

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00114
Applicant	J Kreltzheim
Proposal	Visitor Accommodation - Annex with Amenities and Attached Deck
Location	70-88 Scamander Avenue, Scamander

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 22nd November, 2025 **until 5pm Friday 5th December, 2025.**

John Brown
GENERAL MANAGER

Proposed Annex to:

Site # 446 Scamander Tourist Park

77-88 Scamander Avenue, Scamander

Client: Brian Viney

AREAS:

Mobile home	18.5m²
Annex	35.4m²
Total	53.9m²

DESIGN WIND SPEED - N3
SOIL CLASSIFICATION - CLASS M

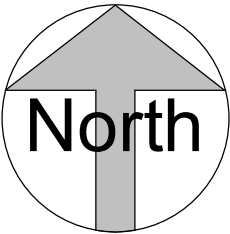
Sheet List	
Sheet Number	Sheet Name
1	Cover
2	Site Plan
3	Site Plan Detail
4	Floor Plan
5	Elevations
6	Elevations
7	Roof Plan
8	Section
9	Framing Details
10	Electrical Layout
11	Glazing Schedule
12	Details
13	Drainage Plan
14	Neighbouring Site

GENERAL NOTES:-

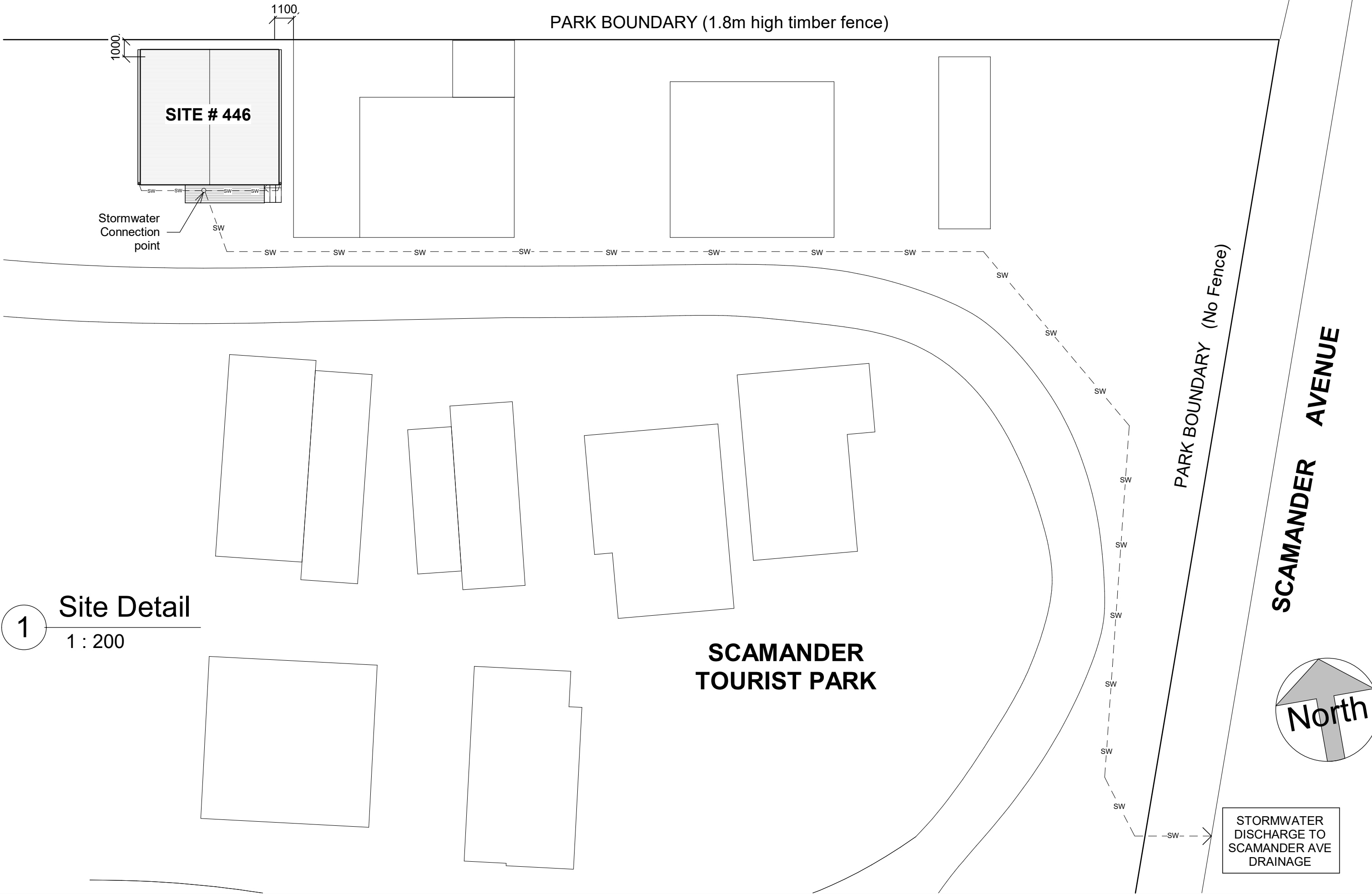
- GN01 -DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.
- GN02 - THE OWNER, BUILDER & SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS & SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY-LAWS & TOWN PLANNING REQUIREMENTS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- GN03 - ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
A.S. 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION
A.S. 1562 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDINGS.
- PART 1 METAL.
A.S. 1684.2 - NATIONAL TIMBER FRAMING CODE.
A.S. 2870 - RESIDENTIAL SLABS AND FOOTINGS. - CONSTRUCTION.
A.S. 2904 - DAMP-PROOF COURSES AND FLASHING.
A.S. 3600 - CONCRETE STRUCTURES.
A.S. 3660.1 - PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES
- PART 1 NEW BUILDINGS.
A.S. 3700 - MASONRY IN BUILDINGS.
A.S. 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S. 3786 - SMOKE ALARMS.
A.S. 4055 - WIND LOADINGS FOR HOUSING.
- GN04 - THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS & DRAWINGS.
- GN05 - SOIL CLASSIFICATION.
THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE:-
SOIL REPORT BY -
FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.
- GN06 - WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH A.S.3660.1
- GN07 - ALL GLAZING 500mm ABOVE FLOOR LEVEL TO COMPLY WITH AS 1288
- GN08 - WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- GN09 - STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
- GN10 - SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.
- GN11 - FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.
- GN12 - SMOKE ALARMS COMPLY WITH A.S. 3786 & INSTALLED IN ACCORDANCE WITH NCC 9.5.1
THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.
- BE POWERED FROM THE CONSUMER MAINS SOURCE
- BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- GN13 - WATERPROOFING TO FLOORS & WALLS OF WET AREAS TO BE PROVIDED IN ACCORDANCE WITH NCC Part 10.2
- GN14 - PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 450mm CENTRES IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.
- GN15 - ALL WALL TILING TO WET AREAS ARE TO BE ON A BACKING OF WATERPROOF PLASTERBOARD OR FIBROUS CEMENT VILLABOARD LINING
TILES TO BE 1800mm MIN. ABOVE SHOWER BASE
TILES TO BE 150mm MIN. ABOVE SINKS, BASINS, TROUGHS & BATHS
- GN16 - EXHAUST SYSTEMS - EXHAUST FROM A KITCHEN, KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR ACCORDING TO NCC 10.8.2
- GN17 - THERMAL INSULATION TO BE PROVIDED IN ACCORDANCE WITH THE ENERGY RATING REPORT



1 Site Plan
1 : 1000



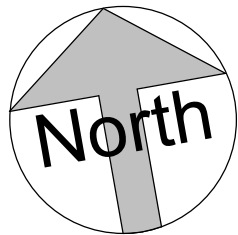
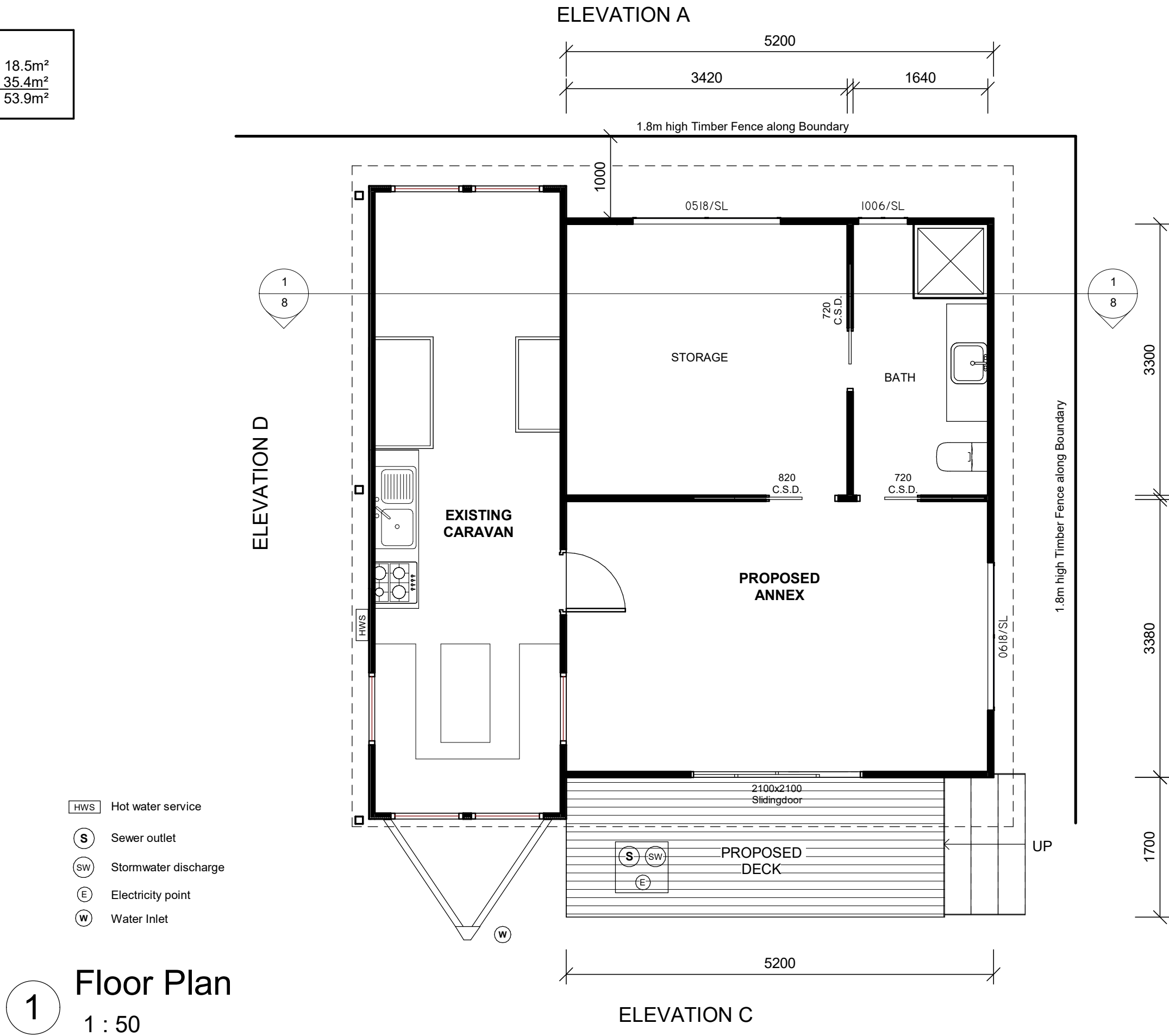
Client:	Brian & Lin Viney		ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Site Plan	sheet : 2 of 14	 Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 446 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215				status: CONCEPT	
					Date: 3/11/2025 11:08:44 PM	
					Drawn: James Kreltszheim Reg # 911670743	
					Ref : 1686	



1 Site Detail
1 : 200

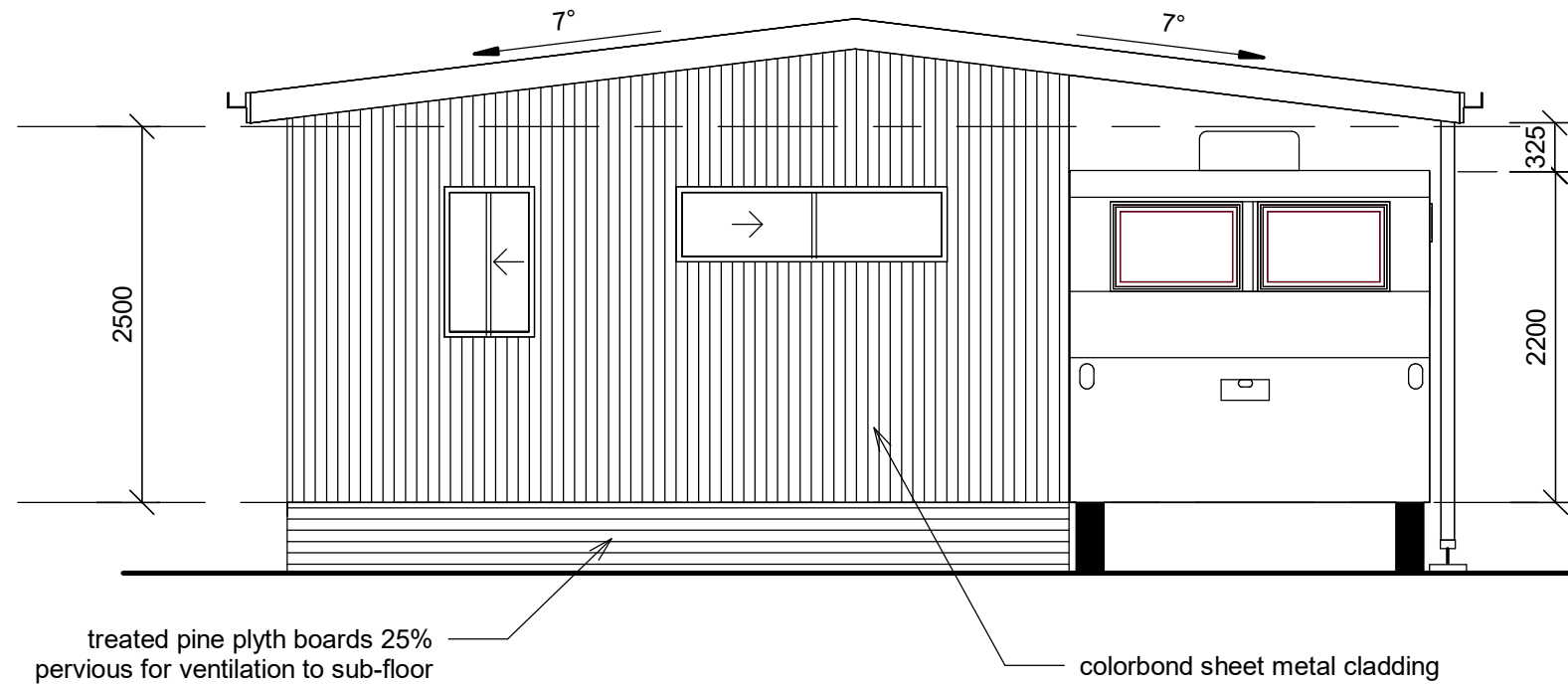
Client:	Brian & Lin Viney		ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Site Plan Detail	sheet : 3 of 14	ALLDRAW building design Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 488 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215				status: CONCEPT	
					Date: 3/11/2025 11:08:44 PM	
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AREAS:	
Mobile home	18.5m ²
Annex	35.4m ²
Total	53.9m ²

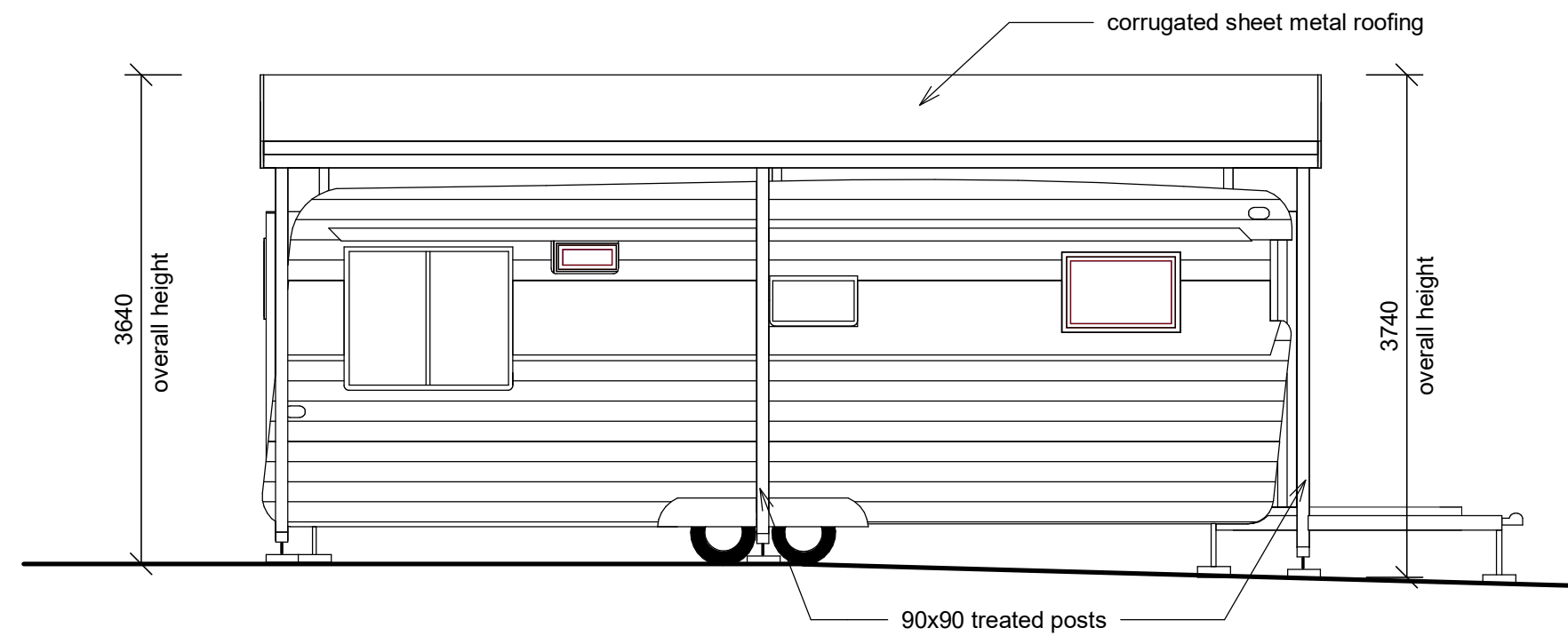


Client:	Brian & Lin Viney	ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Floor Plan	sheet : 4 of 14	ALLDRAW building design Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 488 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215			status: CONCEPT	
				Date: 3/11/2025 11:08:45 PM	
				Drawn: James Krelttszheim Reg # 911670743	
				Ref : 1686	

1 Elevation A
1 : 50



2 Elevation D
1 : 50



Client:

Brian & Lin Viney

Job
address:

SITE # 488
SCAMANDER TOURIST PARK
70-88 Scamander Ave, Scamander TAS 7215

ALLdraw Building Design
24469 Tasman Hwy, St.Helens
ph: 0421 745 095
e: james@alldraw.com.au

Elevations

sheet : 5 of 14

status: CONCEPT

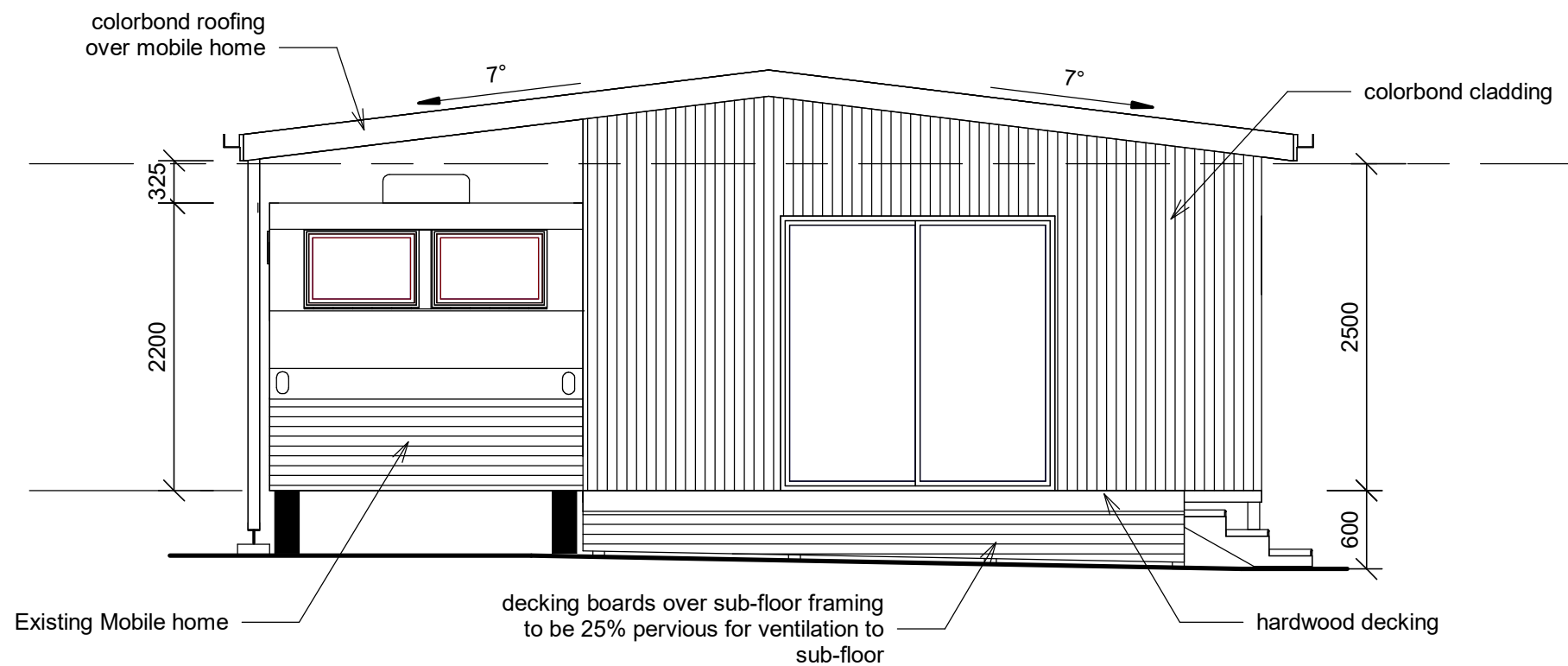
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11:08:45 PM

Drawn: James Krelttszheim
Reg # 911670743

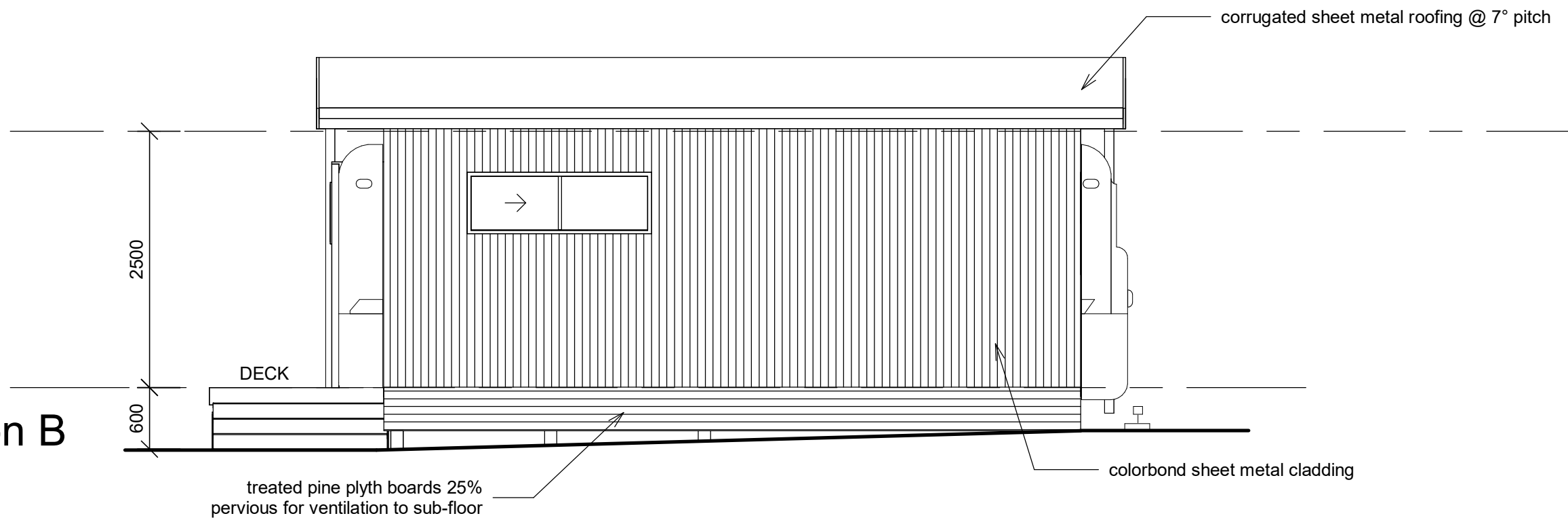
Ref : 1686

**ALL
DRAW**
building design
Ph: 0421 745 095
E: info@alldraw.com.au

1 Elevation C
1 : 50



2 Elevation B
1 : 50



Client:	Brian & Lin Viney
Job address:	SITE # 488 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215

ALLdraw Building Design
24469 Tasman Hwy, St.Helens
ph: 0421 745 095
e: james@alldraw.com.au

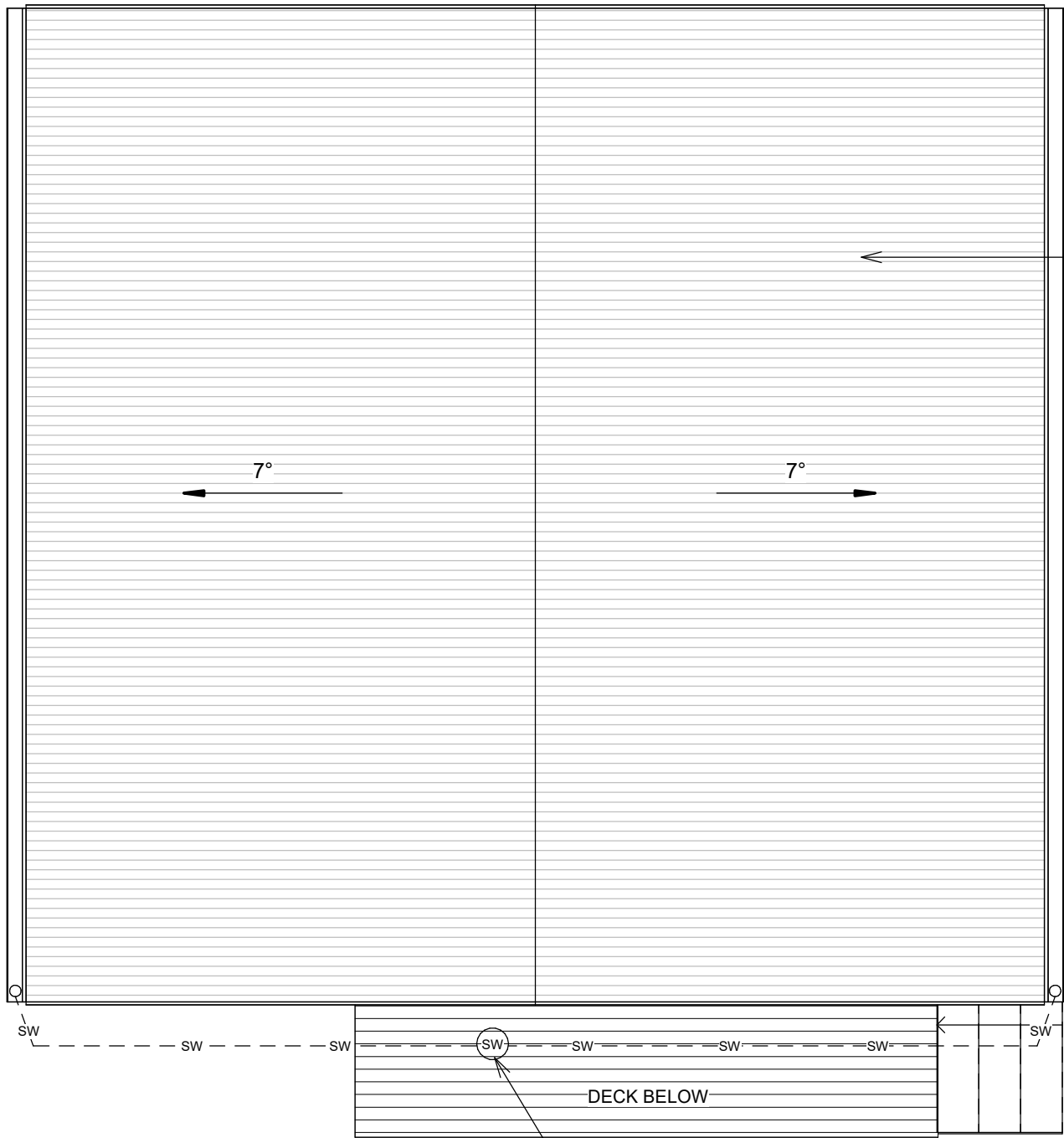
Elevations

sheet : 6 of 14
status: CONCEPT
Date: 3/11/2025 11:08:45 PM
Drawn: James Kreltszheim Reg # 911670743
Ref : 1686

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building design
Ph: 0421 745 095
E: info@alldraw.com.au

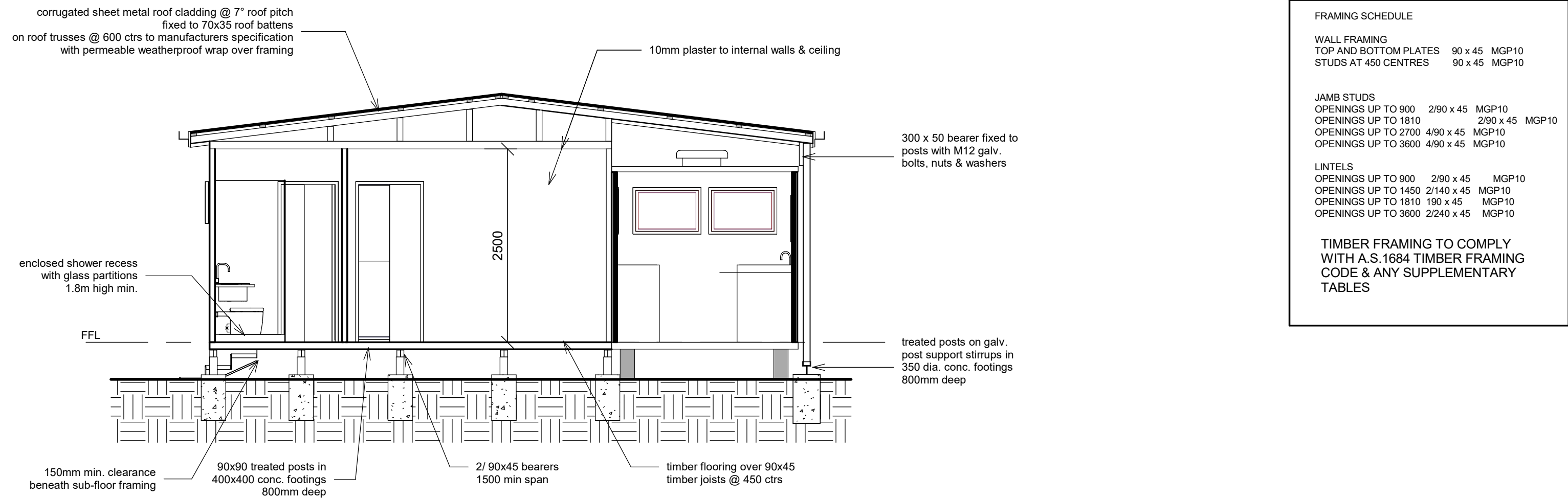
Stormwater overflow from water tank to be directed to the legal point of discharge on site via existing stormwater system of tourist park

1 Roof Plan
1 : 50



Stormwater discharge point.
(Stormwater overflow to be
directed to the stormwater
infrastructure on Scamander
Avenue)

Client:	Brian & Lin Viney		ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Roof Plan	sheet : 7 of 14	 Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 488 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215				status: CONCEPT	
					Date: 3/11/2025 11:08:45 PM	
					Drawn: James Kreltszheim Reg # 911670743	
					Ref : 1686	



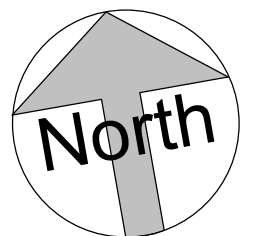
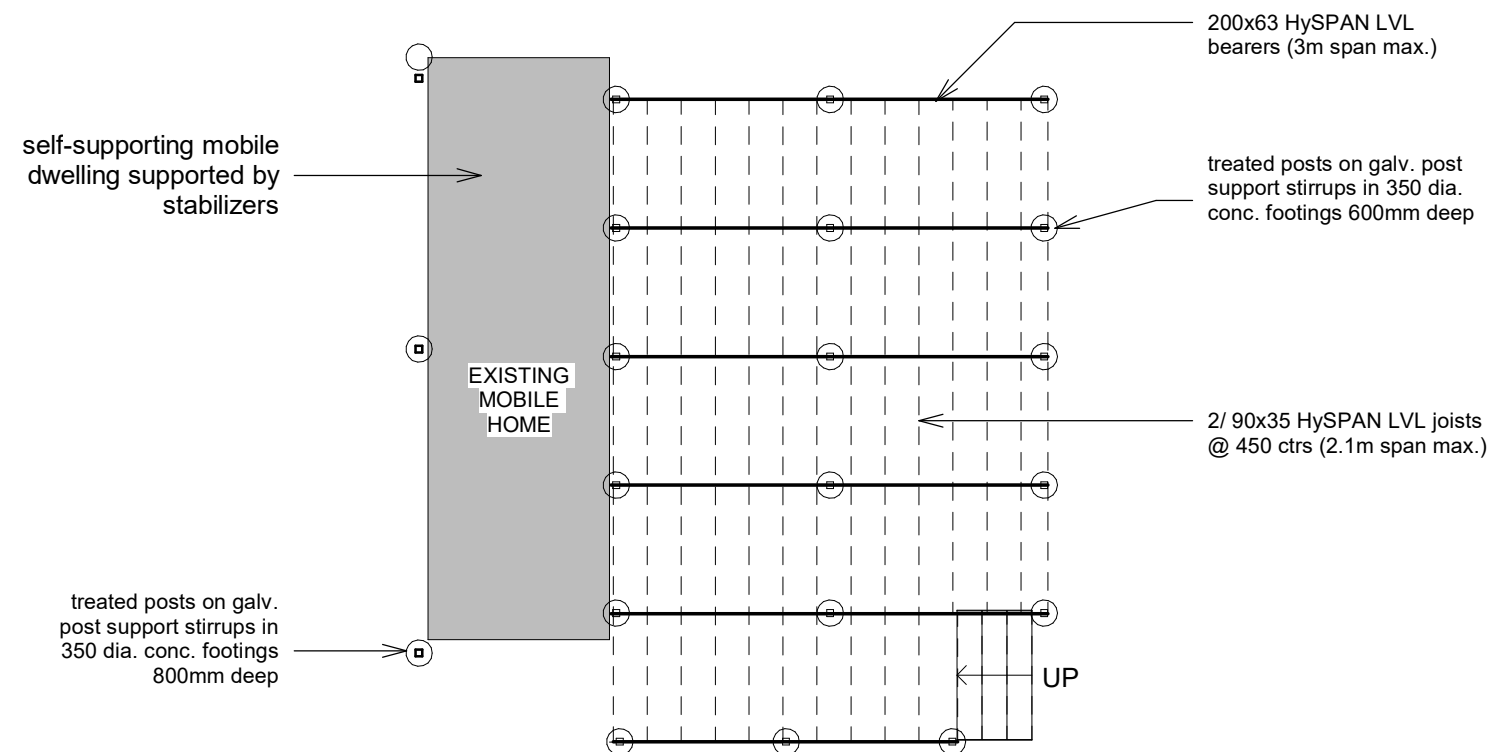
FRAMING SCHEDULE

WALL FRAMING			
TOP AND BOTTOM PLATES	90 x 45	MGP10	
STUDS AT 450 CENTRES	90 x 45	MGP10	
JAMB STUDS			
OPENINGS UP TO 900	2/90 x 45	MGP10	
OPENINGS UP TO 1810	2/90 x 45	MGP10	
OPENINGS UP TO 2700	4/90 x 45	MGP10	
OPENINGS UP TO 3600	4/90 x 45	MGP10	
LINTELS			
OPENINGS UP TO 900	2/90 x 45	MGP10	
OPENINGS UP TO 1450	2/140 x 45	MGP10	
OPENINGS UP TO 1810	190 x 45	MGP10	
OPENINGS UP TO 3600	2/240 x 45	MGP10	

TIMBER FRAMING TO COMPLY WITH A.S.1684 TIMBER FRAMING CODE & ANY SUPPLEMENTARY TABLES

1 Section A
1 : 50

2 Sub-Floor Plan
1 : 100



Client: Brian & Lin Viney

Job address: SITE # 488
SCAMANDER TOURIST PARK
70-88 Scamander Ave, Scamander TAS 7215

ALLdraw Building Design
24469 Tasman Hwy, St.Helens
ph: 0421 745 095
e: james@alldraw.com.au

Section / Sub-Floor Plan

sheet : 8 of 14
status: CONCEPT
Date: 3/11/2025
11:08:46 PM
Drawn: James Kreltshheim
Reg # 911670743
Ref : 1686

ALLDRAW
building design
Ph: 0421 745 095
E: info@alldraw.com.au

FRAMING SCHEDULE

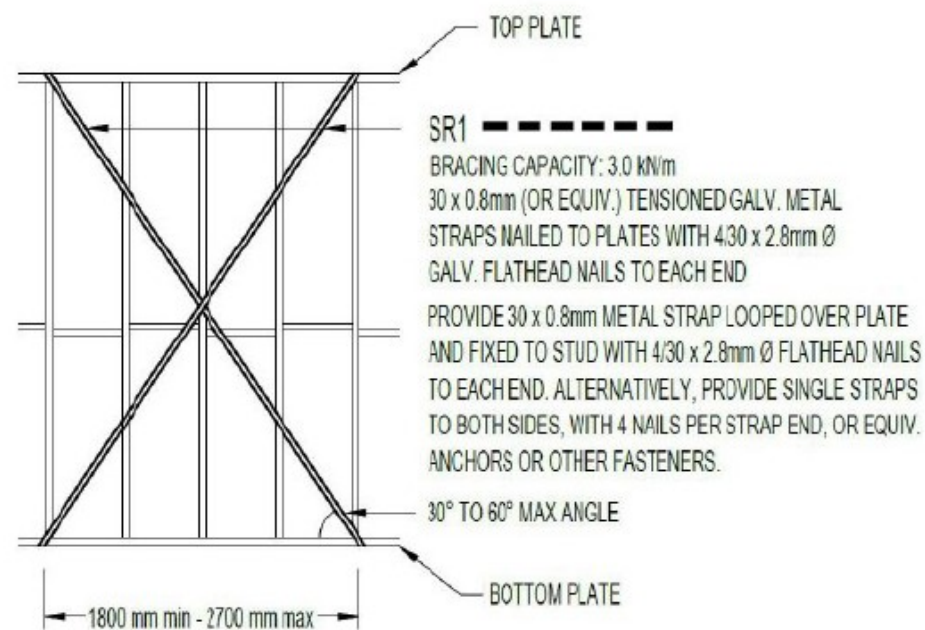
WALL FRAMING

TOP AND BOTTOM PLATES 90 x 45 MGP10
STUDS AT 450 CENTRES 90 x 45 MGP10

JAMB STUDS
OPENINGS UP TO 900 2/90 x 45 MGP10
OPENINGS UP TO 1810 2/90 x 45 MGP10
OPENINGS UP TO 2700 4/90 x 45 MGP10
OPENINGS UP TO 3600 4/90 x 45 MGP10

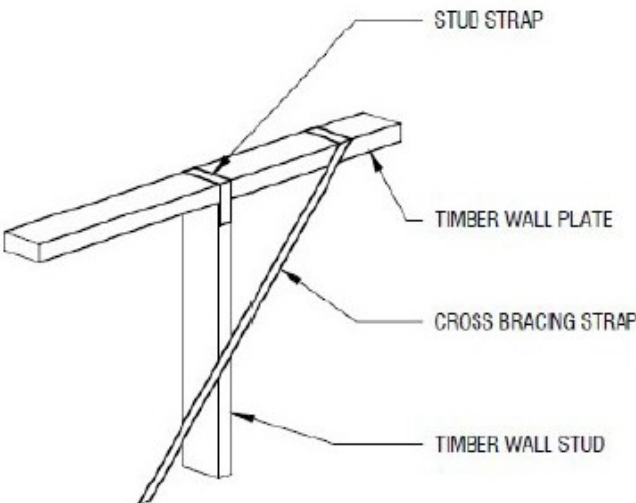
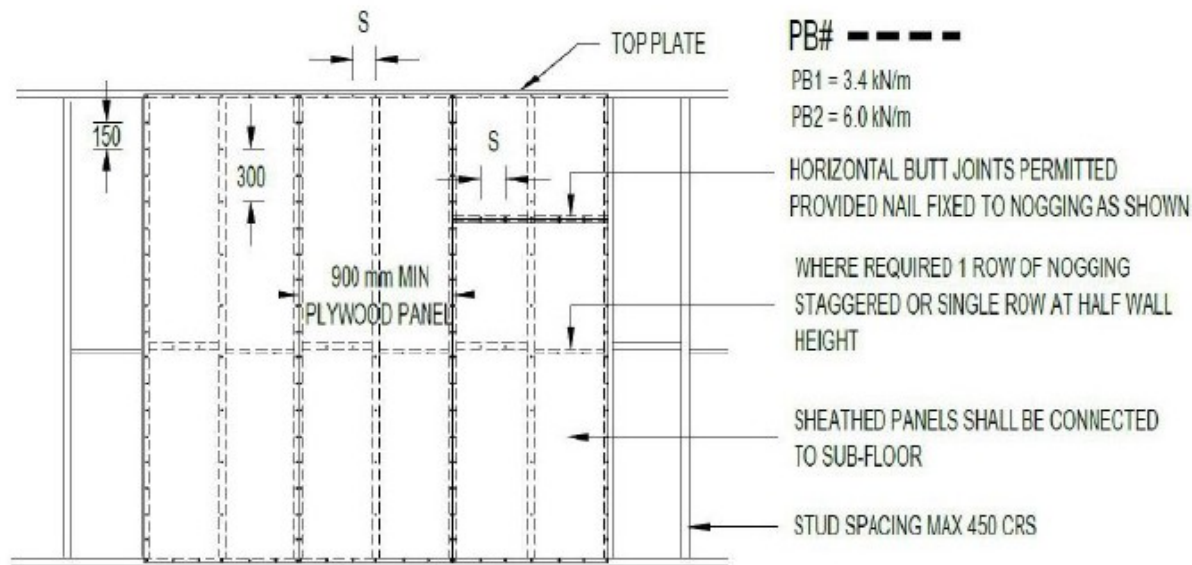
LINTELS
OPENINGS UP TO 900 2/90 x 45 MGP10
OPENINGS UP TO 1450 2/140 x 45 MGP10
OPENINGS UP TO 1810 190 x 45 MGP10
OPENINGS UP TO 3600 2/240 x 45 MGP10

TIMBER FRAMING TO COMPLY
WITH A.S.1684 TIMBER FRAMING
CODE & ANY SUPPLEMENTARY
TABLES



WALL BRACING DETAIL

TO BE BRACED IN ACCORDANCE WITH AS 1684 & BCA REQUIREMENTS



Client:	Brian & Lin Viney
Job address:	SITE # 446 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215

ALLdraw Building Design
24469 Tasman Hwy, St.Helens
ph: 0421 745 095
e: james@alldraw.com.au

Framing Details

sheet : 9 of 14
status: CONCEPT
Date: 3/11/2025 11:08:46 PM
Drawn: James Krelttszheim Reg # 911670743
Ref : 1686

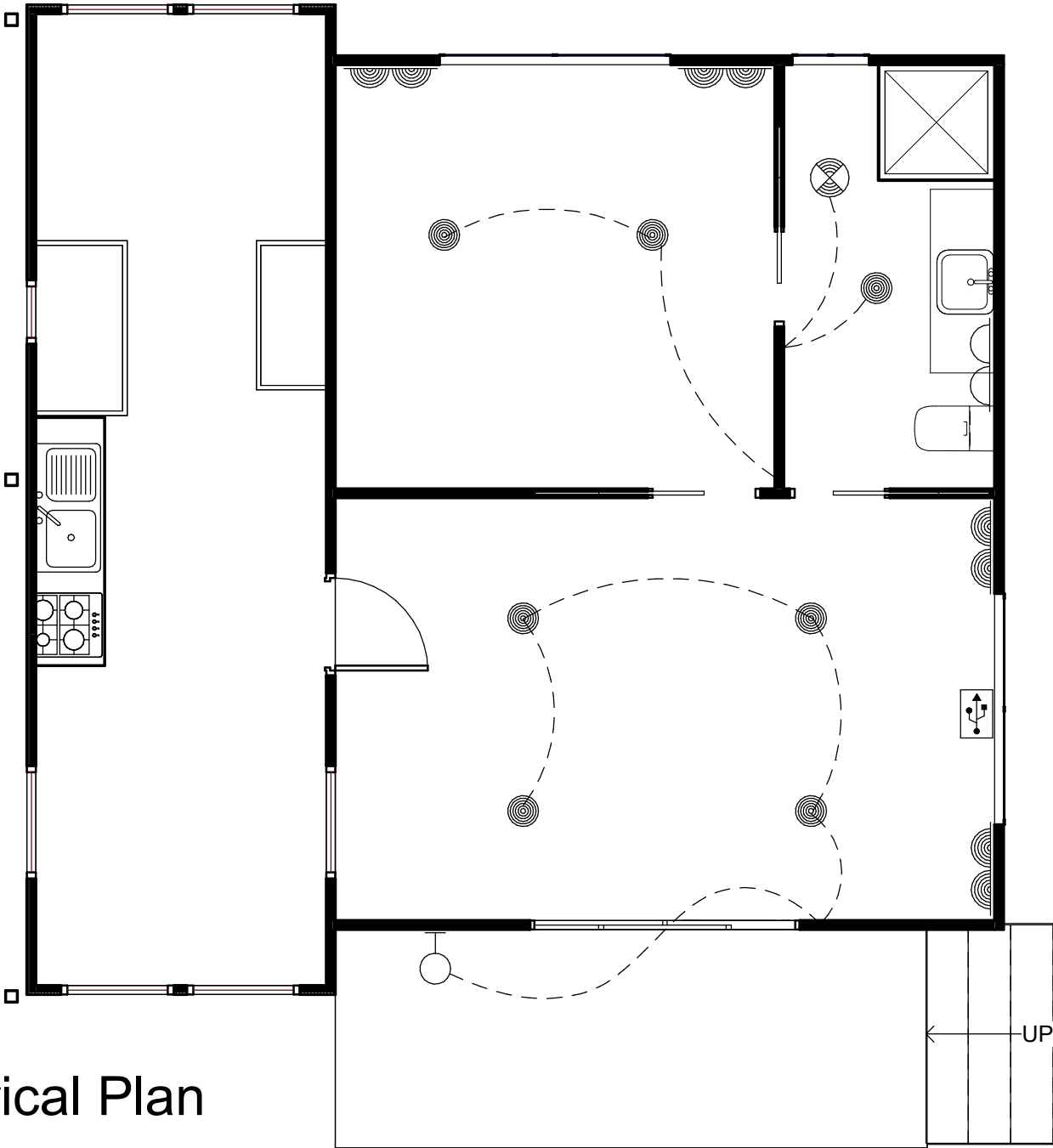
ALLDRAW
building design
Ph: 0421 745 095
E: info@alldraw.com.au

EXHAUST FAN
EXHAUST SYSTEM TO BATHROOM / SANITARY COMPARTMENT
MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT
TO OUTDOOR AIR ACCORDING TO NCC 10.8.2

SMOKE DETECTORS
MUST COMPLY WITH AS 3786
BE POWERED FROM THE CONSUMER MAINS SOURCE
BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
INSTALLED IN ACCORDANCE WITH NCC 9.5.1

THE LAMP POWER DENSITY OF ARTIFICIAL
LIGHTING DOES NOT EXCEED:
5W /m² OF FLOOR AREA
4W /m² OF DECK AREA

SMOKE DETECTORS
MUST COMPLY W ITH AS 3786
BE INTER-CONNECTED & INSTALLED
IN ACCORDANCE W ITH B.C.A PART 3.7.2



1 Proposed Electrical Plan
1 : 50

Electrical Notes:This Electrical plan is a representation of the required electrical layout. All best endeavours will be made to position electrical switches, fixtures, fittings and downlights in accordance with nominated heights and positions as shown on this electrical plan. However, due to requirements outlined within Electrical Legislation and associated Codes of Practice together with the positioning of Roof Trusses and Ceilings Battens a guarantee of exact placement in accordance with the plan cannot be a given.

It is the clients responsibility to ensure that any owner supplied electrical fittings can be installed in the nominated positions and heights as indicated on the plans. Any alterations required to be performed by the Electrician after wiring has been roughed in as a result of owner supplied items being not suitable for the positioning or height, shall be at the expense of the owner. In addition, the Licensed Electrician reserves the right to not install owner supplied electrical fittings, where the Electrician deems that it is either unfit for purpose or does not comply with relative Electrical Legislation or Codes of Practice.

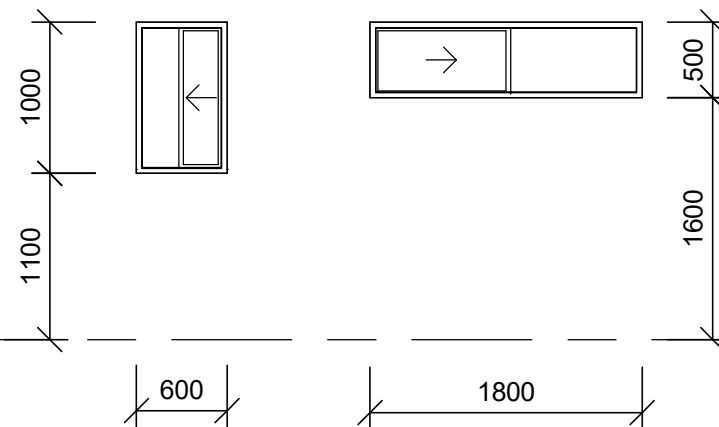
All External Lights are to be 1800mm off the internal floor height unless noted otherwise.
All external flood lights are to be mounted under the eaves or directly below the fascia if there are no eaves.
While all care is taken to align downlights and powerpoints as per plans, final placement is dependant on the limitations of the framework and roof trusses and or rafter locations.

Ducted Heating.
The final installed positions of the Heating and or Cooling Unit and the positioning of ductwork within the ceiling and floor areas shall be purely at the installers discretion so as to ensure the unit and ductwork are placed to provide the most efficient operating conditions of the selected unit as possible.
No Guarantees can be given as to alignment of duct outlets with light fittings or other fixed elements within the home.

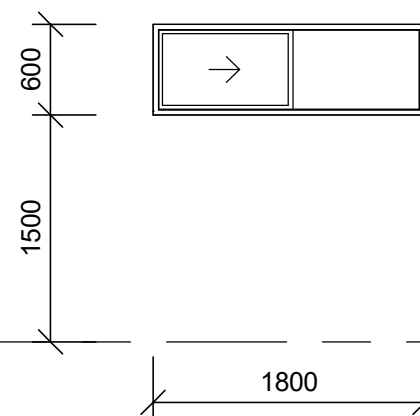
LEGEND:			
	MEDIA OUTLET		Smoke Detectors as per (AS3786) to be interconnected as per NCC3.7.2.2
	SINGLE P.P. 300mm above floor		WALL MOUNTED LIGHT 15 watt compact fluro
	DOUBLE P.P. 300mm above floor		FLUORESCENT TUBE 36 Watt single
	SINGLE P.P. 1100mm above floor		PARA FLOOD LIGHT 18 watt
	DOUBLE P.P. 1100mm above floor		EXHAUST FAN
	WATERPROOF SINGLE P.P.		CEILING FAN WITHOUT LIGHT
	WATERPROOF DOUBLE P.P.		CEILING FAN WITH LIGHT15 watt compact fluro
	TELEPHONE PLUG.		IXL TASTIC (Heat / Light / Fan)
	LIGHT 15 Watt Compact fluro		AIR-CONDITIONER
	DOWN LIGHT 11 Watt LED		
	FEATURE LIGHT 15 Watt		
	INFRARED HEATER		

Client:	Brian & Lin Viney		ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Electrical Layout	sheet : 10 of 14	 ALL DRAW building design Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 446 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215				status: CONCEPT	
					Date: 3/11/2025 11:08:46 PM	
					Drawn: James Krelttszheim Reg # 911670743	
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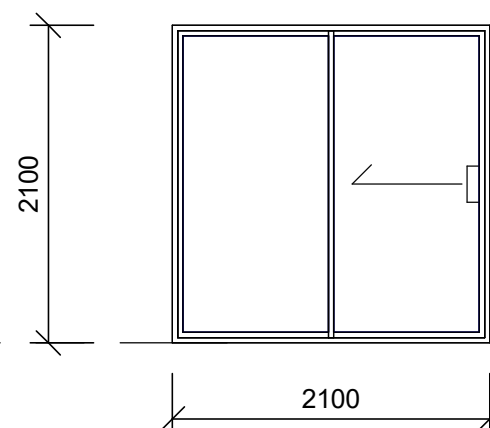
1 Glazing Elev A
1 : 50



2 Glazing Elev B
1 : 50



3 Glazing Elev C
1 : 50

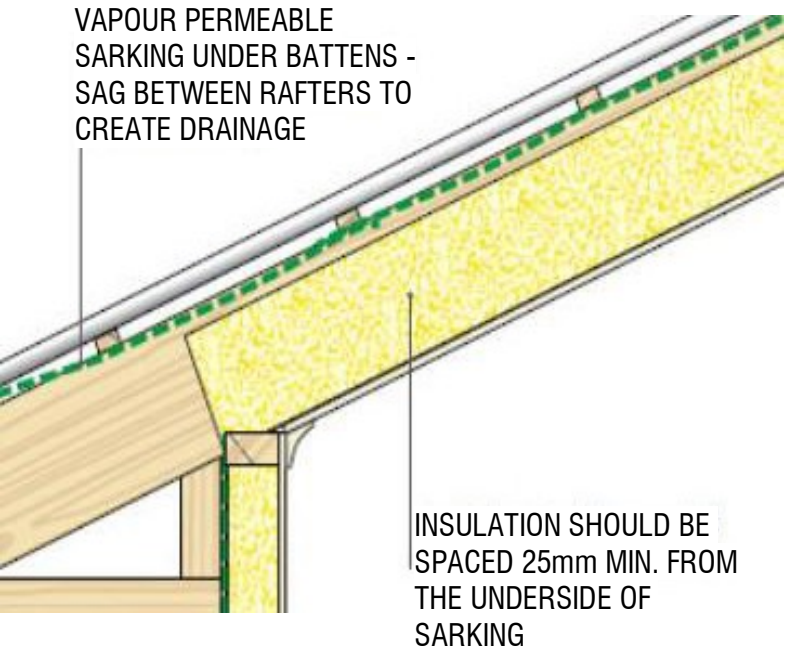


ALL WINDOWS TO BE DOUBLE GLAZED

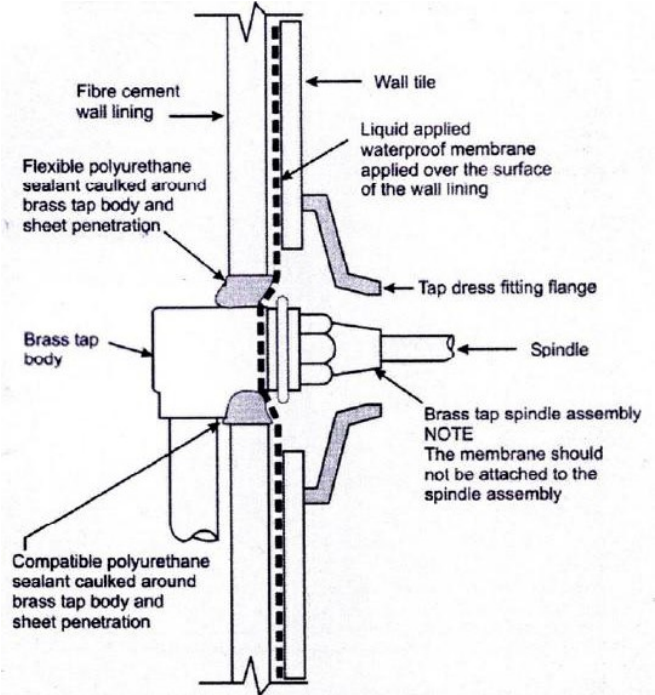
WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY
ACCORDING TO MANUFACTURER.

WINDOWS TO BE FLASHED ALL AROUND

Client:	Brian & Lin Viney		ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Glazing Schedule	sheet : 11 of 14	 ALLdraw building design Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 446 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215				status: CONCEPT	
					Date: 3/11/2025 11:08:47 PM	
					Drawn: James Kreltszheim Reg # 911670743	
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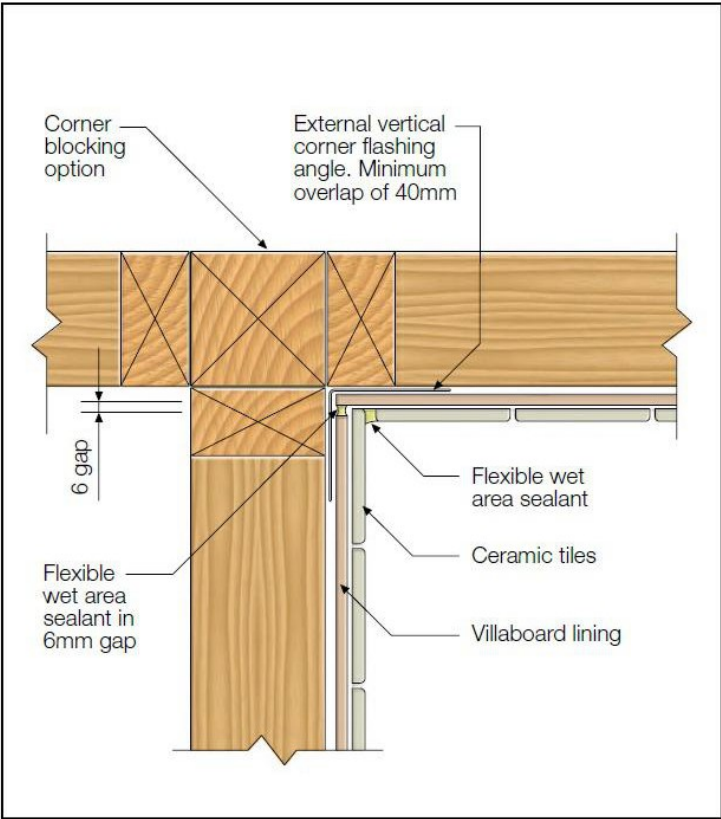


ROOF DETAIL

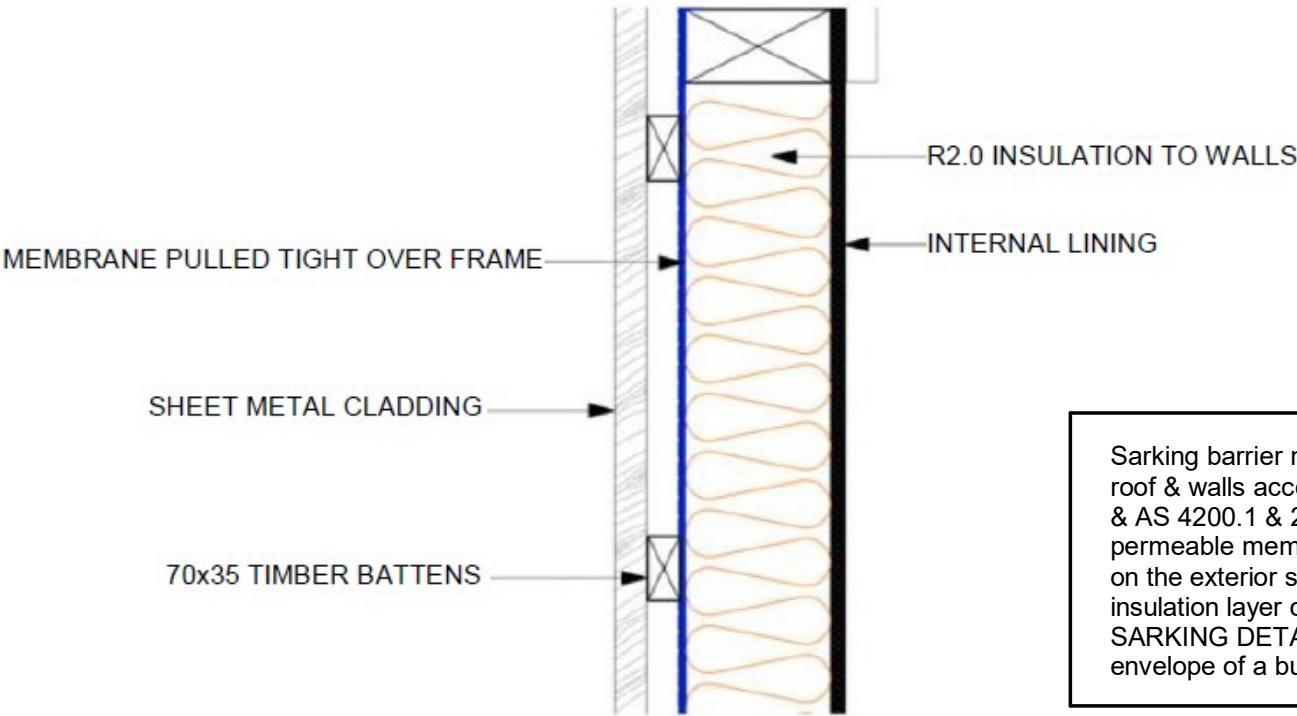


SPLASHBACK DETAIL

ALL WALL TILING TO WET AREAS ARE TO BE ON A BACKING OF WATERPROOF PLASTERBOARD OR FIBROUS CEMENT VILBOARD LINING
TILES TO BE 1800mm MIN. ABOVE SHOWER BASE
TILES TO BE 150mm MIN. ABOVE SINKS, BASINS, TROUGHS & BATHS



CORNER WALL FLASHING DETAIL



Sarking barrier membrane installed to roof & walls according to NCC 10.8.1 & AS 4200.1 & 2 and be a vapour permeable membrane located on the exterior side of the primary insulation layer of wall assemblies that SARKING DETAIL form the external envelope of a building.

WALL CLADDING DETAIL

Client:	Brian & Lin Viney				
Job address:	SITE # 446 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215		ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Details	sheet : 12 of 14 status: CONCEPT Date: 3/11/2025 11:08:47 PM Drawn: James Kreltszheim Reg # 911670743 Ref : 1686 ALLDRAW building design Ph: 0421 745 095 E: info@alldraw.com.au

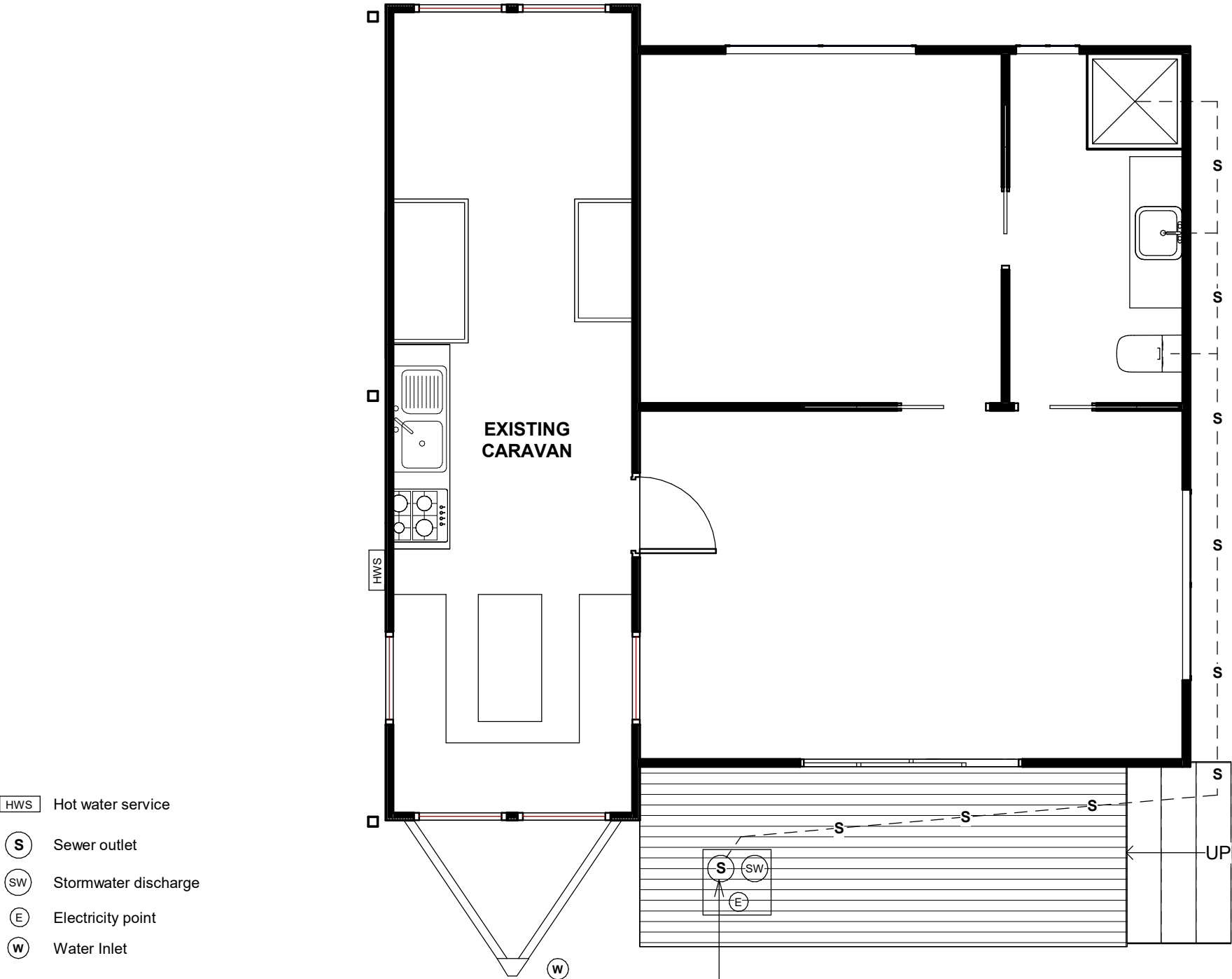
All drainage works are provisional only and subject to amendments to comply with local council requirements
all works to comply with NCC, AS3500 and all plumbing codes of Tasmania.

All plumbing to be carried out by licensed trade person only All connections to be approved by local council

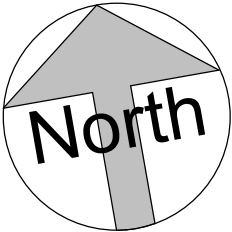
SEWER:
Sewer trunk line shall be DN100 dia. Class SH solvent weld uPVC at a minimum grade of 1 :60 in straight, even grades to terminate at town sewer connection

Min. Grades:
DN50 - 2.5%
DN100 - 1.65%

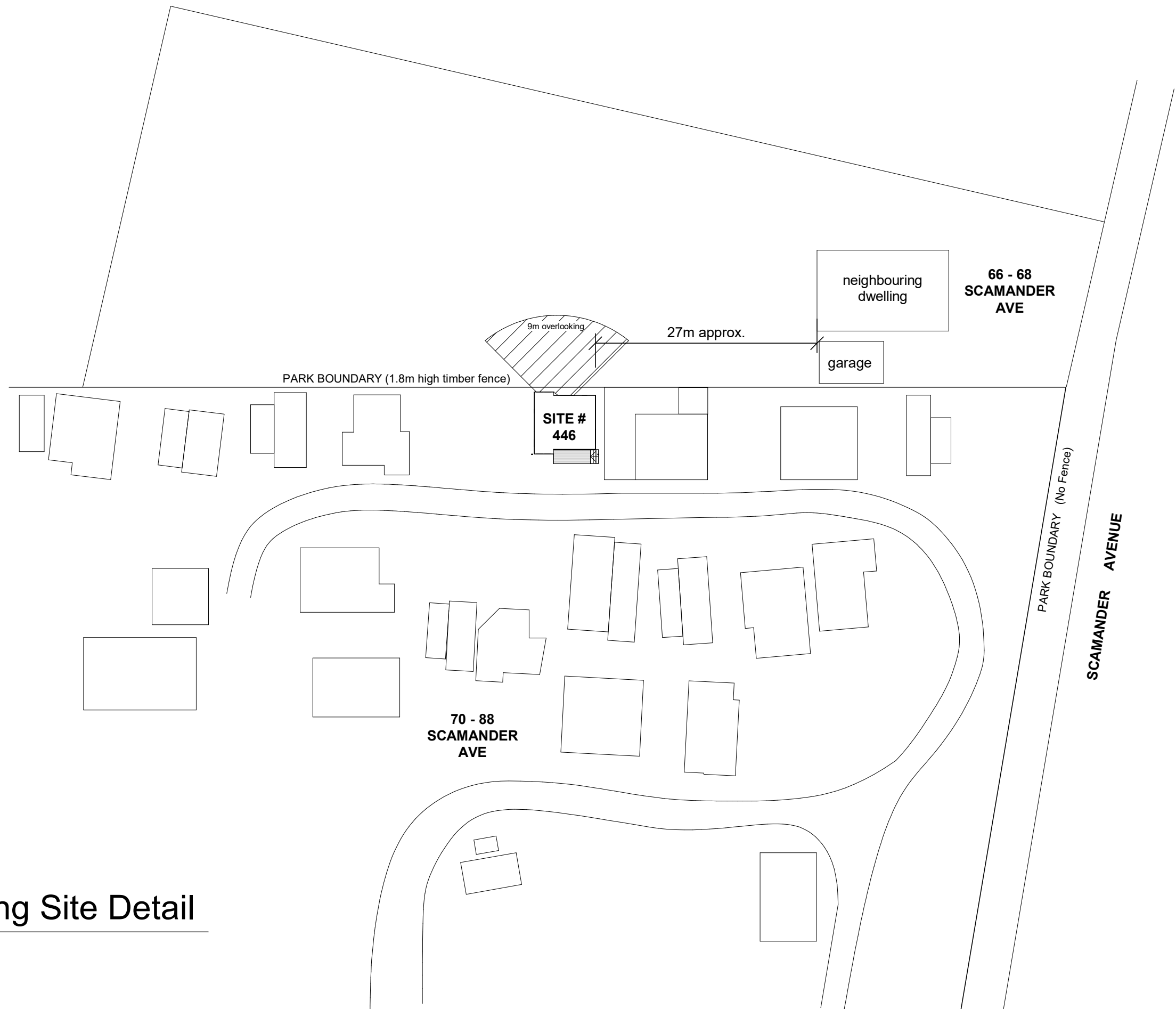
Maximum fixture unit loadings for graded discharge pipes:
DN50 - 8
DN100 - 165



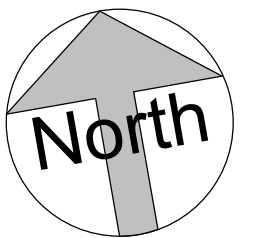
1 Drainage Plan
1 : 50



Client:	Brian & Lin Viney	ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Drainage Plan	sheet : 13 of 14	ALLDRAW building design Ph: 0421 745 095 E: info@alldraw.com.au
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1 Neighbouring Site Detail
1 : 500



Client:	Brian & Lin Viney	ALLdraw Building Design 24469 Tasman Hwy, St.Helens ph: 0421 745 095 e: james@alldraw.com.au	Neighbouring Site Detail	sheet : 14 of 14	ALLDRAW building design Ph: 0421 745 095 E: info@alldraw.com.au
Job address:	SITE # 446 SCAMANDER TOURIST PARK 70-88 Scamander Ave, Scamander TAS 7215			status: CONCEPT	
				Date: 3/11/2025 11:08:47 PM	
				Drawn: James Kreltszheim Reg # 911670743	
				Ref : 1686	

Planning Scheme Response

This response addresses **Performance Criteria P2** of **Clause 14.4.2 – Setbacks** under the Tasmanian Planning Scheme (Local Business Zone), as requested by Council in their letter dated 4 August 2025 regarding DA 2025/00114.

Development Details

Property Address	Site #446, 70-88 Scamander Avenue, Scamander	
Proposal	An annex addition to an on-site caravan	
Land Area	80m2 (approx.) site located in the Tourist Park	
Land Owner	KING LEISURE PARK PTY LTD	
PID / CT	7220663	243902/1
Planning Ordinance	Tasmanian Planning Scheme	
Land Zoning	General Residential, Local Business	

Clause 14.4.2 – Setbacks

Performance Criteria P2 – Setback from Land in a Residential Zone

Buildings must be sited to avoid unreasonable adverse impacts on the amenity of adjoining residential lots by:

- loss of privacy to their habitable rooms or private open space;
- overshadowing of habitable rooms or private open space; or
- visual bulk that is out of scale with dwellings on adjoining lots.

Proposal

The annex is proposed at approximately 1 m from the northern boundary adjoining 66–68 Scamander Avenue (General Residential Zone). Refer to *Page 14 – Neighbour Plan* for the layout of the subject and adjoining land.

Assessment Against P2

1. Privacy and Overlooking

- The annex is a single-storey, lightweight structure with no elevated decks or windows that would enable overlooking.
- The 1.8 m high timber paling fence on the common boundary provides effective screening between sites.
- The nearest neighbouring dwelling is approximately 27 m away, ensuring no direct view lines into habitable rooms or private open space.
- Conclusion: The proposal will not cause loss of privacy for the adjoining residence.

2. Overshadowing

- At a single-storey height any shadowing will be confined to a narrow strip along the boundary and will not reach the neighbouring dwelling or private open space.
- The adjoining parcel is a large, mostly open block with the dwelling sited closer to Scamander Avenue, well separated from the proposed development.
- Conclusion: The proposal will not result in any overshadowing or loss of solar access for adjoining residents.

3. Visual Bulk and Scale

- The annex is modest in size and visually consistent with other on-site caravans and annexes within the tourist park, many of which are located near the same boundary.
- Its lightweight construction and low height mean it does not present a dominating or intrusive form.
- The large area of open land and significant separation (~27 m) to the neighbour's dwelling ensure the annex will not appear visually bulky or out of scale.
- Conclusion: The annex does not create visual bulk inconsistent with the surrounding development pattern.

Conclusion

Although the annex is set back 1 m from the northern boundary (less than the 4 m acceptable solution), it satisfies the Performance Criteria P2 of Clause 14.4.2 because it:

- avoids overlooking and privacy loss due to existing fencing and generous dwelling separation;
- avoids overshadowing of habitable rooms or private open space; and
- does not present visual bulk that would detract from residential amenity, being modest in form and consistent with other structures within the park.

On this basis, we assert that the proposal achieves the objective of Clause 14.4.2 and should be supported.

22 Sept 2025

Break O'Day Council
PO Box 21
St Helens TAS 7216

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The owners of the caravan on site # 446 of the Scamander Tourist Park (Brian & Lin Viney) rent the site ongoing from the owner/operators (King Leisure Park). They wish to construct an annex & porch/deck to the caravan to increase the living and storage space. The caravan & annex is intended to be holiday accommodation for the Viney family a few times a year. This will make their family holiday stays more comfortable & liveable as they utilise the caravan for short to medium term stays only.

Yours sincerely,



James Kreltszheim | **Building Designer**

(On behalf of Brian & Lin Viney)