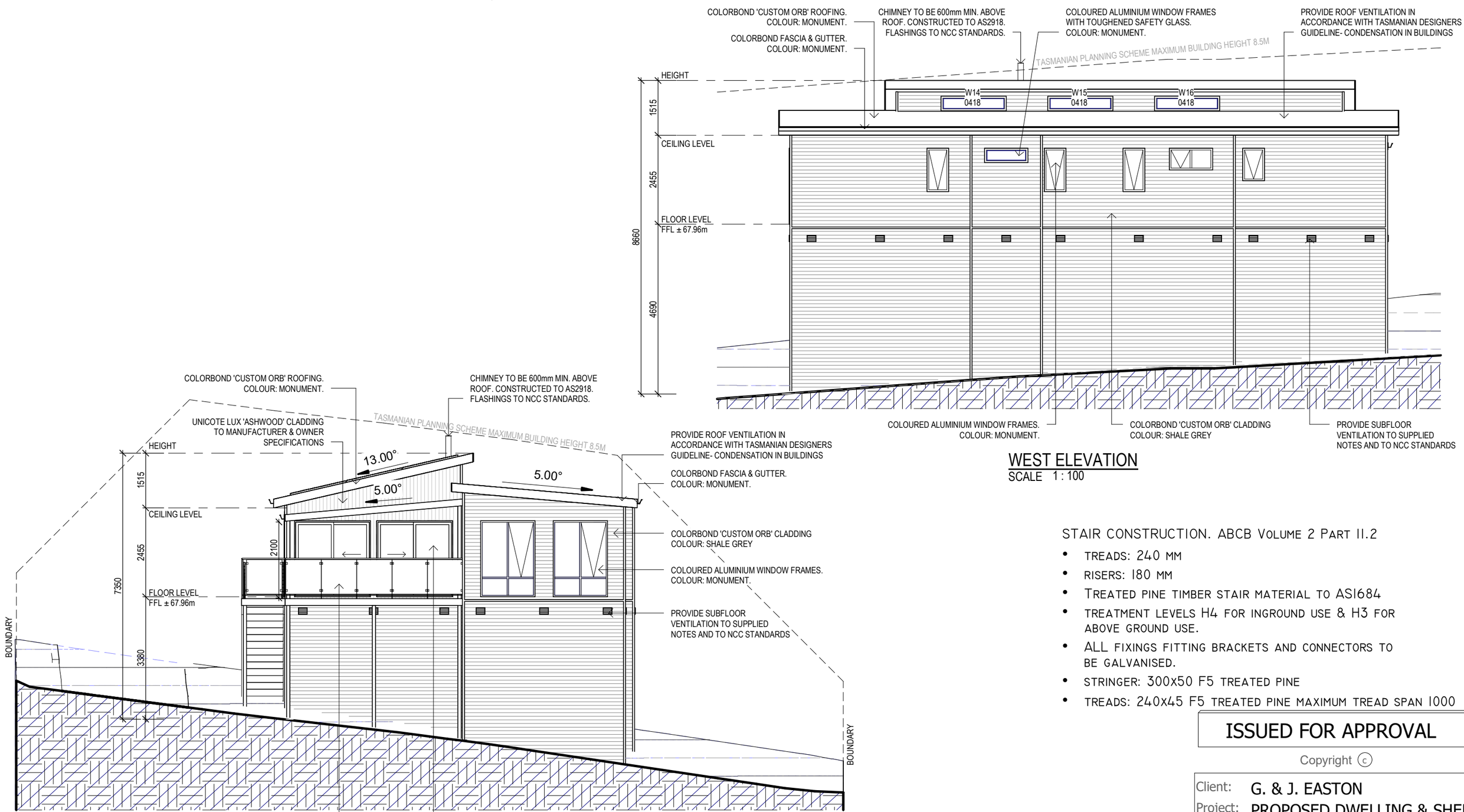
EAVE & SOFFIT CONSTRUCTION ABCB VOLUME 2 PART 7.4.5

EAVE WIDTH - 300MM

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



WEST ELEVATION
SCALE 1 : 100

NORTH ELEVATION
SCALE 1 : 100

STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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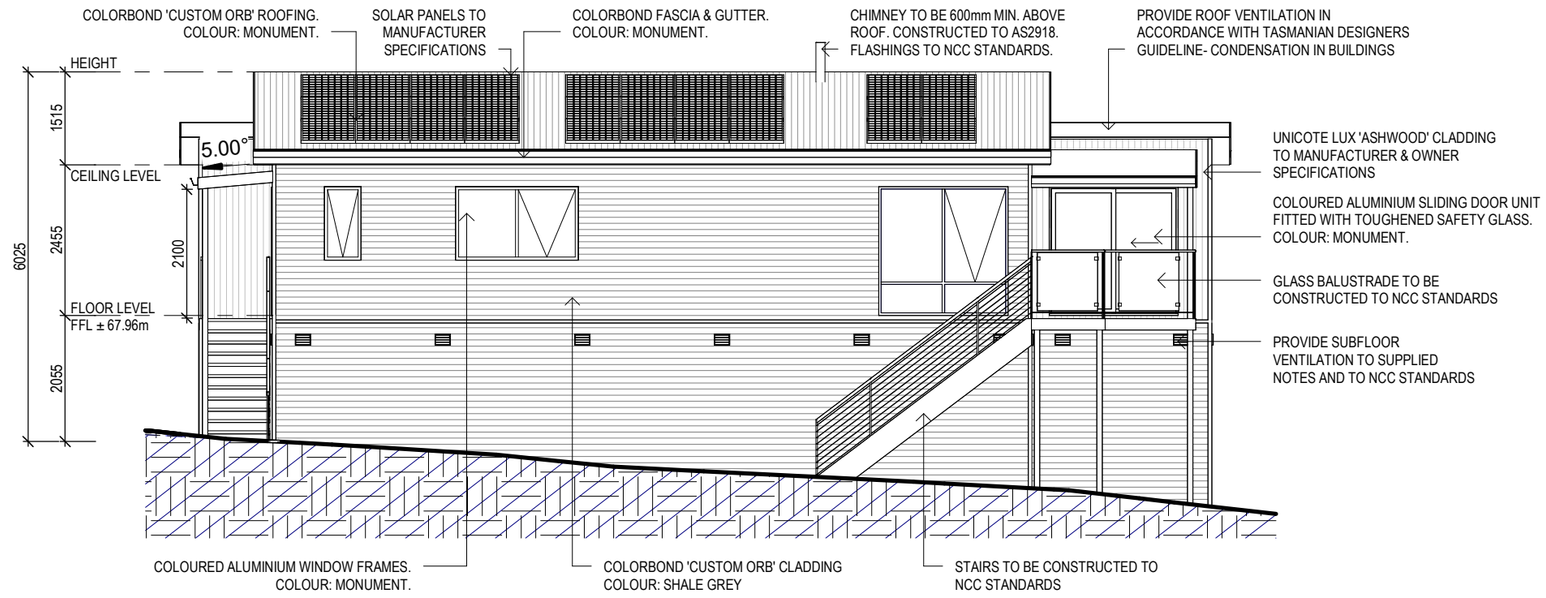
SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1

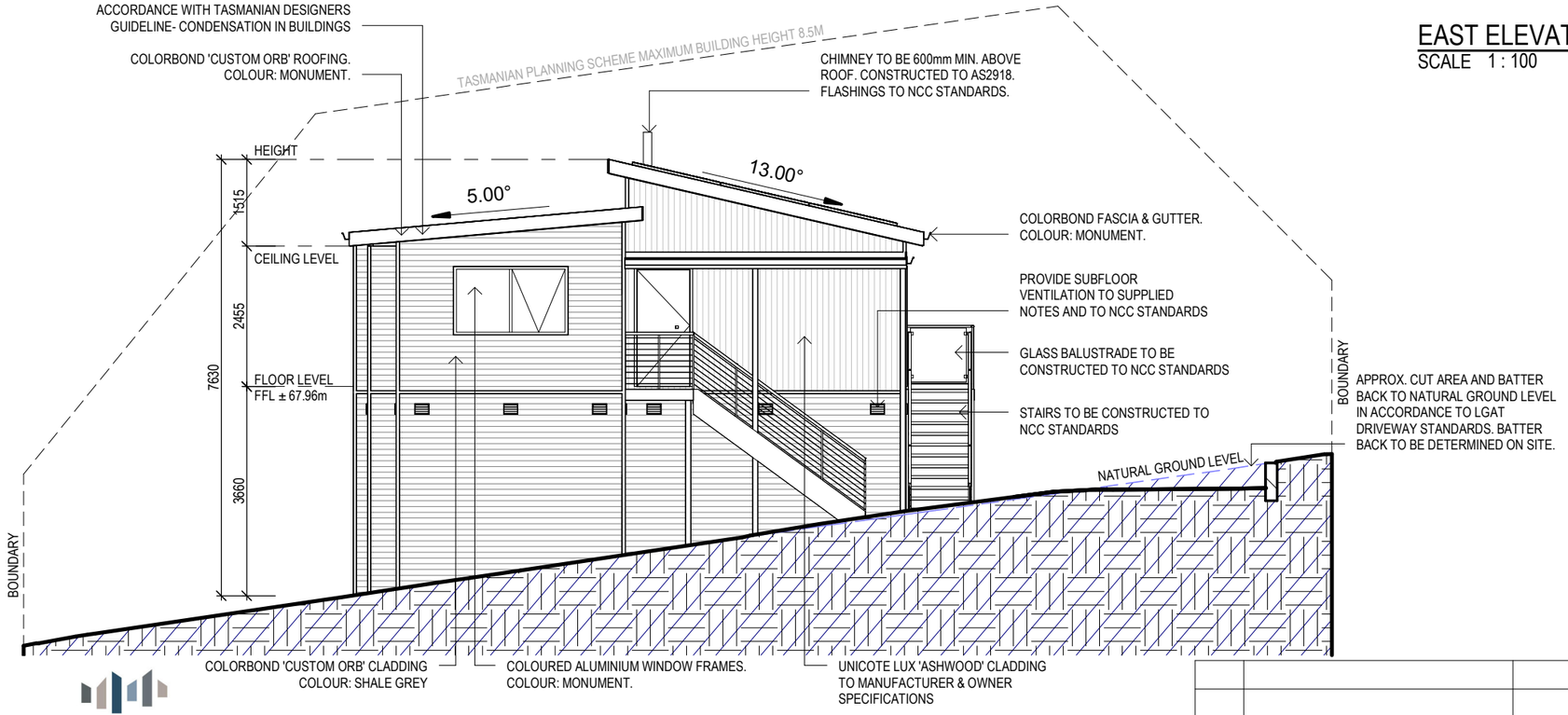
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230X75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230X165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



EAST ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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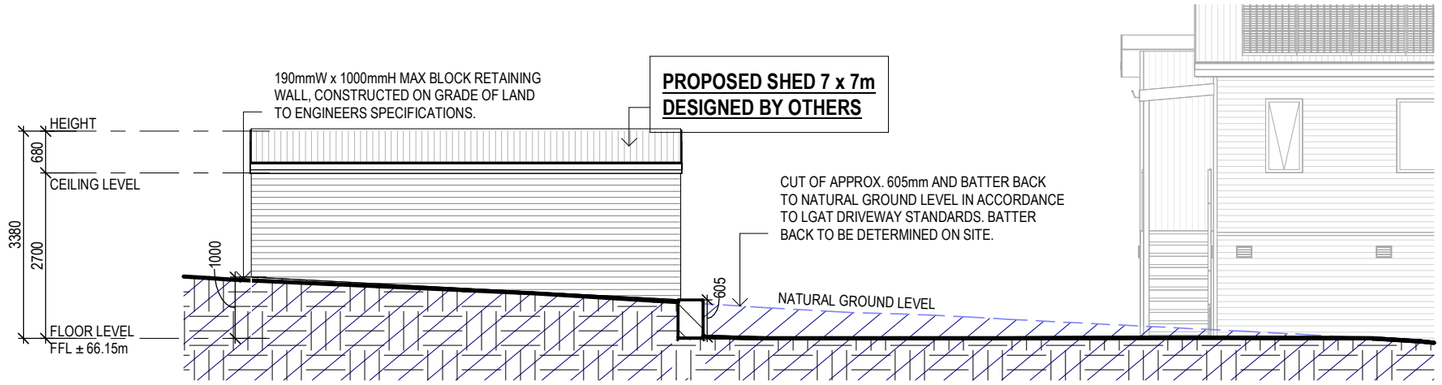
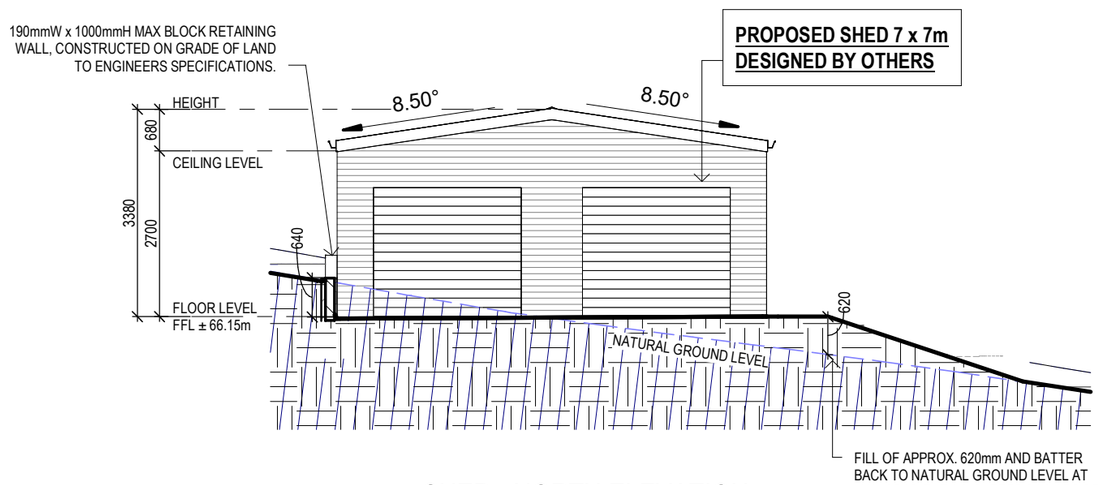
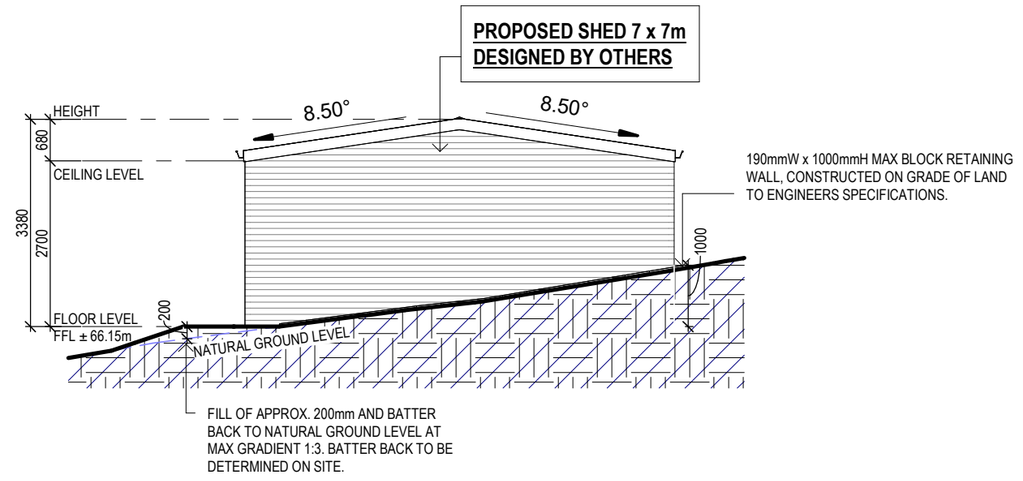


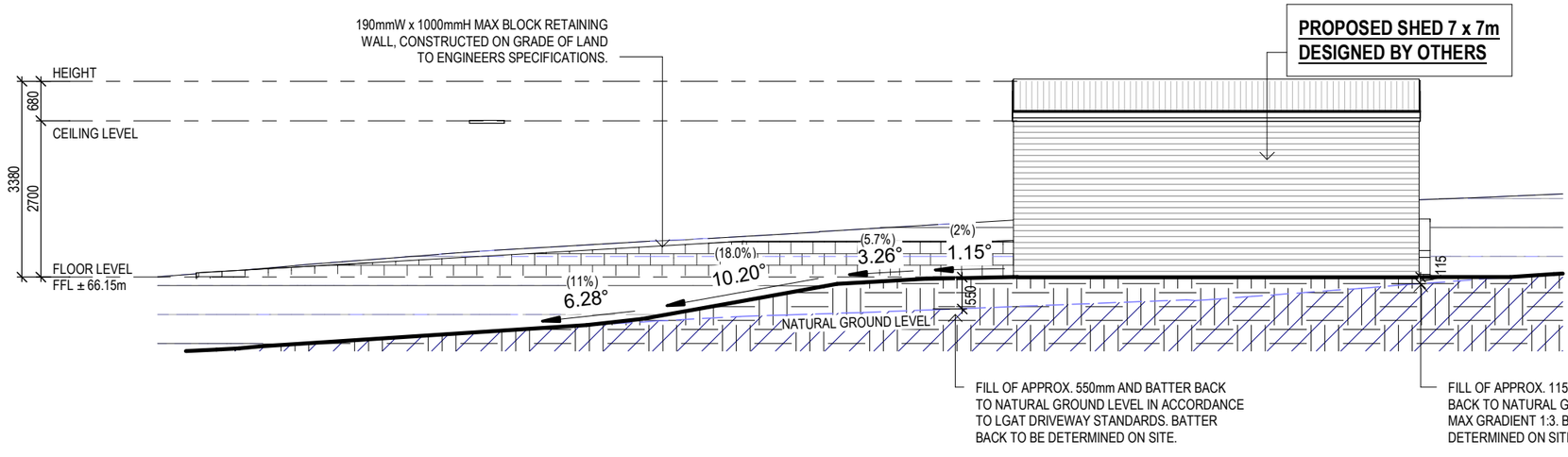
SHED - EAST ELEVATION
SCALE 1 : 100



SHED - NORTH ELEVATION
SCALE 1 : 100



SHED - SOUTH ELEVATION
SCALE 1 : 100



SHED - WEST ELEVATION
SCALE 1 : 100

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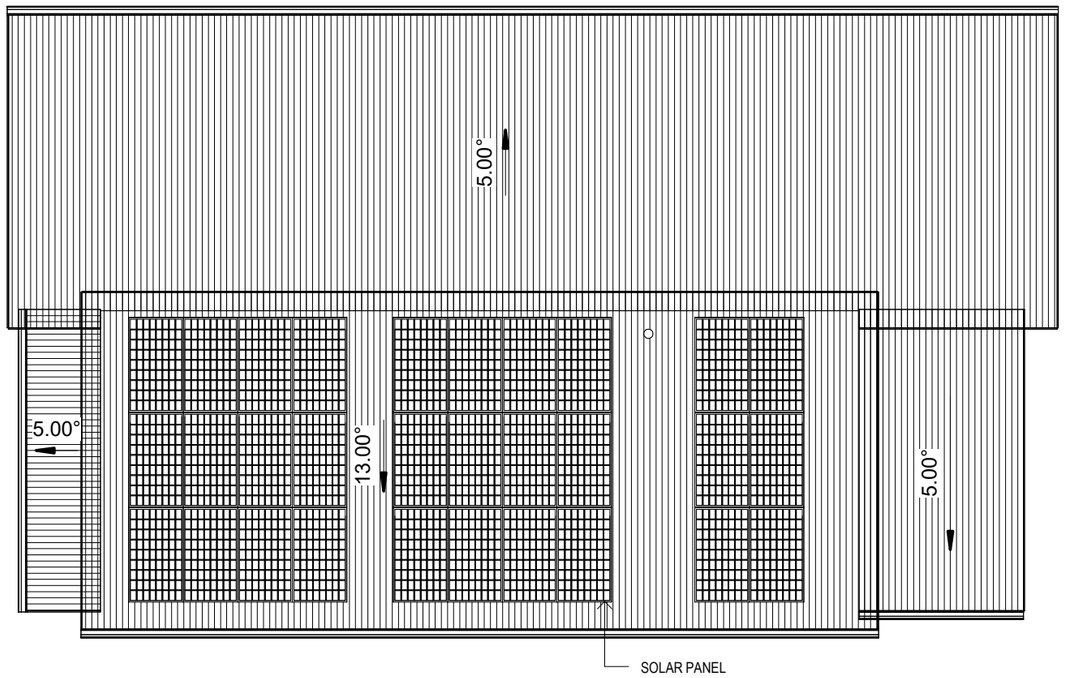

ROOF PLAN
SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R3.5 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

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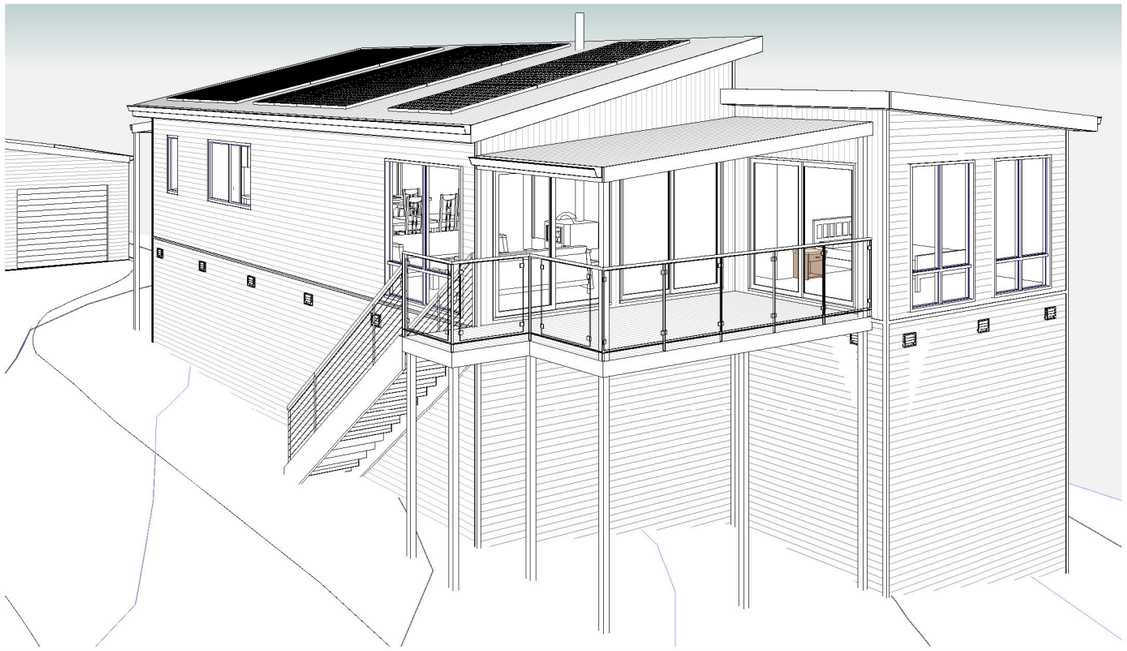

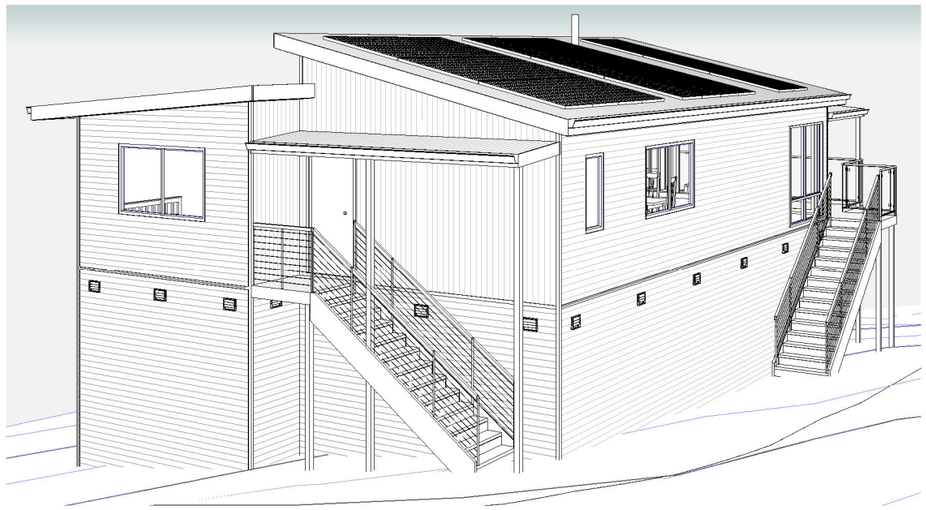

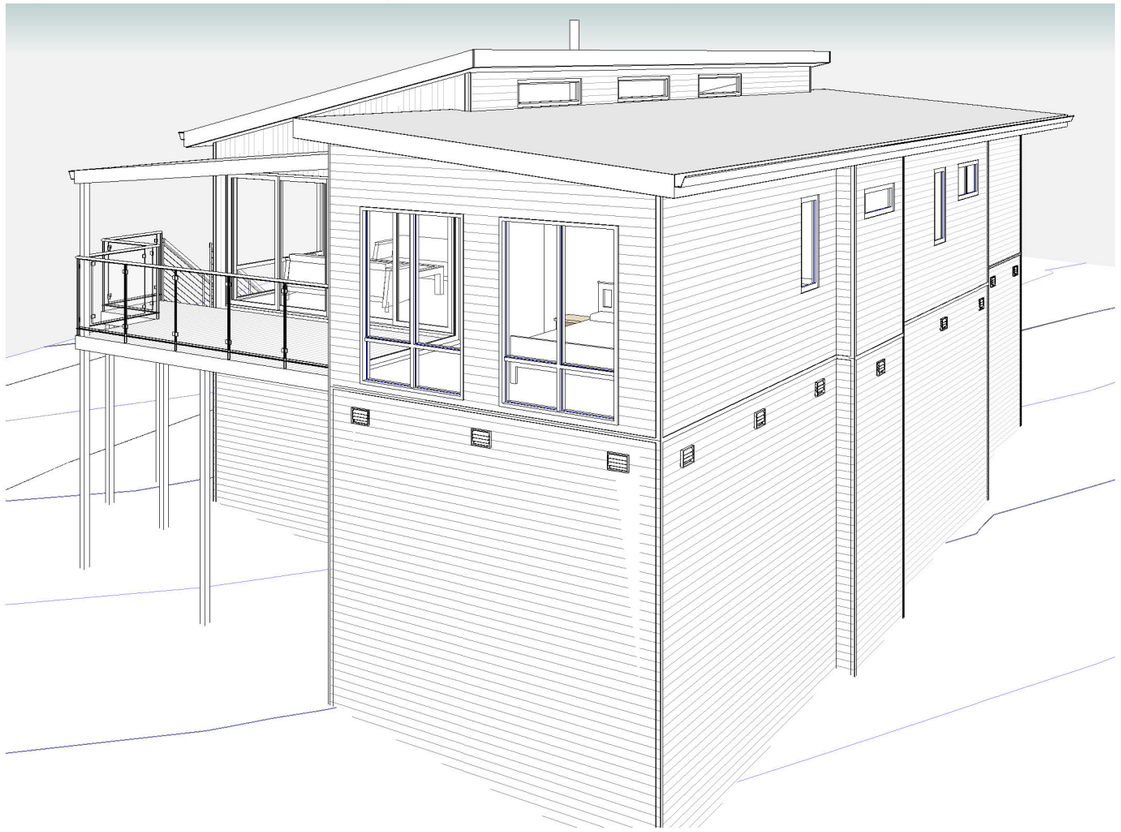

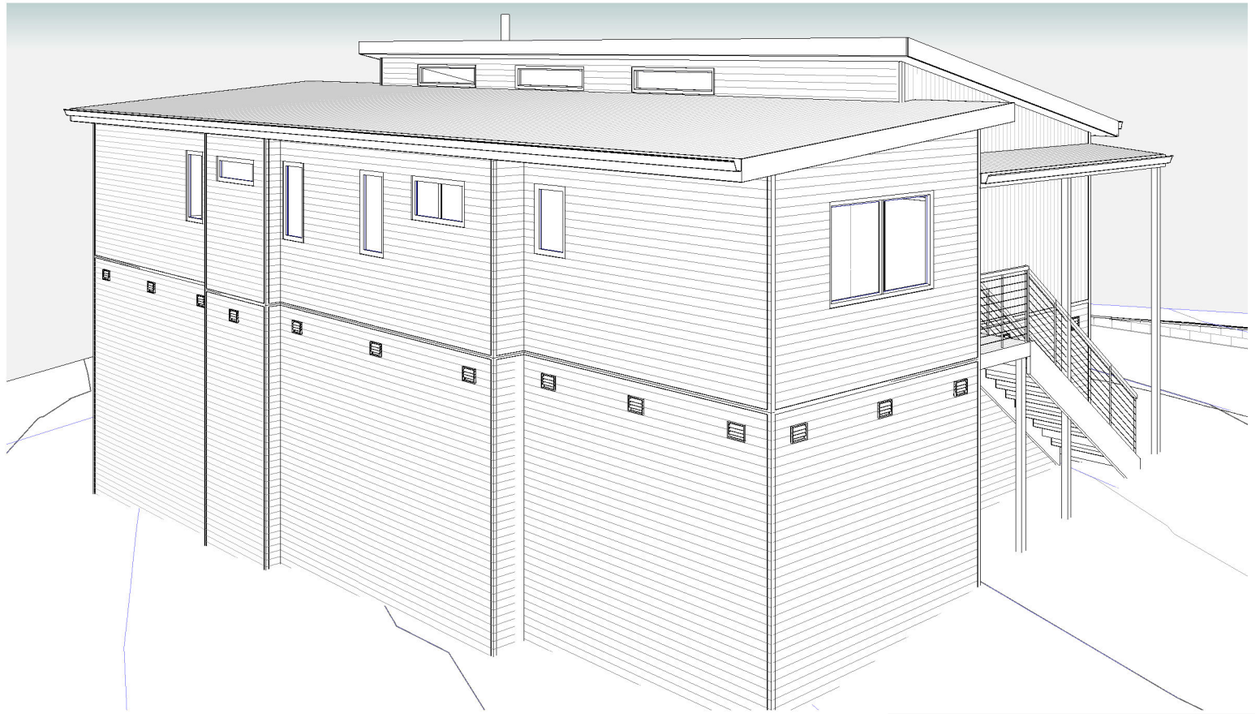

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A08 / A08
Rev D

May 2025

PLANNING REPORT

DEVELOPMENT OF A SINGLE DWELLING AND OUTBUILDING

11 Susan Court ST HELENS

Woolcott LAND SERVICES

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Rev.no	Description	Date
1	Review	
2	Draft	5 May 2025
3	Draft	14 May 2025
4	Final	14 May 2025

Contents

1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

Proposed development
Building and works – development of a single dwelling and outbuilding.

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan	Engineering Plus / Tasbuilt Homes

2. Subject site and proposal

2.1 Site details

Address	11 Susan Court, St Helens TAS 7216
Property ID	2282603
Title	140656/34
Land area	920m^2
Planning Authority	Break O' Day Council
Planning Scheme	Tasmanian Planning Scheme – Break O' Day (Scheme)
Easements	None on title
Application status	Discretionary application
Existing Access	Single access from Susan Court
Zone	General Residential
General Overlay	Stormwater Management Specific Area Plan
Overlays	Airport obstacle limitation area Bushfire-prone areas
Existing development	Vacant
Existing services and infrastructure	

Water	Serviced
Sewer	Serviced
Stormwater	Serviced

2.2 Proposal

The proposal is for the development of a single dwelling.

The dwelling will be single storey but elevated from natural ground level. It will have three bedrooms with two bathrooms, kitchen, living areas and laundry. The dwelling will have a north facing deck and the rear of the dwelling will be accessed by stairs and landing. The dwelling will have a floor area of 132.04m^2.

Two car parking spaces will be provided. The driveway and parking will require a measure of cut and fill to provide a suitable gradient for vehicle access.

The proposal includes connection to all reticulated services.

2.3 Subject site

The site is a single lot of 920m^2 on the south side of Susan Court. The lot has a single access point existing.

The lot is sloped downwards from east to west. The access point is on the upper side (east).

Figure 1 Aerial view of the subject site (Source: LIST)

Figure 2 Subject site looking south

Figure 3 Subject site looking east

Figure 4 Looking north to frontage and access

Figure 5 Looking NE to access point

Figure 6 Looking north across site

3. Zoning and overlays

3.1 Zoning

The site is zoned General Residential under the Scheme.

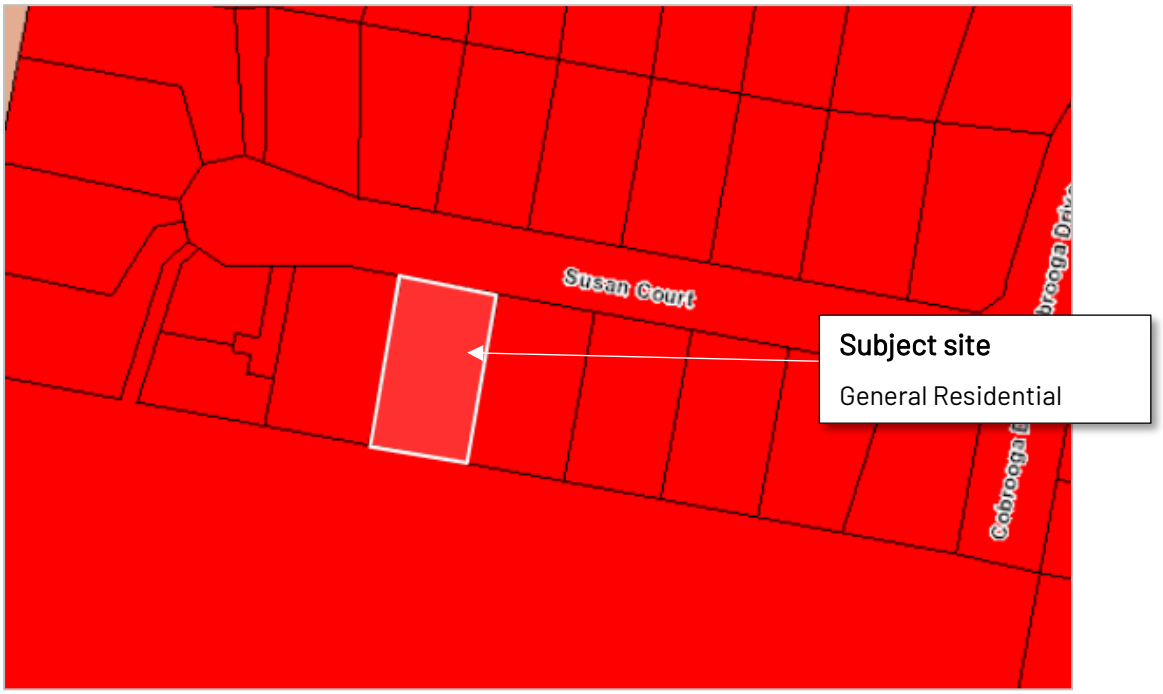

Figure 7 Zoning of the subject site and surrounding area (Source: LIST)

3.2 Overlays

The subject site is affected by the Airport obstacle limitation area overlay and Bushfire-prone areas overlay (not pictured).

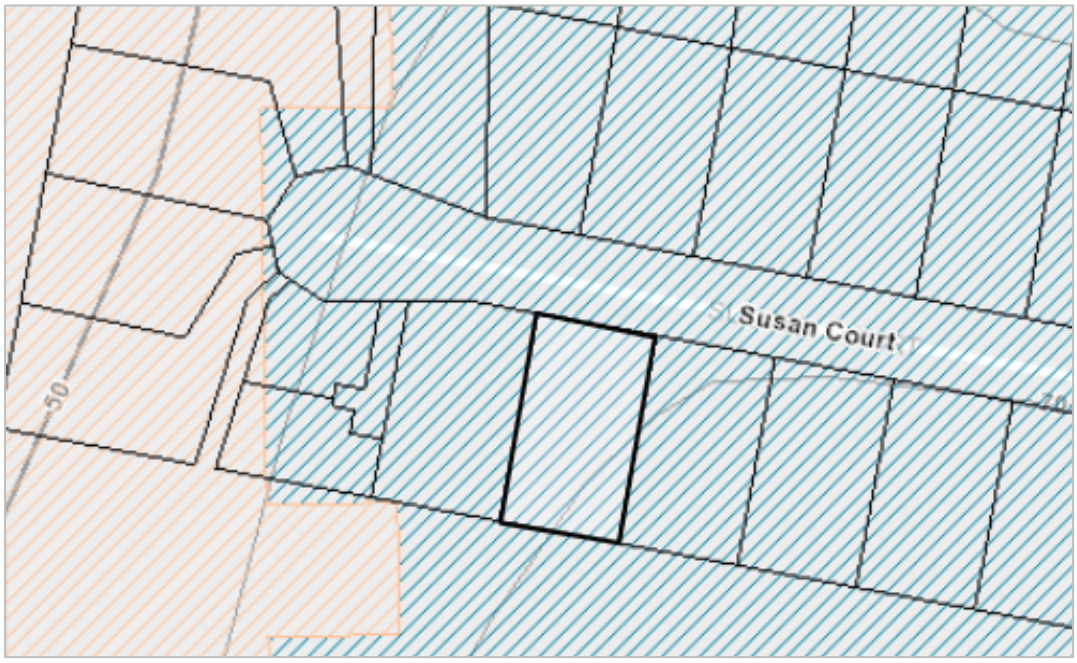

Figure 8 Overlays affecting the subject site (Source: LIST)

Figure 9 Area included to the Stormwater Management Specific Area Plan (Source: LIST)

4. Planning Scheme Assessment

4.1 Zone assessment

8.0 General Residential Zone

8.1 Zone Purpose

8.1.1	To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.
8.1.2	To provide for the efficient utilisation of available social, transport and other service infrastructure.
8.1.3	To provide for non-residential use that: a. primarily serves the local community; and b. does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.
8.1.4	To provide for Visitor Accommodation that is compatible with residential character.

RESPONSE

The proposed residential use and development is in accord with the purpose of the zone.

8.2 Use Table

No Permit Required

Residential	If for a single dwelling.

RESPONSE

The proposed Use is a *No Permit Required* Use.

8.4 Development Standards for Dwellings

8.4.2 Setbacks and building envelope for all dwellings

Objective
The siting and scale of dwellings: a. provides reasonably consistent separation between dwellings and their frontage within a street; b. provides consistency in the apparent scale, bulk, massing and proportion of dwellings; c. provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and d. provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solutions	Performance Criteria
A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.	P1 A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.

RESPONSE

A1 The acceptable solution is achieved.

A2	A garage or carport for a dwelling must have a setback from a primary frontage of not less than: a) 5.5m, or alternatively 1m behind the building line; b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.	P2	A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.

RESPONSE

A2 The acceptable solution is achieved.

A3	A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must: a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: i. a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and ii. projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: i. does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or ii. (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).	P3	The siting and scale of a dwelling must: a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: i. reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; ii. overshadowing the private open space of a dwelling on an adjoining property; iii. overshadowing of an adjoining vacant property; and iv. visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on: i. an adjoining property; or ii. another dwelling on the same site.

RESPONSE

A3 The acceptable solution is achieved.

8.4.3 Site coverage and private open space for all dwellings

Objective

That dwellings are compatible with the amenity and character of the area and provide:

a. for outdoor recreation and the operational needs of the residents;

b. opportunities for the planting of gardens and landscaping; and

c. private open space that is conveniently located and has access to sunlight.

Acceptable Solutions	Performance Criteria
A1 Dwellings must have: a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and b) for multiple dwellings, a total area of private open space of not less than 60m^2 associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).	P1 Dwellings must have: a) site coverage consistent with that existing on established properties in the area; b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate: i. outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and ii. operational needs, such as clothes drying and storage; and c) reasonable space for the planting of gardens and landscaping.

RESPONSE

A1 The acceptable solution is achieved. The site coverage is approximately 19 percent including the outbuilding.

A2 A dwelling must have private open space that: a) is in one location and is not less than: i. 24m^2; or ii. 12m^2, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); b) has a minimum horizontal dimension of not less than: i. 4m; or ii. 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);	P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is: a) conveniently located in relation to a living area of the dwelling; and b) orientated to take advantage of sunlight

c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and d) has a gradient not steeper than 1 in 10.	

RESPONSE

P2 The performance criteria are addressed. Although the area required for private open space can be met, the slope of the land means that the acceptable gradient cannot be met.
The dwelling includes a sizable deck that can be accessed from the living room and north facing. The deck also includes access to the stairs to allow general outdoor access. The deck and available yard space to the dwelling meets the performance criteria provisions.

8.4.5 Width of openings for garages and carports for all dwellings

Objective	
To reduce the potential for garage or carport openings to dominate the primary frontage.	
Acceptable Solutions	**Performance Criteria**
A1 A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	P1 A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.

RESPONSE

A1 The acceptable solution is achieved.

8.4.6 Privacy for all dwellings

Objective	
To provide a reasonable opportunity for privacy for dwellings.	
Acceptable Solutions	**Performance Criteria**
A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than	P1 A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of: a) a dwelling on an adjoining property or its private open space; or b) another dwelling on the same site or its private open space.

	3m from the side boundary; b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: i. from a window or glazed door, to a habitable room of the other dwelling on the same site; or ii. from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.	

RESPONSE

A1 The acceptable solution is achieved. The building has setbacks from side and rear boundaries in excess of 3m and 4m.

A2	A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b): a) the window or glazed door: i. is to have a setback of not less than 3m from a side boundary; ii. is to have a setback of not less than 4m from a rear boundary; iii. if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and iv. if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. b) the window or glazed door: i. is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; ii. is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or iii. is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than	P2 A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to: a) a window or glazed door, to a habitable room of another dwelling; and b) the private open space of another dwelling.

25%.	

RESPONSE

A1 The acceptable solution is achieved. The side and rear setbacks are achieved.

A3	A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than: a) 2.5m; or b) 1m if: i. it is separated by a screen of not less than 1.7m in height; or ii. the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.	P3	A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling

RESPONSE

Not applicable.

8.4.7 Frontage fences for all dwellings

Objective	
The height and transparency of frontage fences: a. provides adequate privacy and security for residents; b. allows the potential for mutual passive surveillance between the road and the dwelling; and c. is reasonably consistent with that on adjoining properties.	
Acceptable Solutions	**Performance Criteria**
A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must: a) provide for security and privacy while allowing for passive surveillance of the road; and b) be compatible with the height and transparency of fences in the street, having regard to: i. the topography of the site; and ii. traffic volumes on the adjoining road.

RESPONSE

No front fences are included in this proposal.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

RESPONSE

A1 The acceptable solution is achieved. There is adequate area provided on the site for two vehicles to park. Dimensions to the garage are provided on plan.

C2.6 Development standards for buildings and works

C2.6.1 Construction of parking areas

RESPONSE

A1 The acceptable solution is achieved. The driveway will be sealed. The construction will be suitable for stormwater drainage.

C2.6.2 Design and layout of parking areas

RESPONSE

A1 Please refer to plans.

C2.6.3 Number of accesses for vehicles

RESPONSE

A1 The acceptable solution is achieved. The site has an existing single access point (vehicle crossing).

C13.0 Bushfire-Prone Areas Code

C13.2 Application of this Code

C13.2.1 This code applies to:

(a) subdivision of land that is located within, or partially within, a bushfire-prone area; and

(b) a use, on land that is located within, or partially within, a bushfire-prone area, that is a vulnerable use or hazardous use.

RESPONSE

The code does not apply to this application.

C16.0 Safeguarding of Airports Code

C16.4 Use or Development Exempt from this Code

C16.4.1 The following use or development is exempt from this code:

(a) development that is not more than the AHD height specified for the site of the development in the relevant airport obstacle limitation area.

RESPONSE

The listed height is 1069.2m. The code does not apply.

3. Conclusion

This application is for the development of a single dwelling with outbuilding. The proposed is in accord with the provisions of the Scheme and a planning permit is sought from Council.

Annexures

Annexure 1 Copy of Title plan and Folio text

Annexure 2 Proposal Plan