

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00110
Applicant	S Lawes
Proposal	Residential - Construction of a Dwelling and Attached Shed
Location	20 Sunnybank Close, St Helens (CT182122/27)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th July, 2026 **until 5pm Friday 7th August, 2026.**

John Brown
GENERAL MANAGER

PROPOSED NEW DWELLING
20 SUNNYBANK CLOSE
ST HELENS TAS 7216
FOR DEAN WITHERS

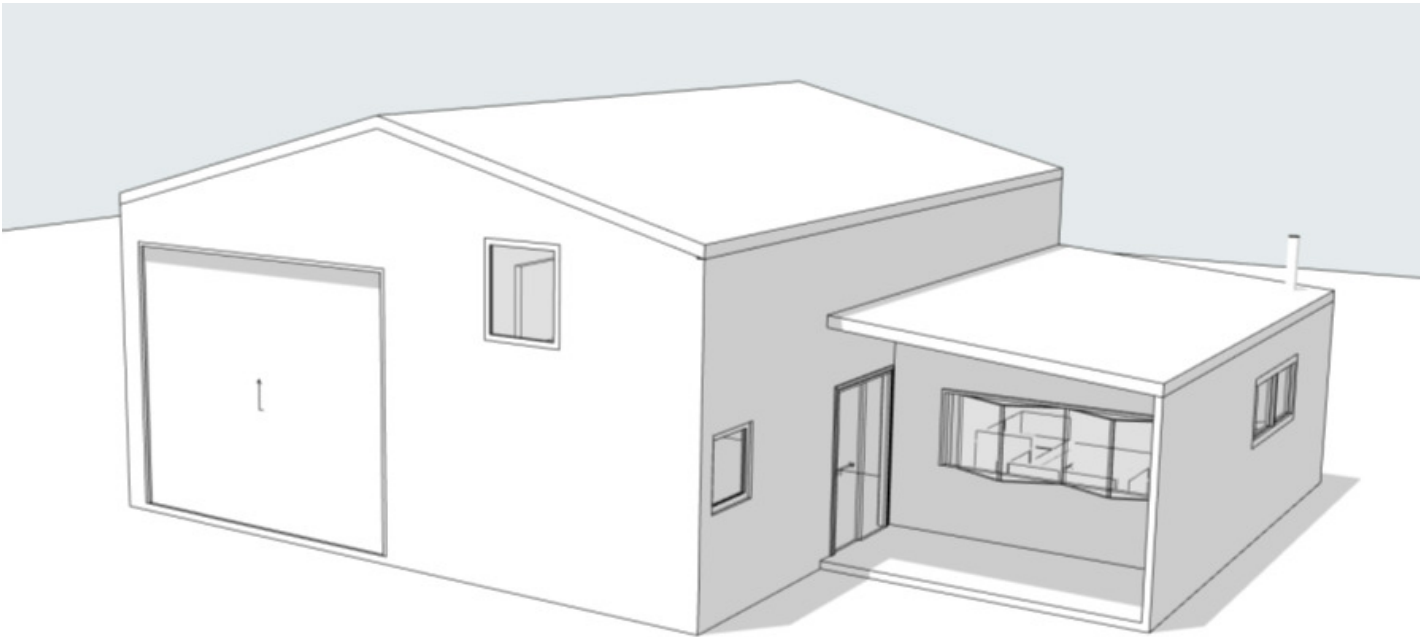
DRAWING SCHEDULE

DWG -SHEET 1	COVER SHEET
DWG -SHEET 2	SITE PLAN
DWG -SHEET 3	FLOOR PLAN / WINDOW SCHEDULE
DWG -SHEET 4	UPPER FLOOR/STORAGE
DWG -SHEET 5	ELEVATIONS
DWG -SHEET 6	ELEVATIONS
DWG -SHEET 7	SECTION A-A
DWG -SHEET 8	FUTURE DWELLING FLOOR PLAN
DWG -SHEET 9	ELEVATIONS
DWG -SHEET 10	ELEVATIONS
DWG -SHEET 11	DRAINAGE PLAN

SITE INFORMATION

BUILDING DESIGNER	-	STEPHEN LAWES
ACCREDITATION	-	CC 4667 J
LAND TITLE REFERENCE No	-	VOLUME 182122 FOLIO 27
PROPERTY ID NUMBER	-	9083761
LAND AREA	-	1216 m2
FUTURE DWELLING AREA	-	152 m2
PROPOSED GARAGE AREA	-	63.30 m2
PROPOSED LIVING AREA	-	59.70 m2
DESIGN WIND SPEED	-	N2
SOIL CLASSIFICATION	-	S
CLIMATE ZONE	-	7
FLOODING	-	NO
BAL RATING	-	NA
CORROSION ENVIROMENT	-	MEDIUM

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION
WITH THE STRUCTURAL ENGINEERING DRAWINGS,
BAL RATING REPORT AND ENERGY EFFICIENCY CERTIFICATE.



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

ADORN
DRAFTING

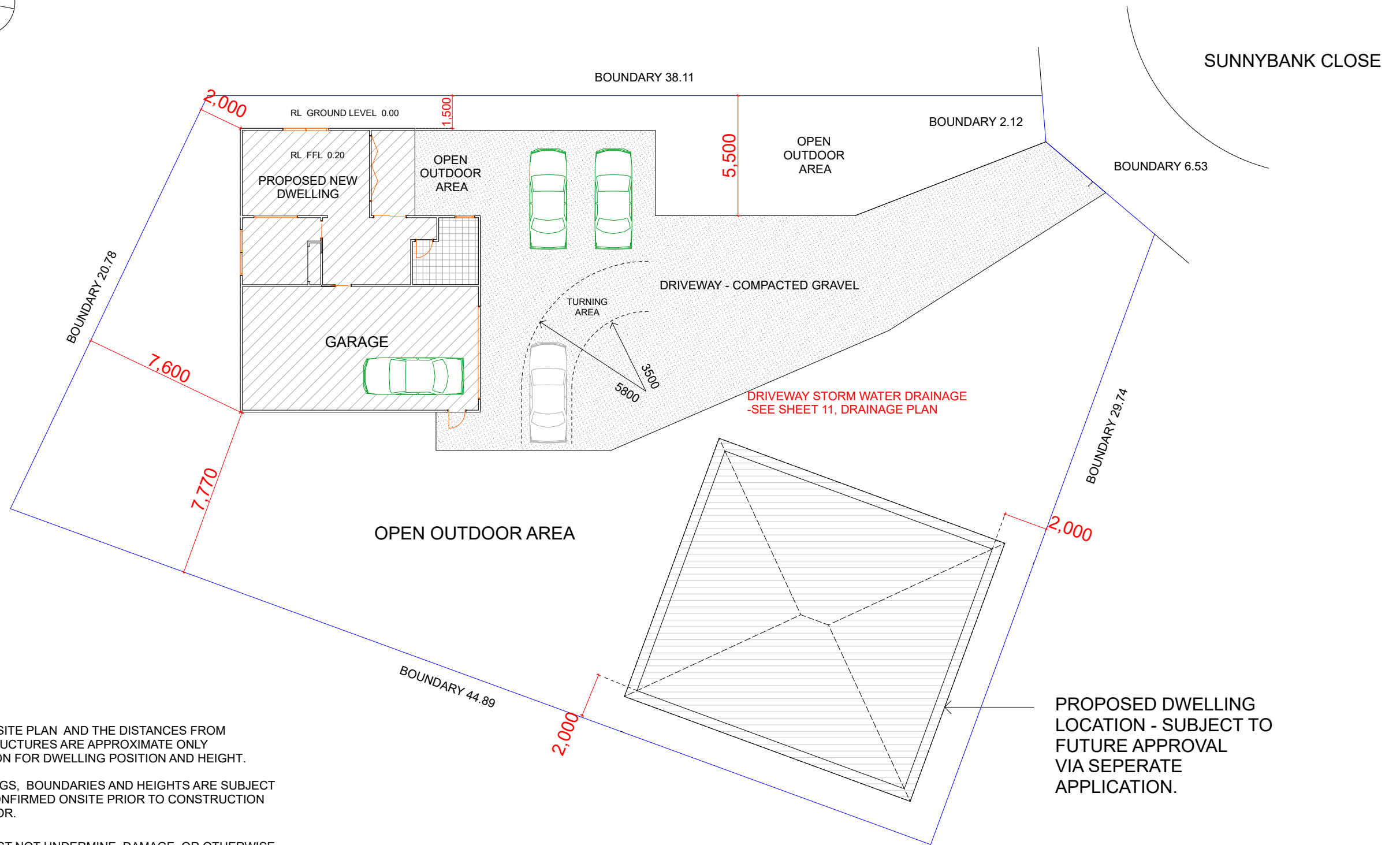
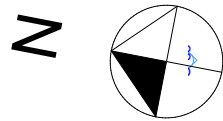
MBL 0413 235 160
E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES
CC 4667 J
CATEGORY ABP I
25 JILLIAN ST
KINGSMEADOWS 7249

DRAWN BY - H.NGUYEN

PROPOSED NEW DWELLING
20 SUNNYBANK CLOSE
ST HELENS TAS 7216
FOR DEAN WITHERS

DRAWING	COVER SHEET
DATE	15/4/2026
DWG 814	SHEET 1
SCALE	



NOTE:

BOUNDARY LINES SHOWN ON SITE PLAN AND THE DISTANCES FROM EXISTING AND PROPOSED STRUCTURES ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED ON FOR DWELLING POSITION AND HEIGHT.

EXACT LOCATIONS OF BUILDINGS, BOUNDARIES AND HEIGHTS ARE SUBJECT TO SURVEY AND ARE TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION BY A REGISTERED LAND SURVEYOR.

BULK EXCAVATION WORKS MUST NOT UNDERMINE, DAMAGE, OR OTHERWISE ADVERSELY AFFECT ADJACENT STRUCTURES, NEIGHBOURING PROPERTIES, BOUNDARY FENCES, OR ANY EXISTING SERVICES.

ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND ALL APPLICABLE STATUTORY AND REGULATORY REQUIREMENTS, INCLUDING THOSE OF THE LOCAL COUNCIL AND OTHER RELEVANT AUTHORITIES.

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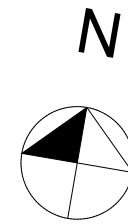
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DRAWING	SITE PLAN
DATE	15/4/2026
DWG 814	SHEET 2
SCALE	1:200



WINDOWS AND DOOR SIZES WRITTEN IN SCHEDULE ARE TO BE CROSS CHECKED WITH FLOOR PLANS AND ELEVATIONS BY BUILDER FOR ANY ANOMALIES PRIOR TO QUOTING AND ORDERING

WINDOWS / DOORS TO COMPLY WITH THE NOTED BAL RATING

WINDOW AND DOOR SCHEDULE
-ALL DOORS AND WINDOWS TO BE DOUBLE GLAZED UNLESS NOTED OTHERWISE

WINDOW MANUFACTURER -SEE ENERGY EFFICIENCY CERTIFICATE, WHERE ALTERATIVE WINDOW AND DOORS ARE USED THEY MUST HAVE EQUAL OR BETTER ENERGY EFFICIENCY RATING.

	HEIGHT	WIDTH	TYPE	GLASS
W 1	1500	2100	AWN	
W 2	900	2100	AWN	
W 3	1000	3000	BIFOLD	
W 4	900	900	AWN	OBS
W 5	300	1800	AWN	OBS
W 6	600	1800	AWN	
W 7	1200	1050	AWN	

	DOORS		
D 1	2100X1600	SLD	
D 2	2040X820		HALF GLASS

INTERNAL DOORS	
2070X820 UNLESS SHOWN OTHERWISE ON FLOOR PLAN	
TIMBER LINTELS MGP IO	
0-1000	1/90X45
1000-1500	1/140X45
1500-2000	1/190X45
2000-2500	1/240X45
2500-3000	2/240X45

WOOD HEATER AND FLUE TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND IN COMPLIANCE WITH NCC 2022 PART 12.4.5 -SEE FIGURE 12.4.5a & 12.4.5b FOR CLEARANCES OF FREE STANDING HEAT APPLIANCES



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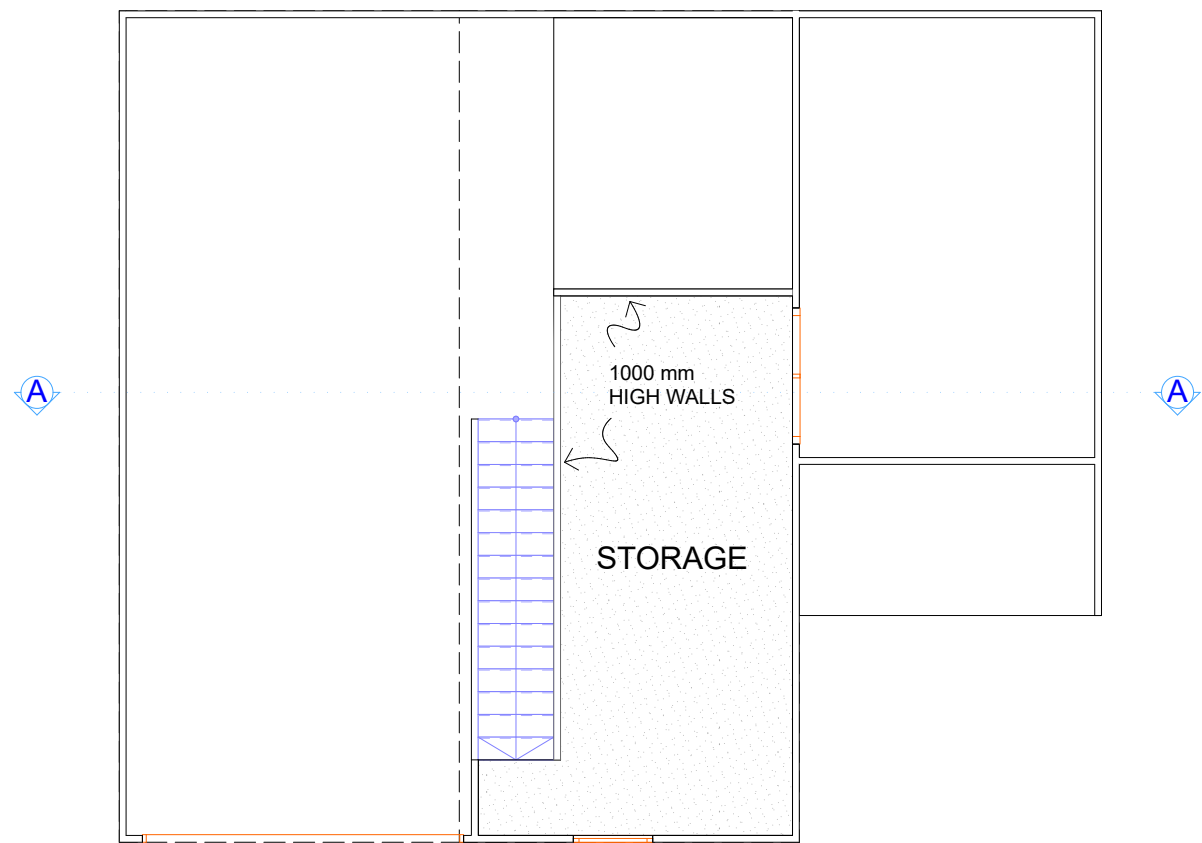
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DRAWING	FLOOR PLAN
DATE	15/4/2026
DWG 814	SHEET 3
SCALE	1:100



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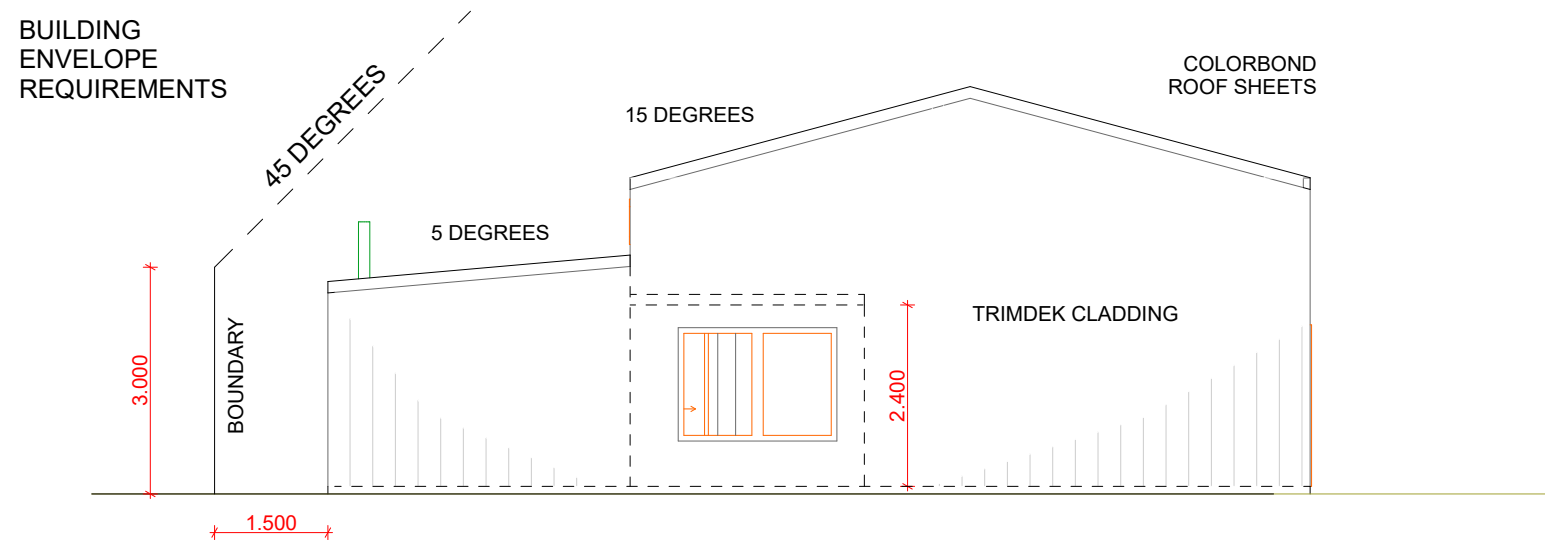
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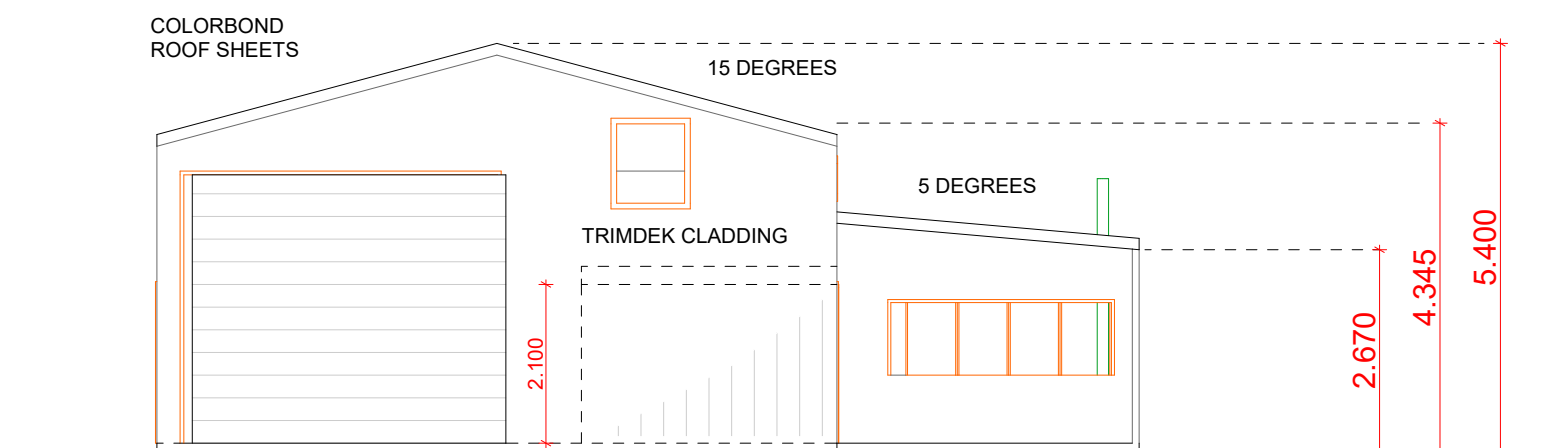
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DRAWING	UPPER FLOOR PLAN
DATE	15/4/2026
DWG 814	SHEET 4
SCALE	1:100



NORTH ELEVATION



SOUTH ELEVATION

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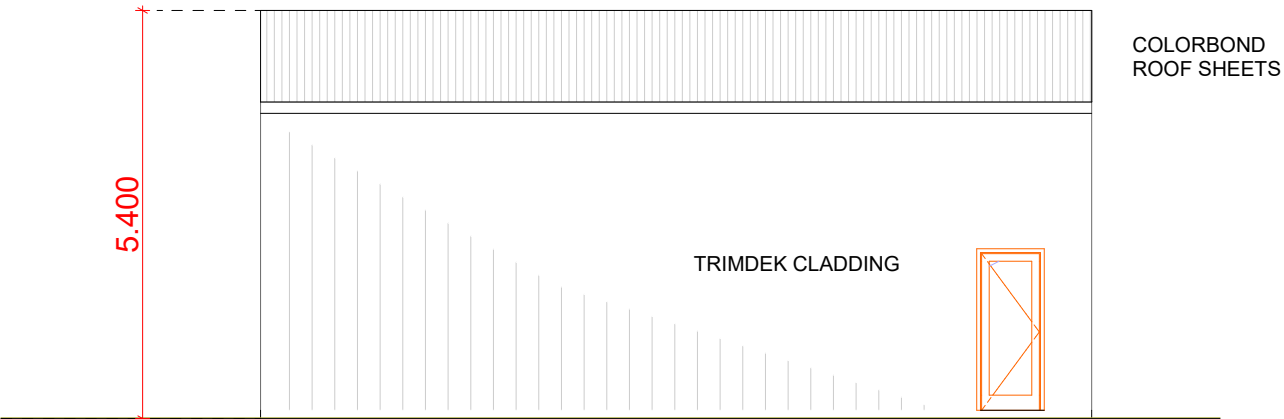
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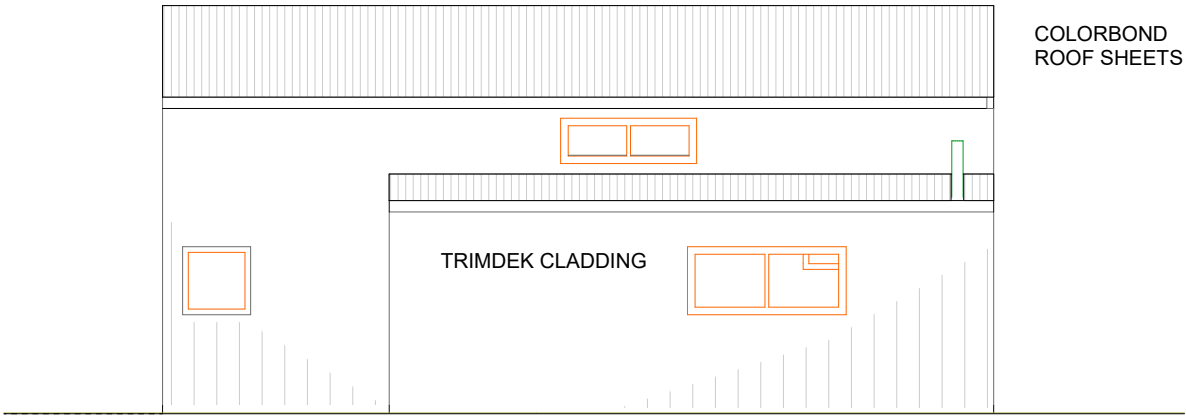
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FOR DEAN WITHERS**

DRAWING	NS ELEVATIONS
DATE	15/4/2026
DWG 814	SHEET 5
SCALE	1:100

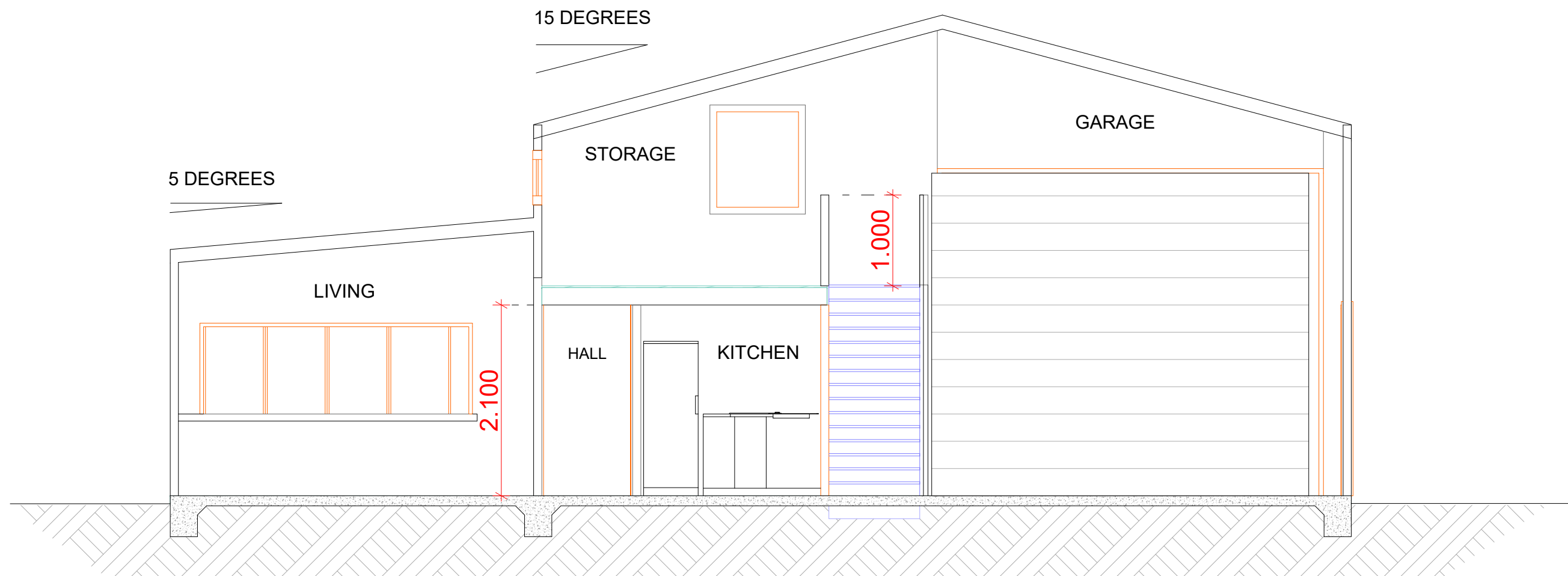


WEST ELEVATION



EAST ELEVATION

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				DATE	15/4/2026
				DWG 814	SHEET 6
				SCALE	1:100



SECTION A-A

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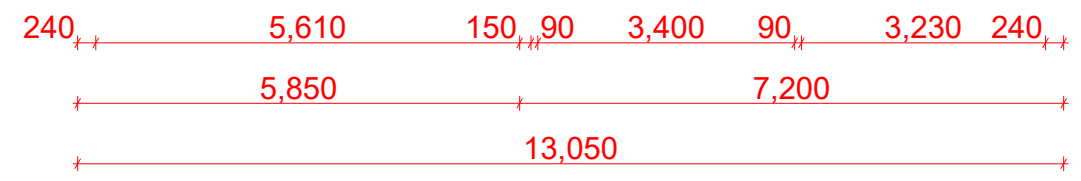
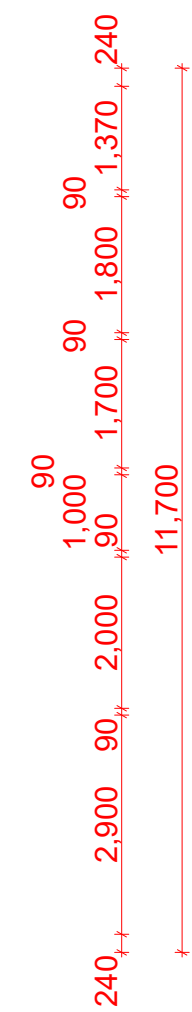
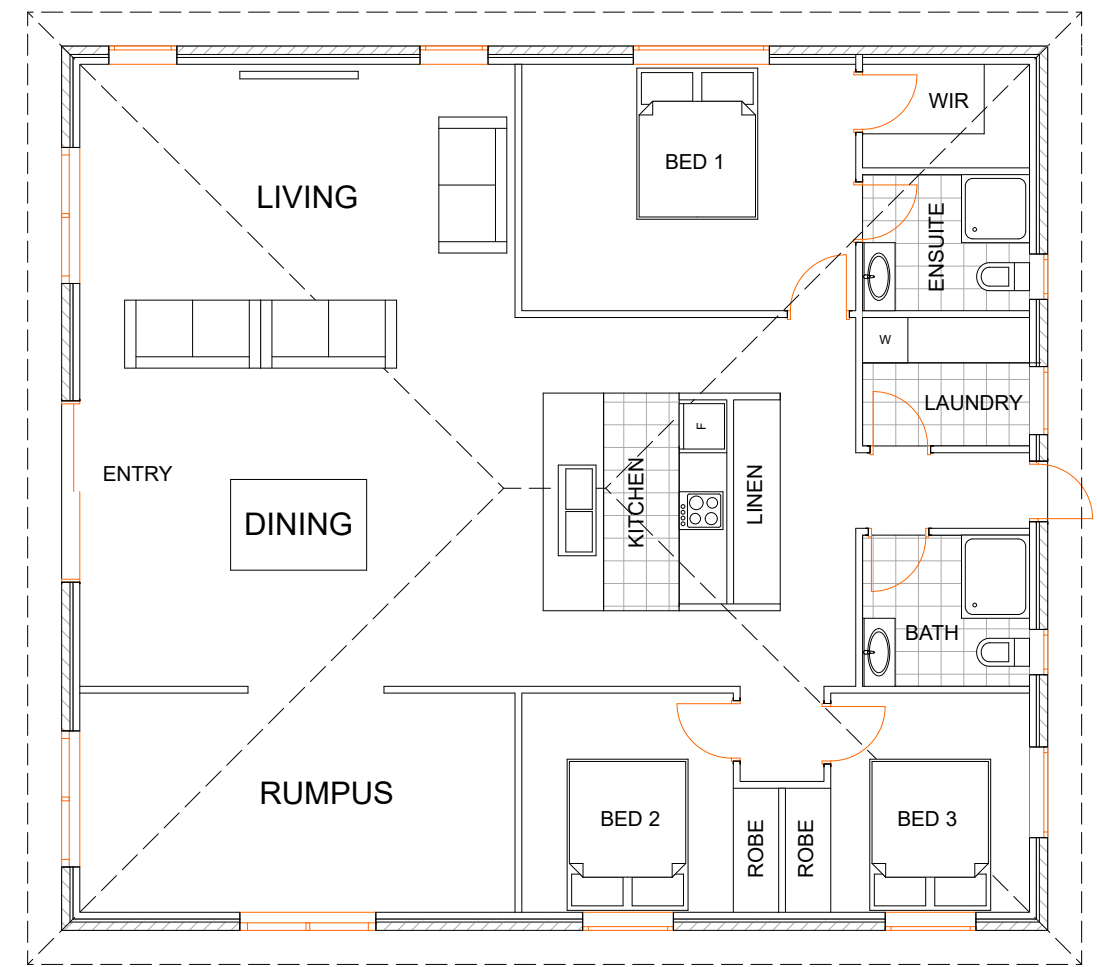
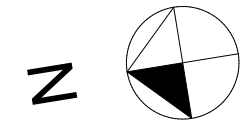
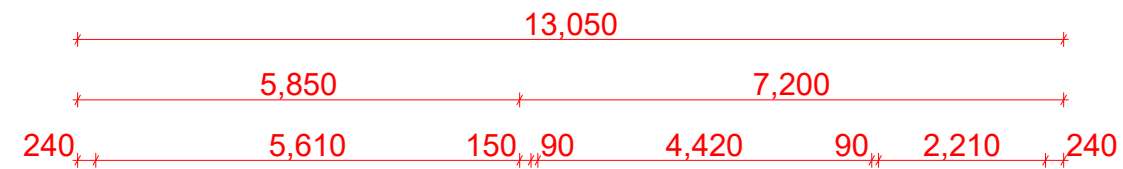
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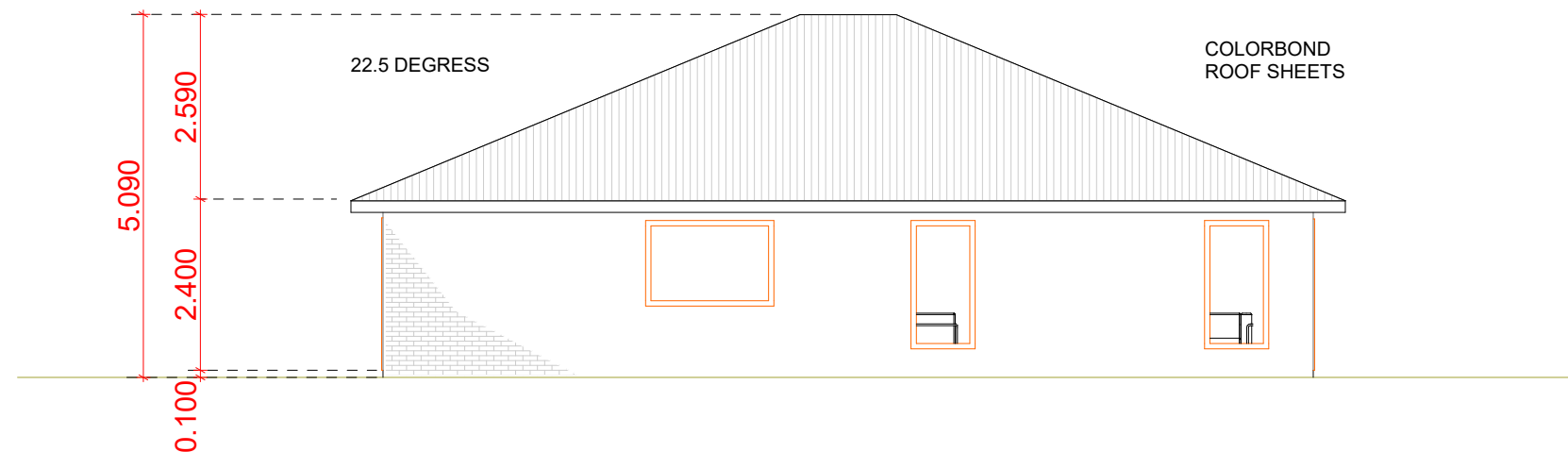
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DRAWING	SECTION AA
DATE	15/4/2026
DWG 814	SHEET 7
SCALE	1:50

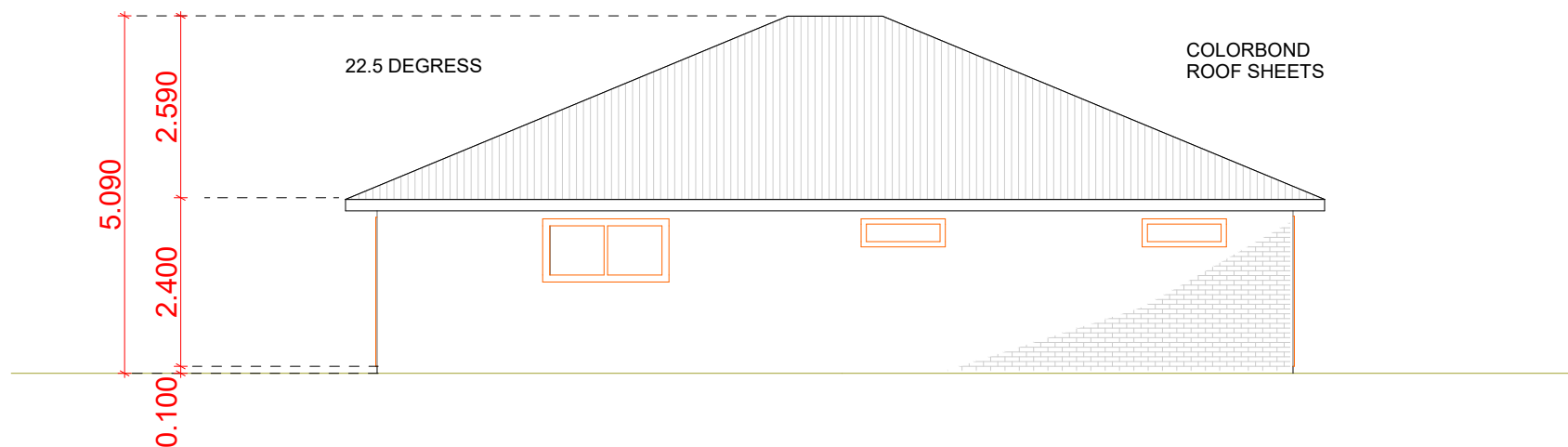


PROPOSED DWELLING
LOCATION - SUBJECT TO
FUTURE APPROVAL
VIA SEPERATE
APPLICATION.

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				DATE	15/4/2026
				DWG 814	SHEET 8
				SCALE	1:100



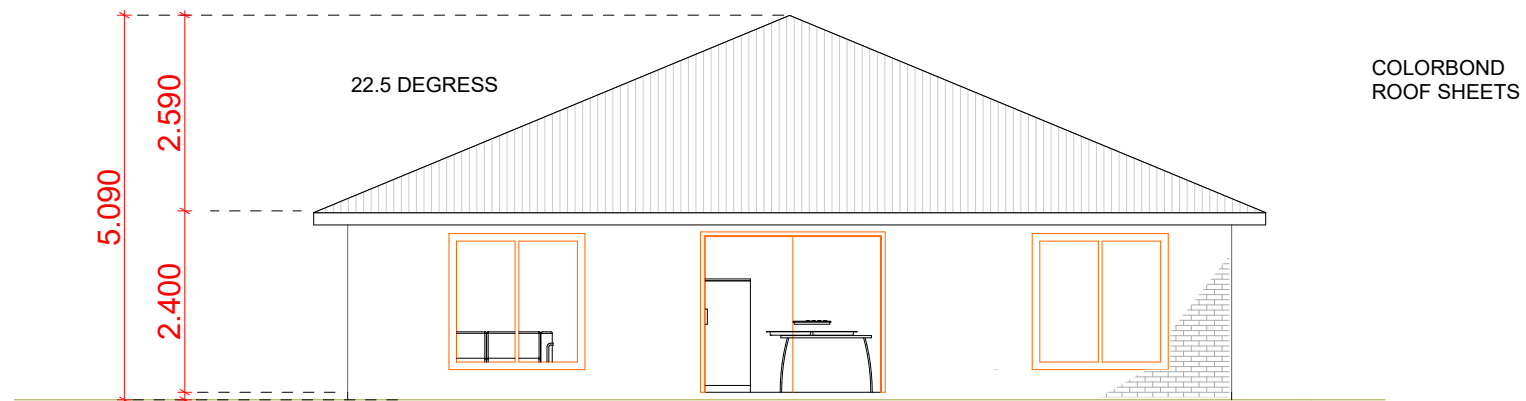
EAST ELEVATION



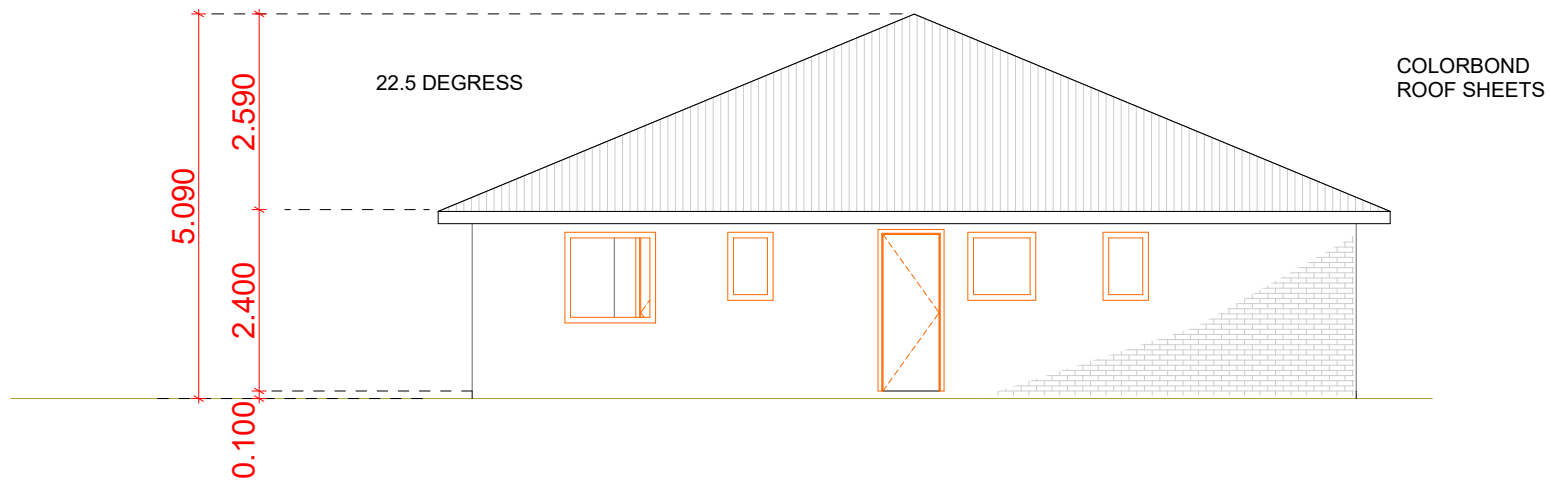
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				DATE	15/4/2026
				DWG 814	SHEET 9
				SCALE	1:100



NORTH ELEVATION



SOUTH ELEVATION

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				DATE	15/4/2026
				DWG 814	SHEET 10
				SCALE	1:100

PLUMBING

GENERALLY TO COMPLY WITH AND BE INSTALLED
IN ACCORDANCE WITH AS 3500
,THE PLUMBING CODE OF AUSTRALIA
AND THE RELEVANT STATE PLUMBING CODE

ALL PLUMBING WORK TO BE COMPLETED BY A
QUALIFIED AND LICENSED PLUMBER.

SEWER AND STORMWATER CONNECTION POINTS
ARE APPROXIMATE ONLY.

LEGEND

- IO

ORG

EV

DP

- WET AREAS

- INSPECTION POINT

- OVERFLOW RELIEF GULLY

- VENT PIPE

- DOWN PIPE

- STORM WATER PIPE - MINIMUM FALL OF 1:100

- SEWER PIPE - MINIMUM FALL OF 1:60

- SILT PIT

PVC WASTE PIPES

BATH, BASIN AND FLOOR WASTE TO BE 40 mm
SINK, LAUNDRY TUB, SHOWER AND VENT TO BE 50 mm
STORM WATER AND DOWNPIPES TO BE 90 mm
SEWER TO BE 100 mm

MATERIALS

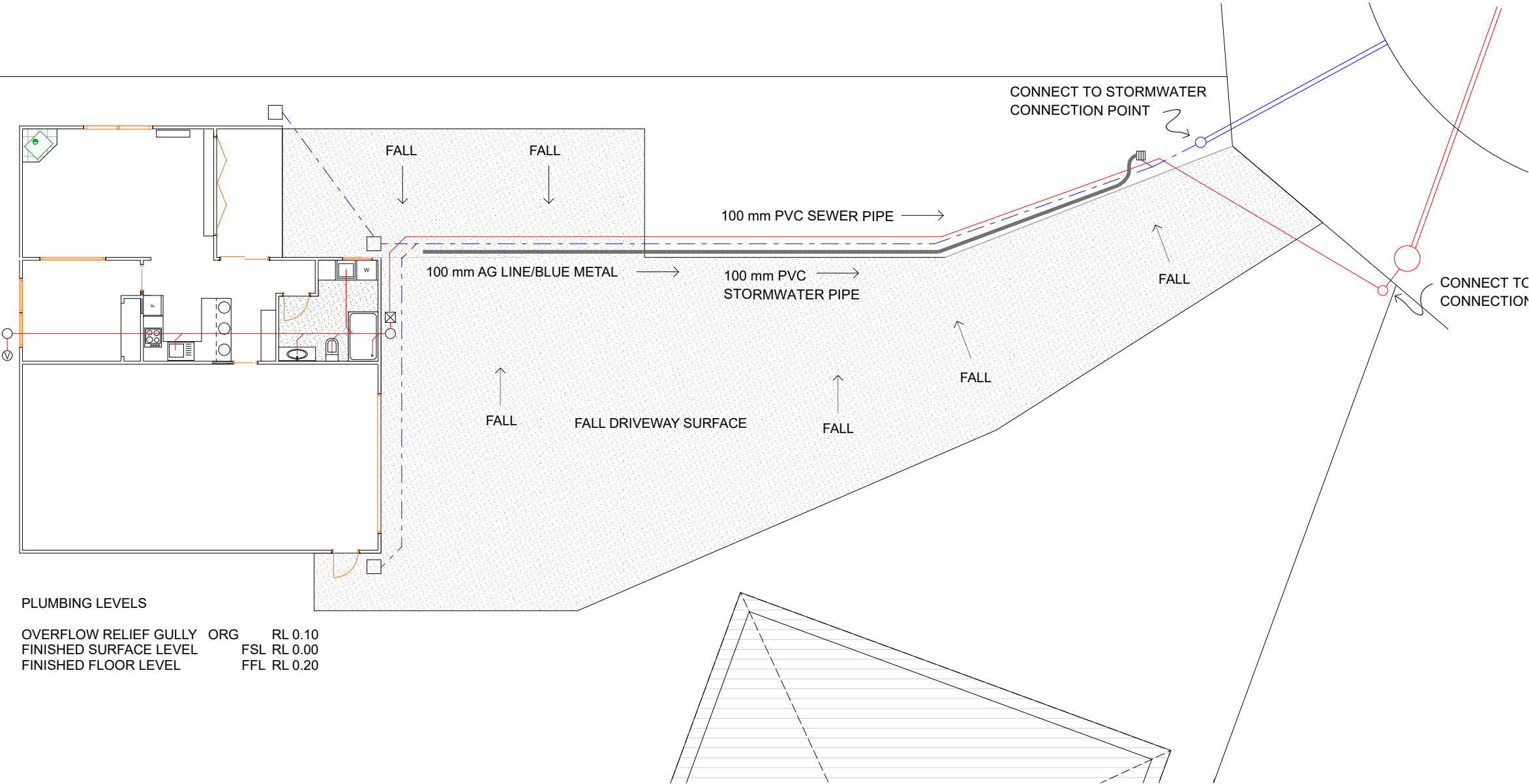
WATER PIPES TO COMPLY WITH
AS/NZS 3500.1 AND AS/NZS 3500.5
COPPER OR POLY TYPE PIPES
HOT AND COLD WATER BRANCHES TO BE DN 16 mm
MAIN LINE TO BE DN 20 mm

WATER TEMPERATURE

50 DEGREES TO SANITARY FIXTURES
60 DEGREES TO LAUNDRY AND KITCHEN SINK
OUTLET PIPES FROM THE HOT WATER UNIT MUST
BE COPPER FOR AT LEAST 1 METER BEFORE
CONNECTING TO POLY TYPE PIPES.

WATER FLOW SUPPLY BACK FLOW PREVENTION
DEVICE TO BE FITTED TO OUTSIDE TAPS

PRESSURE REGULATOR TO BE FITTED BETWEEN
MAINS WATERLINE AND HOUSE.



PLUMBING LEVELS
OVERFLOW RELIEF GULLY ORG RL 0.10
FINISHED SURFACE LEVEL FSL RL 0.00
FINISHED FLOOR LEVEL FFL RL 0.20

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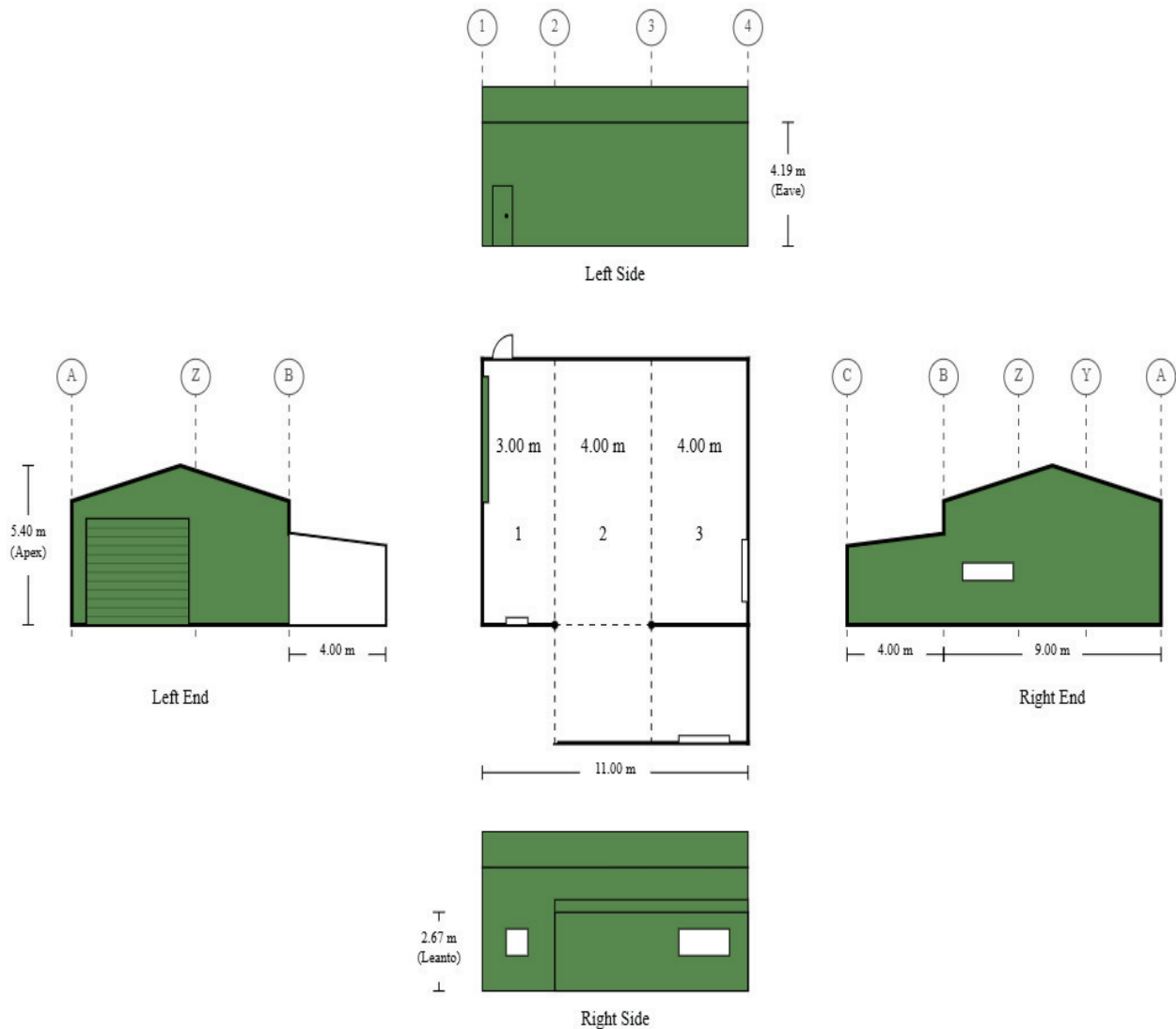
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DRAWING	DRAINAGE PLAN
DATE	15/4/2026
DWG 814	SHEET 11
SCALE	1:100

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Purchaser Name: Dean Withers		Building Layout Ref# RAYHEAL2601001-6	Seller: The Shed Company Launceston Name: Raymond Heald Phone: 03 9002 4272 Fax: Email: ray.heald@theshedcompany.com.au	
Site Location:				
Ref # RAYHEAL2601001-6	Print Date: 09/04/26			

General Residential Zone Response

Clause 8.4.2 – Setbacks and Building Envelope for All Dwellings

The proposed development complies with the setback and building envelope requirements of the General Residential Zone.

The siting of the dwelling provides adequate front, side and rear setbacks that are required in the planning scheme. The proposed building envelope will have minimal visual impact to the adjoining properties, and is below the maximum allowable height.

This is shown on the architectural plans provided as a part of the planning application.

- Front, side and rear setback dimensions.
- Overall building envelope and footprint.
- Building height and wall height dimensions.
- Site sections and elevations .

Clause 8.4.3 – Site Coverage and Private Open Space for All Dwellings

The proposed development is in balance with the landscaped open space, there is still adequate area for outdoor recreation, landscaping, and residential amenity.

The required areas of private open space can be directly accessed from the main living areas .

The architectural plans show compliance, as listed below.

Total site area.

- Building footprint.
- Site coverage of proposal and future proposal .
- Location of private open spaces.
- Driveway and parking area

C2.0 Parking and Sustainable Transport Code (Planning Scheme Viewer):

C2.5.1 Car parking numbers

The current site plan shows two parking spaces, and one vehicle in the garage.

The site is capable of parking several more vehicles than this, including parking for the proposed future dwelling when it is completed ..

There are no constraints as the site is almost flat with ample area to extend onto the existing gravel driveway and parking area without having any effect on the streetscape.

There is also plenty of area for turning, to vacate the site in a forward direction.

C2.6.1 Construction of parking areas

The graveled area has plenty of turning room for the vehicles.

It is a flat site and, with a compacted gravel driveway, will not transport sediment from the site, onto the road.

The stormwater from the compacted gravel area, will have fall and will be drained to an agline, silt pit and then into the stormwater main.

C2.6.2 Design and layout of parking areas

The parking area is safe and convenient, it will be quite obvious where vehicles are expected to park, as the driveway widens in close proximity to the dwelling.

Being compacted gravel, it will be useable in all weather conditions.

The parking is close to the dwelling, and with a flat site as it is, it will be quite useable for persons with disabilities.