

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00104
Applicant	Wilkin Design and Drafting Pty Ltd
Proposal	Residential – Construction of a Shed
Location	4 St Helens Point Road, Stieglitz

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 16 August 2025 **until 5pm Friday 29 August 2025**.

John Brown
GENERAL MANAGER

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS

CONSTRUCTION STANDARDS:
ALL WORKS SHOULD BE GENERALLY INLINE WITH THE PRACTICES SET OUT IN THE 'GUIDE TO STANDARDS AND TOLERANCES 2007'

WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

THESE DOCUMENTS TO BE USED WITH ALL DOCUMENTATION PREPARED BY AN ENGINEER

THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION, THEY ARE NOT TO BE USED FOR TENDERING PURPOSES OR INSPECTIONS.

THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED BY "WILKIN DESIGN & DRAFTING"
THE DRAWER RETAINS ALL "INTELLECTUAL PROPERTY"

REQUIREMENTS OF SCHEDULE 1

DESIGNER : T. WILKIN - CC678X
PROJECT ADDRESS : 4 ST HELENS POINT RD ST HELENS TAS 7216
CLIENT NAME : S. & K. DAVEY
TITLE REF : 177048/1
FLOOR AREAS : 235.00m²
DESIGN WIND SPEED : N3
SOIL CLASSIFICATION : M
CLIMATE ZONE : 7
BAL LEVEL : N/A
ALPINE AREA : N/A
CORROSION ENVIRONMENT : N/A
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:
ARCHITECTURAL DRAWINGS - PAGE 00 - 04
ENGINEERING DRAWINGS - NO
SPECIFICATIONS - NO
ADDITIONAL PAGES - FORM 35

LEGEND:
COVER PAGE
PAGE 1# LOCALITY PLAN
PAGE 2# SITE PLAN
PAGE 4# FLOOR PLAN
PAGE 4# ELEVATIONS

PROPOSED SHED FOR S. & K. DAVEY AT 'POIMENA' - 4 ST HELENS POINT RD ST HELENS TAS 7216

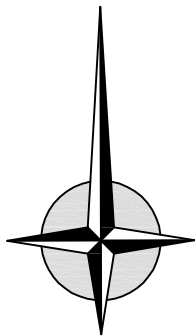


P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

DATE:
05/06/2025

JOB NUMBER:
DA/BA-25DAVEY



4 ST HELENS POINT RD
ST HELENS TAS 7216

TITLE REF: 177048/1
PROPERTY ID: 9999465
TITLE AREA = 5225.00m²



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NOTES:
DAVEY SHED

4 ST HELENS RD.
ST HELENS

PROJECT TITLE:
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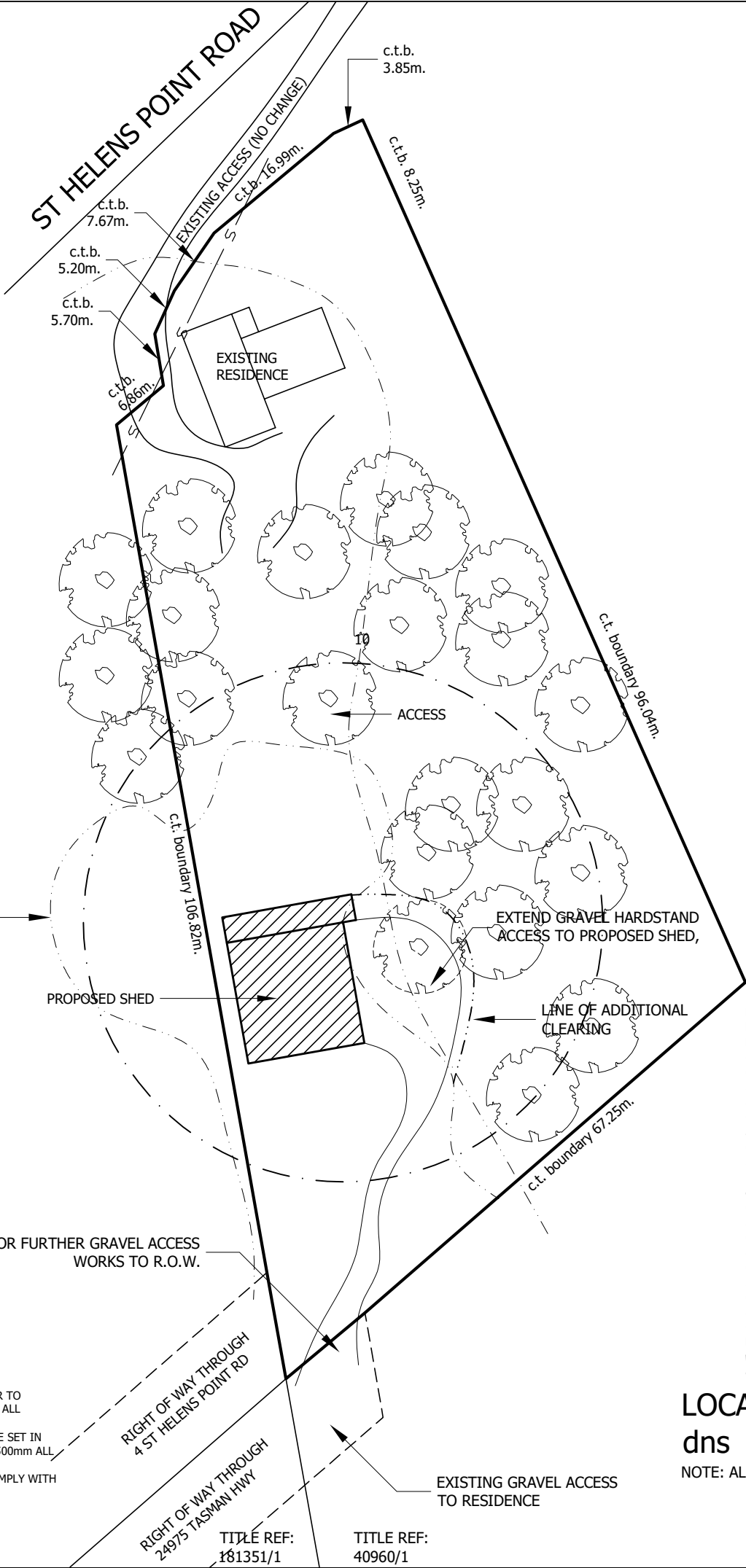
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C2.6.1 Construction of parking areas

Objective: That parking areas are constructed to an appropriate standard.

P1

All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- (a) the nature of the use;
as the use is residential it will have minimal use as it will mainly be for storage of boat etc. therefore traffic will be minimal.
- (b) the topography of the land;
it is an unusual block with access from st helens point road that is quite restrictive, where the shed is proposed it is on a level area away from any nuisance factors for neighbours, this area provides a site that will not require a lot of excavation and cut and fill.
- (c) the drainage system available;
drainage is s/w only and will be to a french drain, so minimal impact.
- (d) the likelihood of transporting sediment or debris from the site onto a road or public place;
the site provides a much better conclusion to teh above as the access is through a right of way that is now compacted gravel and quite a distance from any road.
- (e) the likelihood of generating dust; and
as the access is mostly existing, the length of additional area will generate minimal dust and especially as there is vegetation close to stop the spread.
- (f) the nature of the proposed surfacing.
it is proposed to be compacted gravel which is very common to the area, this will have falls to the side and prevent any run off going off site.

BRE-S2.7.1 Stormwater management

P1

Development must be capable of accommodating an on-site stormwater management system adequate for the development, having regard to:

- (a) topography of the site;
the site is a large semi rural lot with a lot of area to manage storm-water runoff adequately without requiring off site drainage.
- (b) the size and shape of the site;
as above
- (c) soil conditions;
the List categorizes the area soil type for drainage as either "rapid well drained" or "well drained" in this area giving a french drain for tank overflow and runoff from the new gravel surface an excellent chance of natural drainage.
- (d) any existing buildings and any constraints imposed by existing development on the site;
n/a
- (e) any area of the site covered by impervious surfaces;
existing residence is the only impervious area on the site
- (f) any watercourses on the land;
no watercourses on the site
- (g) stormwater quality and quantity management targets identified in the State Stormwater Strategy 2010; and
- (h) any advice from a suitably qualified person on the seasonal water table at the site, risks of inundation, land instability or coastal erosion.
we believe there is no evidence of issues with the water table and do not believe this proposal will be in contravention of any stormwater strategy

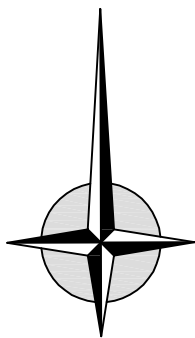
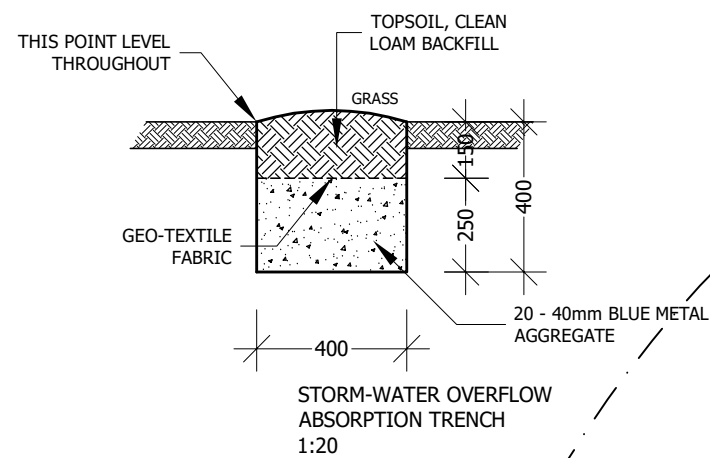
LOCALITY PLAN
dns

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.

NOTE:
THESE PLANS HAVE BEEN PREPARED ALONGSIDE INFORMATION AND DIMENSIONS FROM BOTH THE DIRECT CLIENT, TheList AND ONLINE INFORMATION. ALL ASPECTS OF THE DRAWING SHOULD BE CHECKED THOROUGHLY BEFORE COMMENCEMENT OF WORK. IF IN DOUBT SEEK ADVICE FROM WILKIN DESIGN.

SET OUT NOTES:
- THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.

PLUMBING NOTES:
- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUOMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.



4 ST HELENS POINT RD
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TITLE REF: 177048/1
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TITLE AREA = 5225.00m²



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CONNECT DOWN-PIPES TO NEW WATER TANK
AS PER NOTES AND min. 100Ø STORM-WATER LINE
WITH OVERFLOW TO DRAIN AS SHOWN

3.0m x 0.4m x 0.4m Storm water absorption trench set to
level. 2.0m away from building & boundaries as per detail.
Ensure does not create nuisance

PROPOSED 13.0m. x 13.5m. x 4.5m (SPOUTING)
COLORBOND SHED WITH 4.0m. x 15.0m. x 2.4m. (SPOUTING)
SKILLION ADDITION
FOR FULL DETAILS SEE FAIR DINKUM BUILDS
DRAWINGS AND SPECIFICATIONS

PROPOSED ACCESS

ACCESS THROUGH
ROW AT REAR

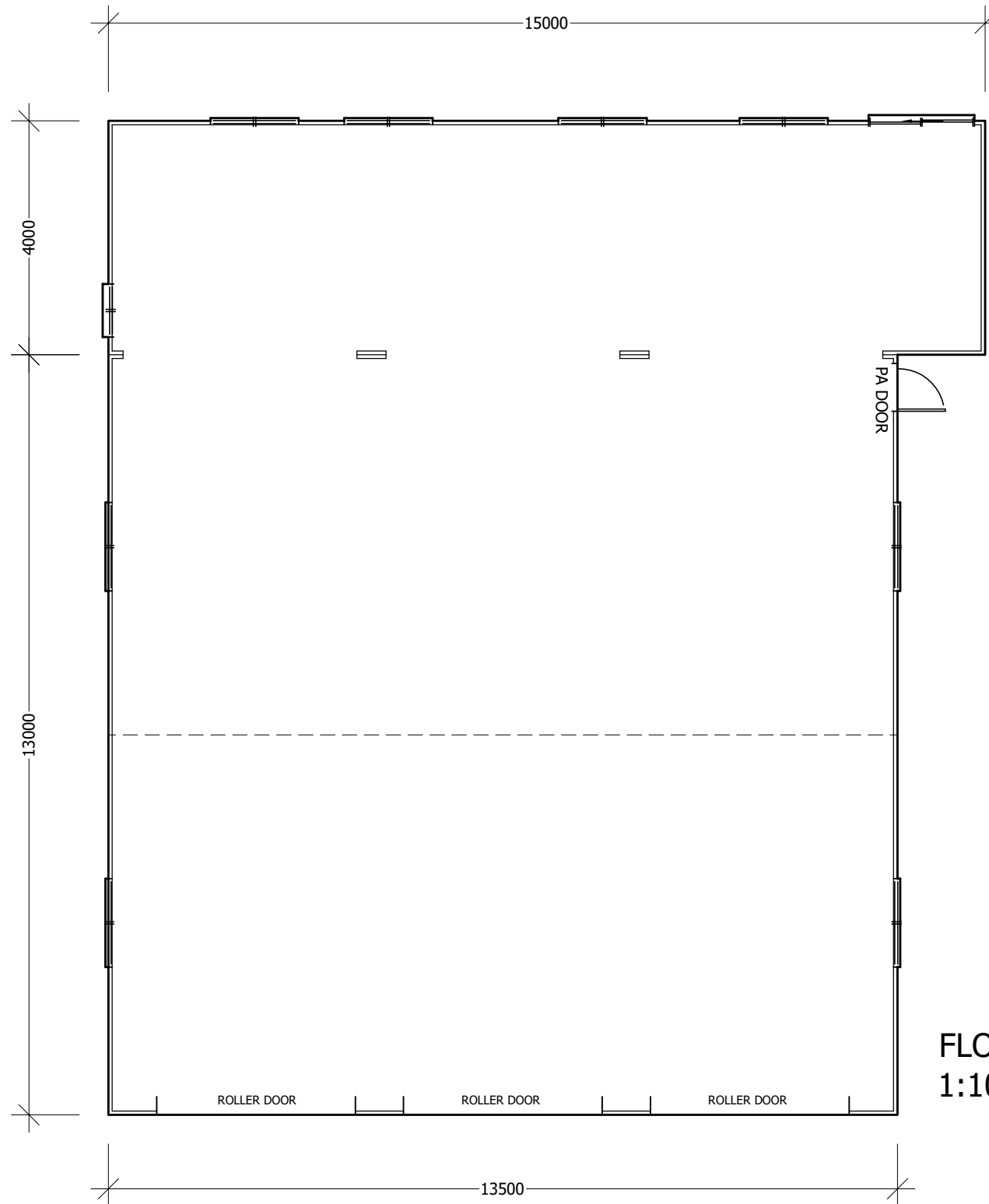
SOME ADDITIONAL CLEARING
REQUIRED AS SHOWN

ACCESS THROUGH
ROW AT REAR

SITE PLAN
1:200

SITE IS LEVEL

NOTE: TABLE FOR UNPROTECTED EMBANKMENT SLOPES SLOPE = H:L		
SOIL TYPE	COMPACTED FILL	CUT
STABLE ROCK	2:3	8:1
SAND	1:2	1:2
SILT	1:4	1:4
CLAY (FIRM)	1:2	1:1
CLAY (SOFT)	NOT SUITABLE	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE



FLOOR PLAN
1:100



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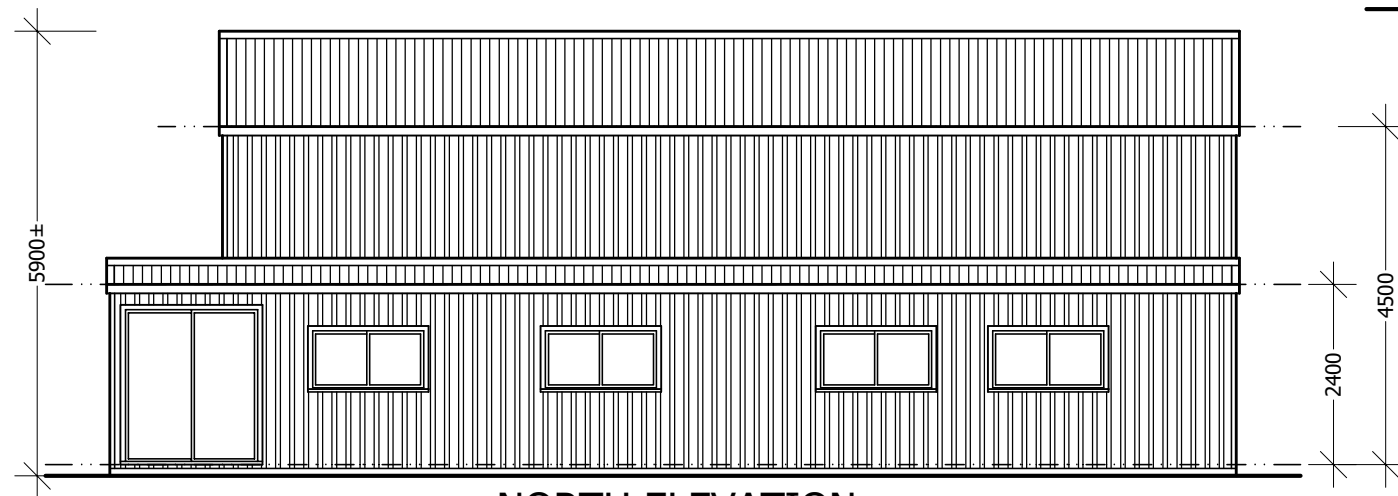
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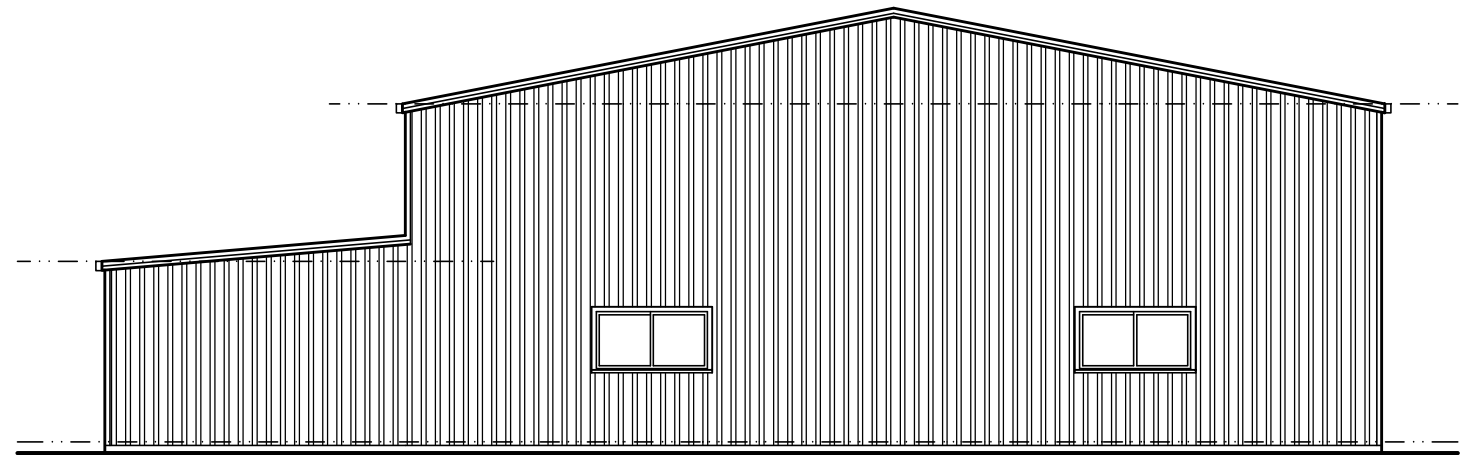
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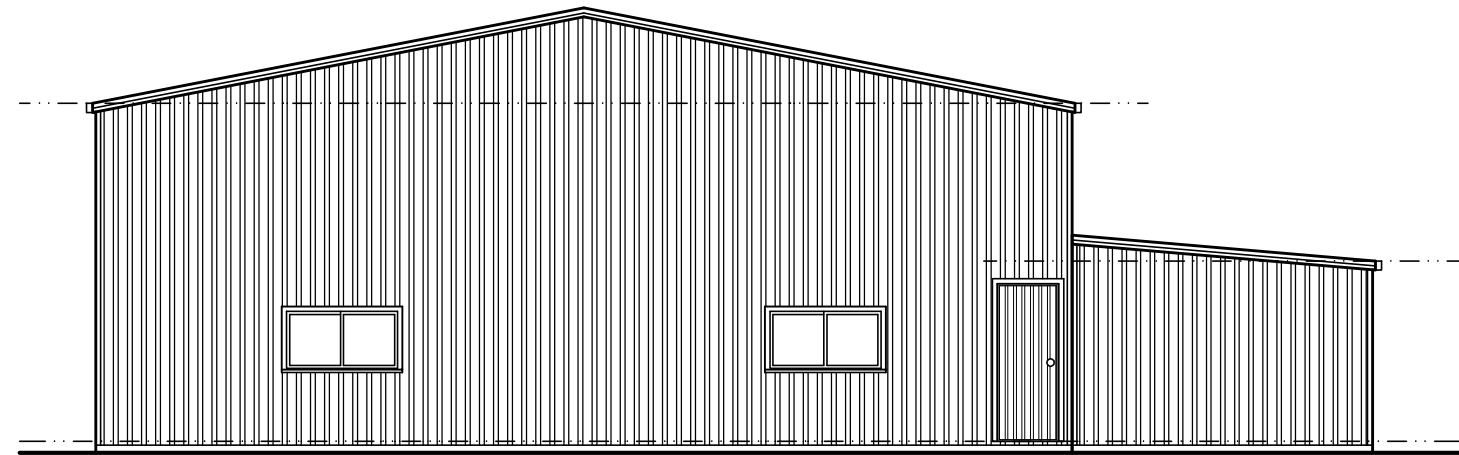
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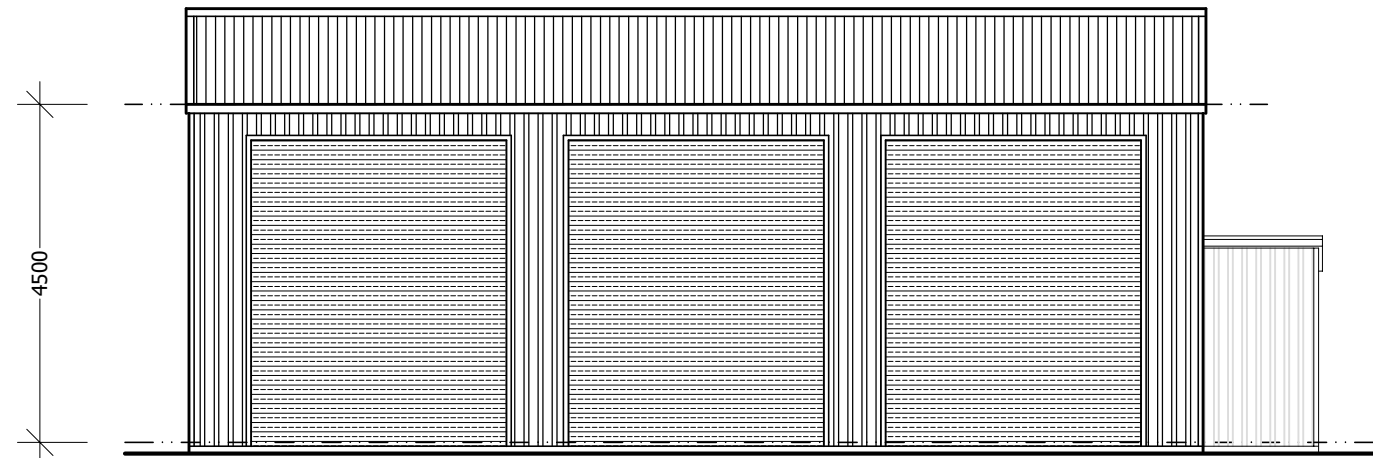
NORTH ELEVATION
1:100



WEST ELEVATION
1:100



EAST ELEVATION
1:100



SOUTH ELEVATION
1:100



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