

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00132
Applicant	Jon Pugh Home Design
Proposal	Residential - Change of Use Office to Residential (Multiple Dwelling)
Location	2/1 Bowen Street, St Helens (CT57541/2)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th July, 2026 **until 5pm Friday 7th August, 2026.**

John Brown
GENERAL MANAGER

BUILDING DESIGNER:	JONATHAN PUGH
ACCREDITATION NO.:	CC 6894
TITLE REFERENCE:	C.T. 57541/1 UNIT 1/1 & C.T. 57541/2 UNIT 2/1
DESIGN WIND SPEED:	N/A
SOIL CLASSIFICATION:	N/A
CLIMATE ZONE:	7
BUSHFIRE PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	MODERATE - 340m to INLAND WATERS
FLOODING RISK:	UNKNOWN
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
DATUM LEVEL AT KERB:	UNKNOWN
GROUND LEVEL:	MIN 150mm BELOW F.L.
FINISHED FLOOR LEVEL:	AS PER PLANS / OR 150mm ABOVE G.L.
OVERFLOW RELIEF GULLY LEVEL:	MIN 150mm BELOW F.L.

Development & Building Application

June 2026

Existing Office, Existing Dwelling and Proposed Dwelling Change of Use of Existing Office to Class 1a Dwelling for Ben Richards

Unit 2/1 Bowen Street,
St Helens, TAS 7216

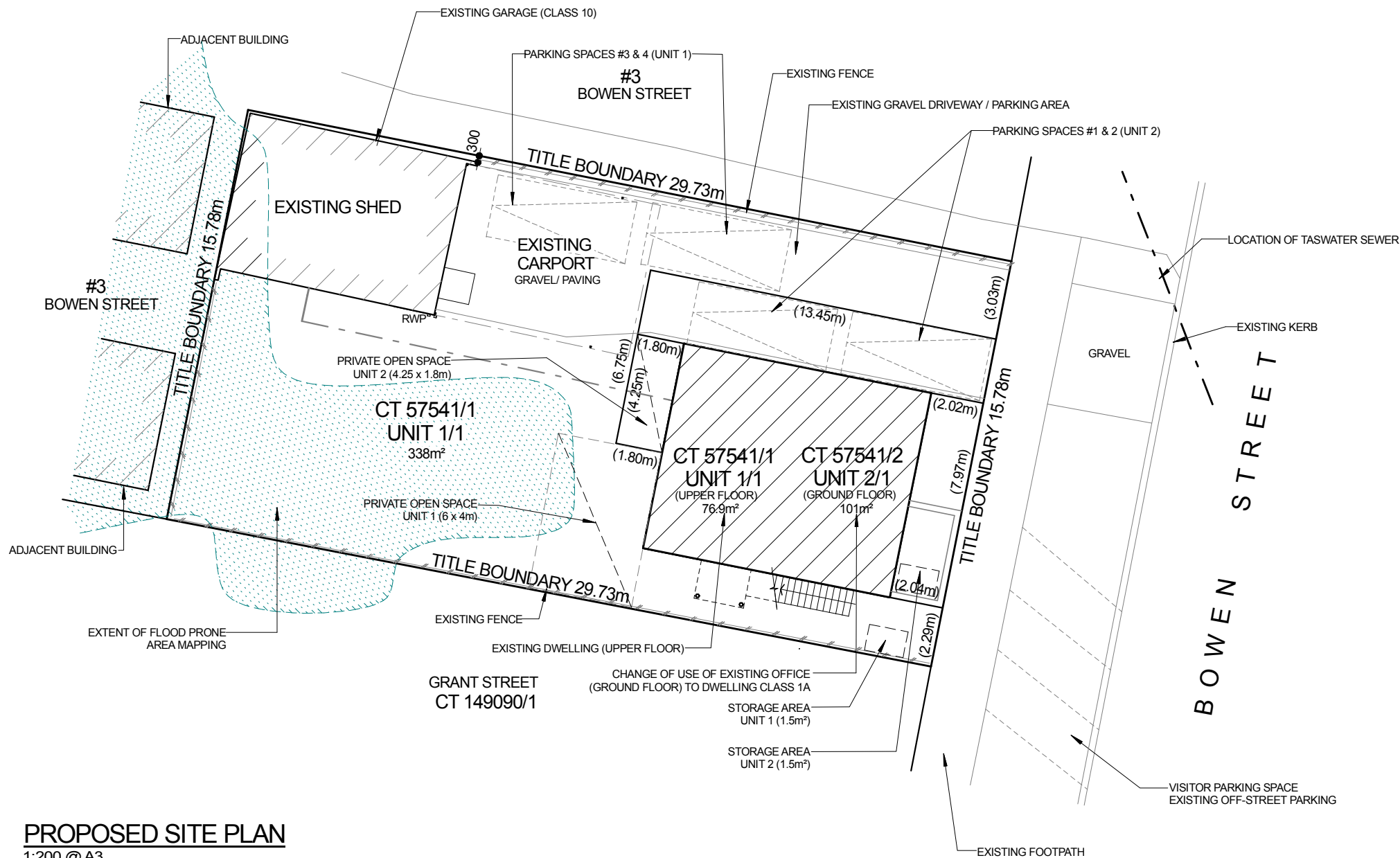
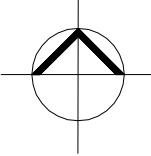
Building Areas	
Proposed Dwelling	76.60m²

Drawing Schedule	
Drg No.	Drawing Name
A01	Proposed Site Plan
A02	Existing Office - Floor Plan & Elevations - Unit 2
A03	Proposed Floor Plan - Unit 2
A04	Proposed Elevations - Unit 2
A05	Waterproofing Details - Unit 2

SOIL AND WATER MANAGEMENT

- DOWNPIPES TO BE CONNECTED TO WATER TANKS SOON AS ROOF IS INSTALLED
- INSTALL AG DRAIN PRIOR TO FOOTING EXCAVATION SEE DRAINAGE PLAN FOR LOCATION (IF SHOWN)
- EXCAVATED MATERIAL PLACED UP-SLOPE OF OF AG DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE OF MATERIAL
- CONSTRUCTION VEHICLES TO BE PARKED ON THE THE DRIVEWAY ONCE PAVED TO PREVENT TRANSFERRING DEBRIC ONTO THE ROAD

NORTH



PROPOSED SITE PLAN
1:200 @ A3

All Dimensions and Site levels to be Verified on Site By Owner & or Contractor(s) Prior to Setting out and Commencement of Any Construction Works

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residential building design + documentation

jon pugh home design : accr/no. CC6894
jackp1@iprimus.com.au : 0459 586 013
PO BOX 397 ST HELENS TAS 7216

client:

Ben Richards

project:

Existing Office, Existing Dwelling
and Proposed Change of Use of
Existing Office to Class 1a
Dwelling

at:

Unit 2 / 1 Bowen Street,
St Helens, TAS 7216

drawing title:

Proposed Site Plan

REV.	DESCRIPTION	DATE
job. no.	revision	
385	-	
sheet no.	date	
A01	14/07/26	

AREAS:
FLOOR : 76.60m²



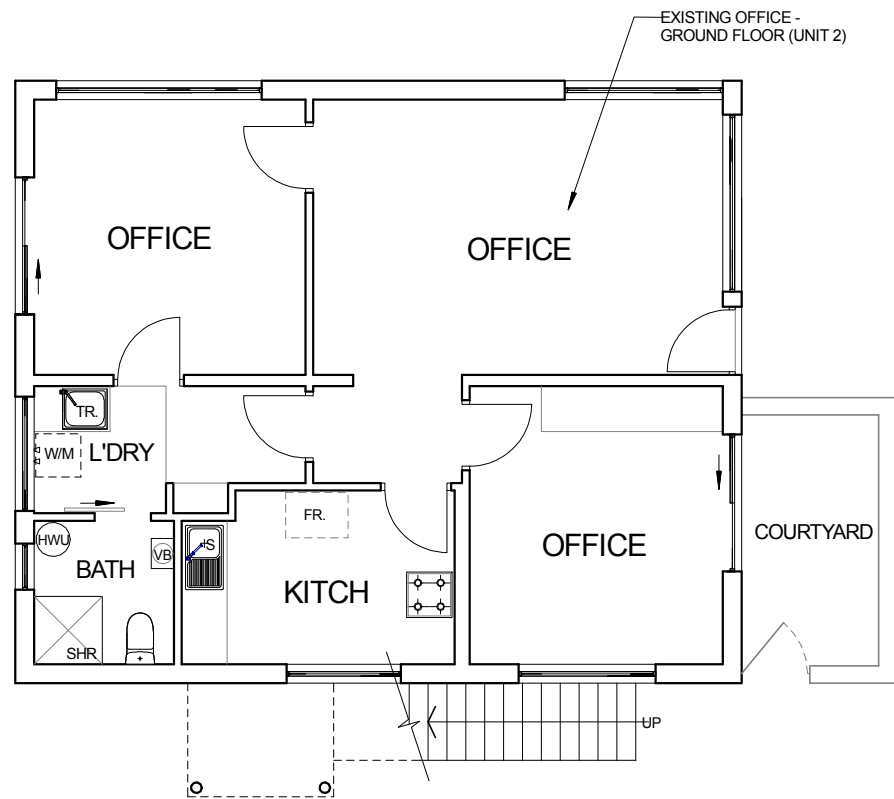
ELEVATION 1
1:100 @ A3



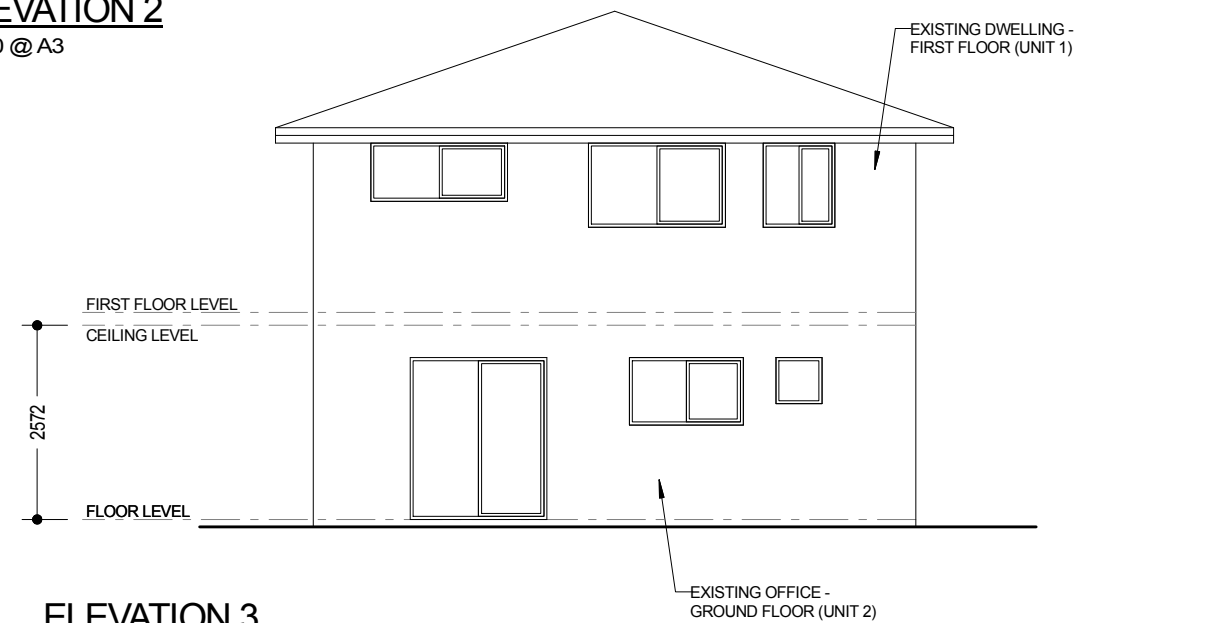
ELEVATION 2
1:100 @ A3



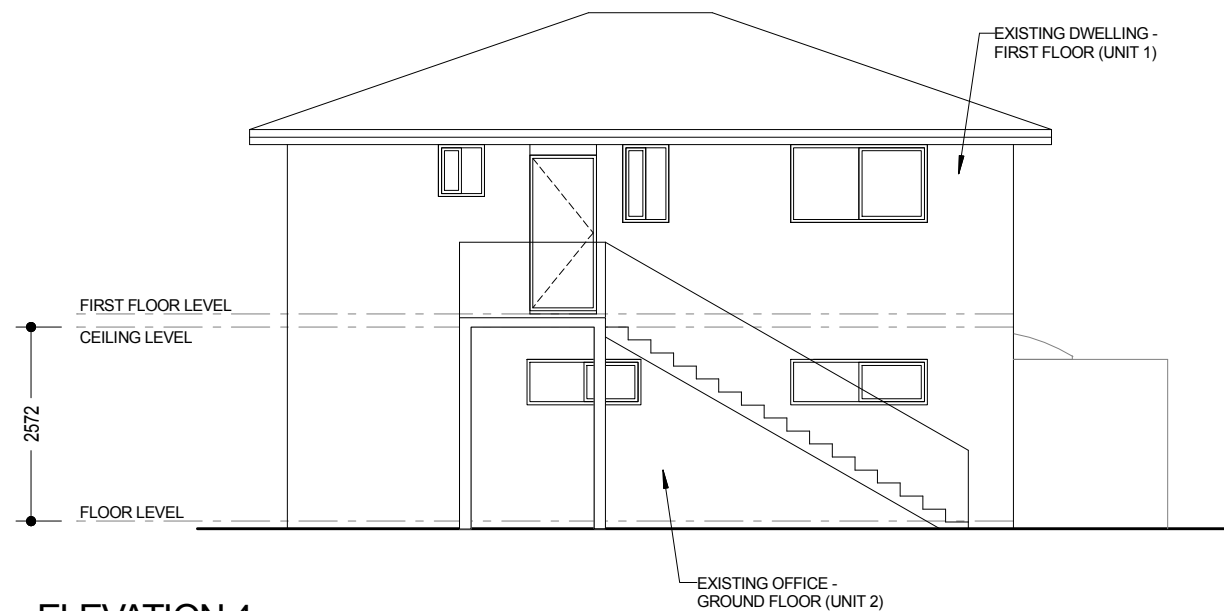
3 2



EXISTING FLOOR PLAN - UNIT 2
1:100 @ A3



ELEVATION 3
1:100 @ A3



ELEVATION 4
1:100 @ A3

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Existing Office to Class 1a
Dwelling

at:

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St Helens, TAS 7216

drawing title:

Existing Office - Unit 2
Floor Plan & Elevations

REV.	DESCRIPTION	DATE
job. no.	revision	
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sheet no.	date	
A02	14/07/26	

ELECTRICIAN NOTE:

- SMOKE ALARMS TO BE HARD WIRED AND INTERCONNECTED TO AS 3786 AND NCC VOL 2 PART 9.5.

S/A



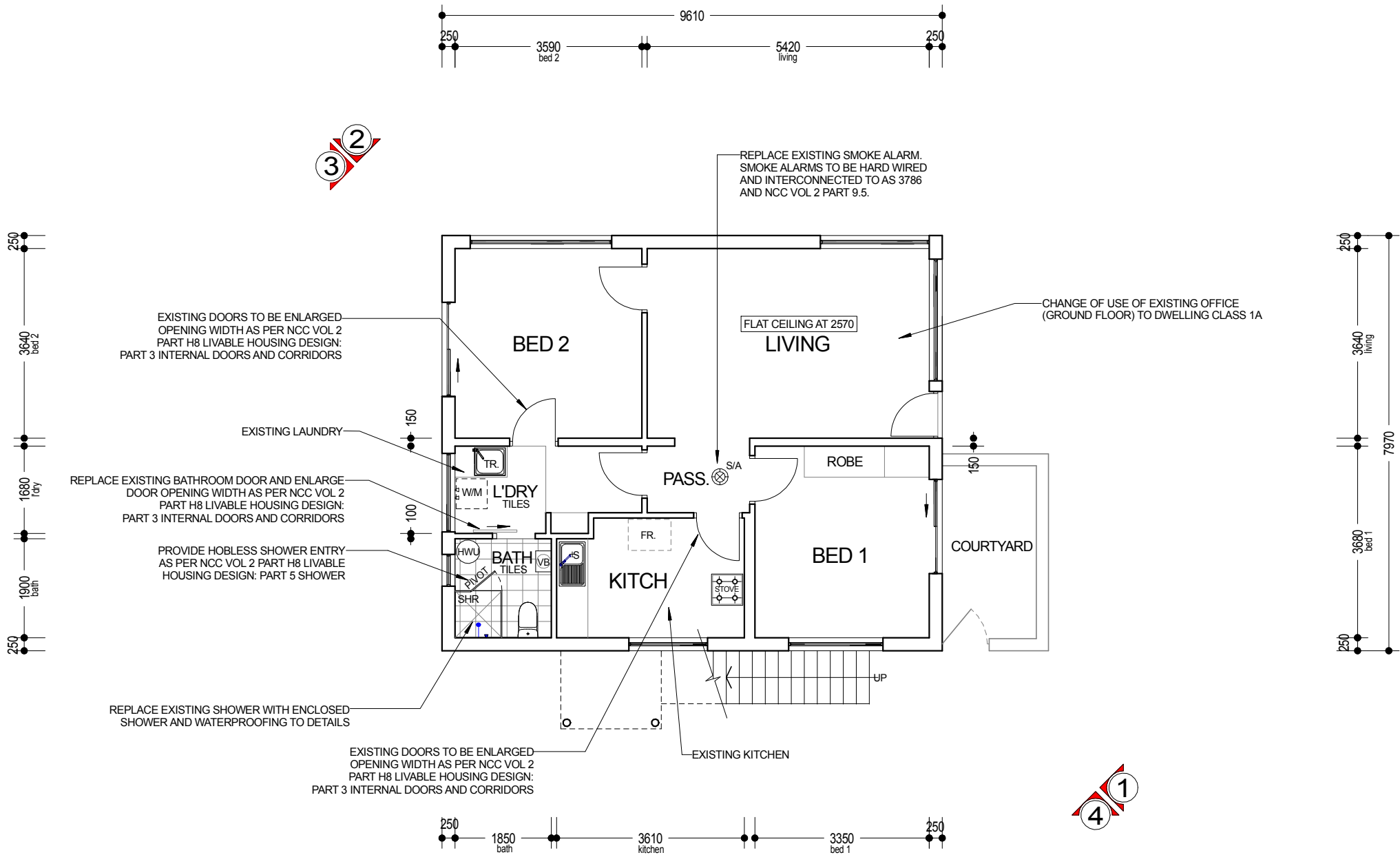
SMOKE ALARM

LEGEND

EXISTING WALL

AREAS:

FLOOR : 76.60m²



PROPOSED FLOOR PLAN - UNIT 2
1:100 @ A3

PLUMBER NOTE:

- ALL PLUMBING TO COMPLY WITH AS/NZS 3500 AND SUBSEQUENT REVISIONS APPLICABLE

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Dwelling

at:

Unit 2 / 1 Bowen Street,
St Helens, TAS 7216

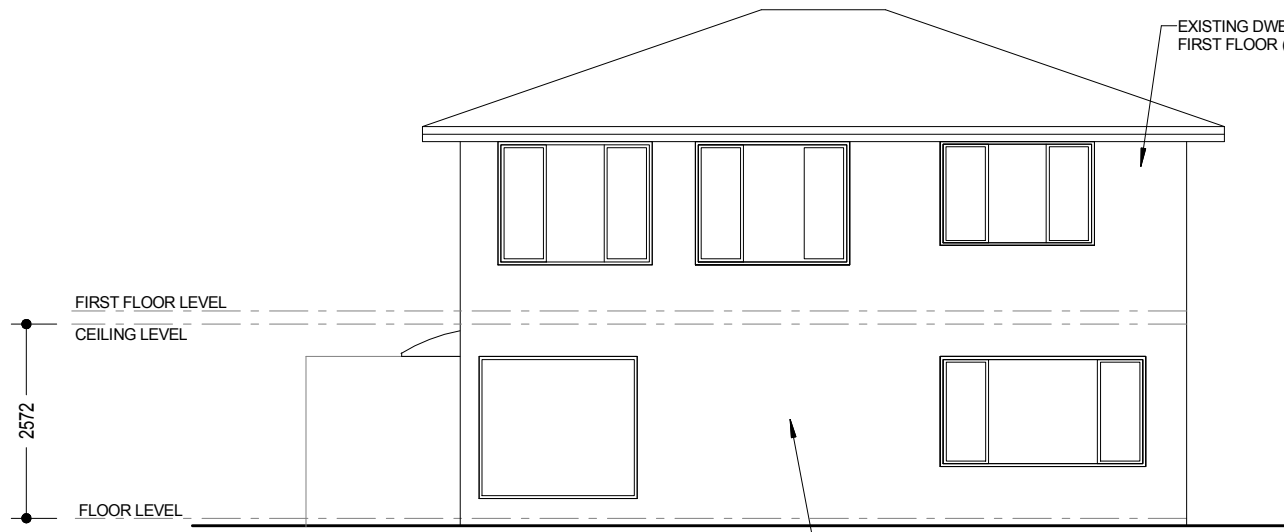
drawing title:

Proposed Floor Plan - Unit 2

REV.	DESCRIPTION	DATE
job. no.	revision	
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sheet no.	date	
A03	14/07/26	



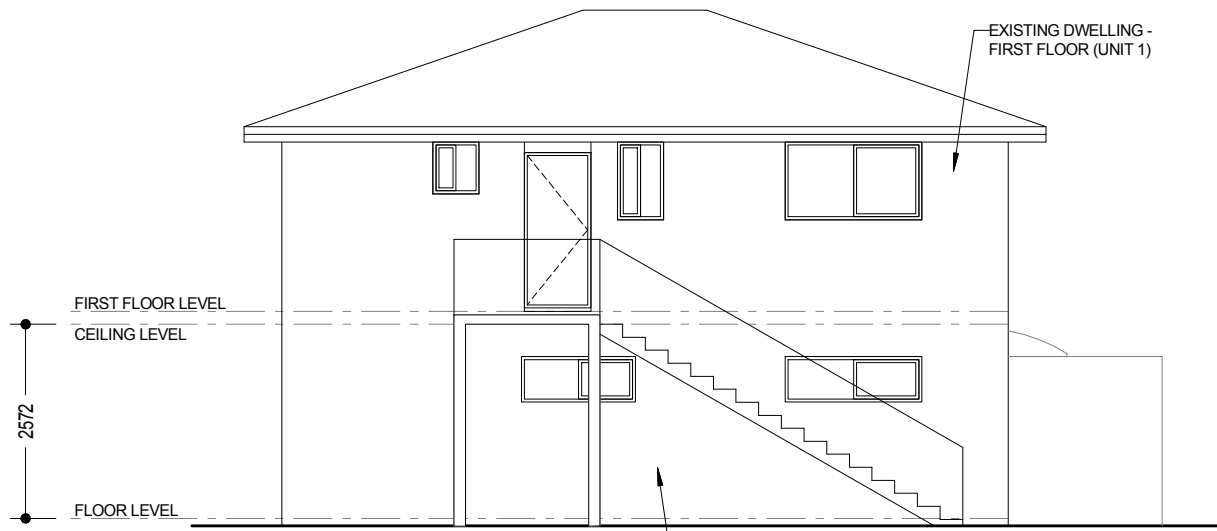
ELEVATION 1
1:100 @ A3



ELEVATION 2
1:100 @ A3



ELEVATION 3
1:100 @ A3



ELEVATION 4
1:100 @ A3

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Existing Office to Class 1a
Dwelling

at:

Unit 2 / 1 Bowen Street,
St Helens, TAS 7216

drawing title:

Proposed Elevations - Unit 2

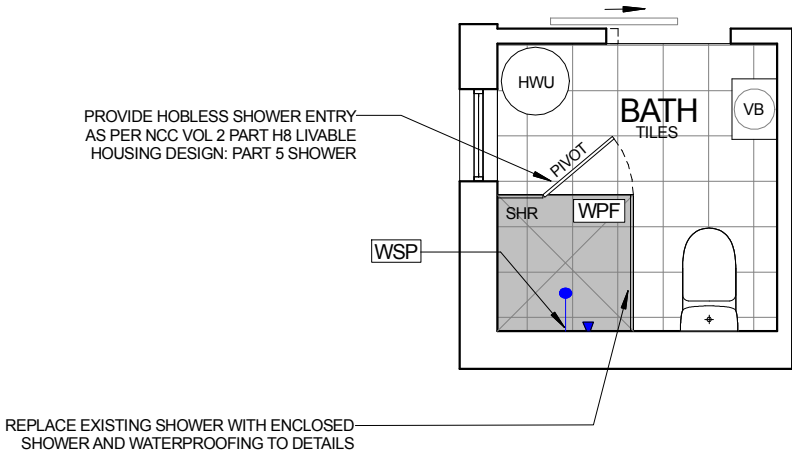
REV.	DESCRIPTION	DATE
job. no.	revision	
385	-	
sheet no.	date	
A04	14/07/26	

'WATERPROOF' MEANS THE PROPERTY OF A MATERIAL THAT DOES NOT ALLOW MOISTURE TO PENETRATE THROUGH IT

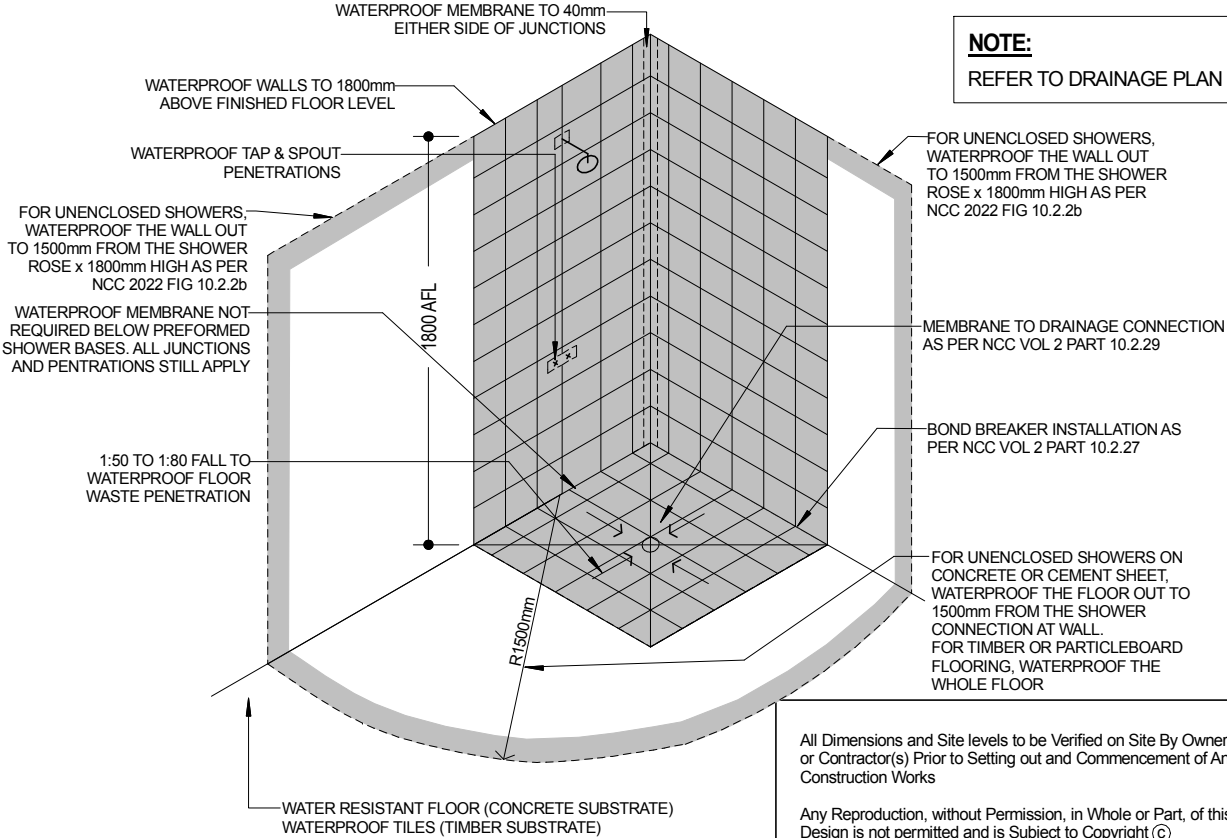
'WATER RESISTANT' MEANS THE PROPERTY OF A SYSTEM OR MATERIAL THAT RESTRICTS MOISTURE MOVEMENT AND WILL NOT DEGRADE UNDER CONDITIONS OF MOISTURE

WATERPROOFING LEGEND/ NOTES

- WRF
- WATER RESISTANT FLOOR
- WPF
- WATERPROOF FLOOR
- TSB
- TILED SPLASH BACK (150mm H CERAMIC)
- WSP
- WATERPROOF SPOUT PENETRATION
- PSB
- PREFORMED SHOWER BASE
- VILLABOARD LINING TO ALL WET AREA WALLS



BATHROOM LAYOUT
1:50 @ A3



SHOWER WATERPROOFING
NTS

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Dwelling

at:

Unit 2 / 1 Bowen Street,
St Helens, TAS 7216

drawing title:

Waterproofing Details - Unit 2

WET AREA REQUIREMENTS FOR BUILDING ELEMENTS TO COMPLY WITH NCC VOL 2 PART 10.2 and AS 3740

VESSELS OR AREA	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTION AND JOINTS	WALL/FLOOR JUNCTIONS	PENETRATIONS	VESSELS OR AREA	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTION AND JOINTS	WALL/ FLOOR JUNCTIONS	PENETRATIONS
SHOWER AREA (ENCLOSED AND UNENCLOSED)						INSERTED BATHS AND SPA'S	(a) WATERPROOF SHELF AREA INCORPORATING WATERSTOP UNDER THE BATH LIP MEMBRANE M02	(a) WATERPROOF TO NOT <150mm ABOVE LIP OF BATH OR SPA	(a) WATERPROOF JUNCTIONS WITHIN 150mm ABOVE BATH OR SPA	N/A	WATERPROOF FLOOR PENETRATIONS IN SHOWER AREA WITH MEMBRANE M01
WITH HOB	WATERPROOF FLOOR IN SHOWER AREA (INCLUDING ANY HOB OR STEPDOWN) MEMBRANE M01	WATERPROOF ALL WALLS (MEMBRANE M01) IN SHOWER AREA TO A HEIGHT OF MIN. 1800 AFL	WATERPROOOF WALL JUNCTIONS WITHIN SHOWER AREA MEMBRANE M01	WATERPROOOF WALL + FLOOR JUNCTIONS WITHIN SHOWER AREA MEMBRANE M01	WATERPROOF FLOOR PENETRATIONS IN SHOWER AREA WITH MEMBRANE M01		(b) NO REQUIREMENT UNDER BATH	(b) NO REQUIREMENT UNDER BATH	(b) NO REQUIREMENT UNDER BATH		
WITH STEP DOWN					WALLS ADJOINING OTHER VESSEL (e.g. SINK, BASIN OR LAUNDRY TUB)		N/A	WATER-RESISTANT TO A HEIGHT OF NOT <150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75MM OF A WALL	WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL	N/A	WATERPROOF TAP + SPOUT PENETRATIONS WITHIN SPLASHBACK AND ON HORIZONTAL SURFACES WITH 'WATERBAR' TAP PENETRATION FLANGE AND SILICONE
WITHOUT HOB OR STEPDOWN					LAUNDRIES & WC's		WATER RESISTANT FLOOR TO THE ROOM	N/A	N/A	WATER RESISTANT WALL + FLOOR JUNCTIONS	
WITH PREFORMED SHOWER BASE	N/A	WATERPROOF ALL WALLS (MEMBRANE M01) IN SHOWER AREA TO A HEIGHT OF MIN. 1800 AFL	WATERPROOOF WALL JUNCTIONS WITHIN SHOWER AREA MEMBRANE M01	WATERPROOOF WALL + FLOOR JUNCTIONS WITHIN SHOWER AREA MEMBRANE M01	BATHROOMS AND LAUNDRIES REQUIRED TO PROVIDE A FLOOR WASTE		WATERPROOF FLOOR OF THE ROOM - MEMBRANE M02	N/A	N/A	WATERPROOF WALL + FLOOR JUNCTIONS MEMBRANE M02	
AREA OUTSIDE SHOWER AREA											
FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING	WATER-RESISTANT FLOOR TO THE ROOM	N/A	N/A	WATERPROOF WALL + FLOOR JUNCTIONS MEMBRANE M02	N/A	NOTES 1 WHERE SHOWER IS ABOVE BATH OR SPA, USE REQUIREMENTS FOR SHOWER 2 FOR UNENCLOSED SHOWERS: • FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING - WATERPROOF FLOOR WITHIN 1500mm OF SHOWER CONNECTION AT WALL • FOR TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS - WATERPROOF ENTIRE FLOOR 3 WHERE FLOOR DRAIN IS INSTALLED, PROVIDE 1:100 FALL TO DRAIN WITHIN GENERAL BATHROOM AREA 4 WHERE A PENETRATION PASSES THROUGH WATERPROOF OR WATER RESISTANT CONSTRUCTION, THE PENETRATION MUST BE MADE WATERPROOF 5 WATERPROOFING MEMBRANE TO WALL + FLOOR JUNCTIONS TO BE MIN. 40MM EACH SIDE OF JUNCTION 6 MEMBRANE M01: DUNLOP SHOWER WATERPROOFING KIT (OR EQUIVALENT) COMPLETE WITH REINFORCING MAT, PRIMER, NEUTRAL CURE SILICONE + MEMBRANE TO MANUFACTURER'S SPECIFICATIONS MEMBRANE M02: DUNLOP WATER BASED POLYURETHANE MEMBRANE OR EQUIVALENT APPLIED TO CONSISTENT THICKNESS BY BRUSH OR ROLLER TO MANUFACTURER'S SPECIFICATIONS 7 GLASS SHOWER SCREENS TO COMPLY WITH NCC VOL 2 TABLE 8.4.6 & AS 1288.					
FOR TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS	WATERPROOF FLOOR OF THE ROOM MEMBRANE M02										
AREA ADJACENT TO BATHS AND SPA'S (SEE NOTE 1)											
FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING	WATER-RESISTANT FLOOR TO THE ROOM	(a) WATERRESISTANT TO A HEIGHT OF NOT <150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL	WATERPROOF TO NOT <150mm ABOVE LIP OF BATH OR SPA	WATERPROOF WALL + FLOOR JUNCTIONS 25mm ABOVE FINISHED FLOOR LEVEL FOR THE EXTENT OF THE VESSEL	WATERPROOF TAP + SPOUT PENETRATIONS WITHIN SPLASHBACK AND ON HORIZONTAL SURFACES WITH 'WATERBAR' TAP PENETRATION FLANGE AND SILICONE						
FOR TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS	WATERPROOF FLOOR OF THE ROOM MEMBRANE M02	(b) WATER RESISTANT ALL EXPOSED SURFACES BELOW VESSEL LIP									

REV.	DESCRIPTION	DATE
job. no.	revision	
385	-	
sheet no.	date	
A05	16/06/26	

DEVELOPMENT APPLICATION

COMPLIANCE REPORT

July 2026

OWNER'S DETAILS

16B Karinha Drive,
Baynton
WA 6714

PROJECT DETAILS

Existing Office, Existing Dwelling and Proposed Dwelling – Change of Use of Existing Office to Class 1a Dwelling at:
Unit 2/ 1 Bowen Street
St Helens
TAS 7216

PREPARED BY

Jon Pugh Home Design
0459 586 013

DEVELOPMENT SITE DETAILS

The property currently has an existing two storey building and a garage/ carport on it. The upper floor is Unit 1 and has residential use and includes part of the rear of the property including the garage/ carport. The lower floor of the two storey building is Unit 2 and has office use.

The property is almost level and has a very gentle slope running towards the western boundary.

PROPOSED DEVELOPMENT

It is proposed to change the use of existing Office of Unit 2 to Class 1a dwelling.

Existing building structure and no new stormwater run-off will be generated as part this proposal.

The proposed development relies on Acceptable solutions and Performance Solutions from the Tasmanian Planning Scheme to satisfy planning standards.

DEVELOPMENT DETAILS

The proposed development is:

Unit 2 - Proposed Dwelling: 76.60m²

PLANNING CODE

The proposed development is in the 'Residential' use category in the GENERAL RESIDENTIAL ZONE and is a 'Permitted' use.

The following standards from the Tasmanian Planning Scheme are to be considered:

- **ZONE 8.0 General Residential Zone**
- **CODE C2.0 Parking and Sustainable Transport Code**
- **BRE-S2.0 Stormwater Management Specific Area Plan**

Code 12.0 Flood-Prone Areas Hazard Code has not been addressed as the area shown to be flood prone is on the property for Unit 1 only.

ZONE 8.0 General Residential Zone

8.3 Use Standards

8.3.1 Discretionary Uses

A1 Not applicable
The proposed is a development for permitted use.

- A2 Not applicable
The proposed is a development not for discretionary use.
- A3 Not applicable
The proposed is a development for permitted use.
- A4 Not applicable
The proposed is a development for permitted use.

8.3.2 Visitor Accommodation

- A1 Not applicable
The proposed development does not include visitor accommodation use.
- A2 Not applicable
The proposed development does not include visitor accommodation use.

8.4 Development Standards for Dwellings

8.4.1 Residential Density for Multiple Dwellings

P1 Performance Solution

- (a) The proposed development is compatible with the density of existing development on established properties in the area. Previously office and dwelling approvals have been approved on this property, as per DA026 – 1997, with a higher density than what is proposed.
- (b) The proposed development provides a social and community benefit. Rental housing is in very short supply within the locality.
- (i) The proposed development is within 400m walking distance of public transport and;
- (ii) The proposed development is within 400m walking distance of the central business zone.

8.4.2 Setbacks and Building Envelope for all Dwellings

- A1 Not applicable
The proposed development sits within an existing approved building structure.
- A2 Not applicable
The proposed development sits within an existing approved building structure.

- A3 Not applicable
The proposed development sits within the existing building structure and there will be no change to height or setbacks.

8.4.3 Site Coverage and Private Open Space for all Dwellings

P1 Performance Solution

- (a) The proposed development sits within an existing approved building structure. The site coverage is 76%. The site coverage is consistent with other established properties in the area.
- (b) Private open space is located on the western side of the proposed dwelling and on the eastern side within the front setback. The proposed dwelling is a small two bedroom dwelling with less requirement.
 - (i) There is a common space for gardening, children's play and entertaining to the rear of the property.
 - (ii) Adequate space exists for clothes drying.
- (c) There is reasonable space for planting. There is a common space for gardening, children's play and entertaining to the rear of the property.

P2 Performance Solution

- (a) The proposed multiple dwelling has a private open space directly off the existing bedroom. This space takes in the north western aspect and will enjoy afternoon sunlight. There is a common space for gardening, children's play and entertaining to the rear of the property.
- (b) Private open space is located on the western side of the proposed multiple dwelling and on the eastern side within the front setback.

8.4.4 Sunlight to private Open Space of Multiple Dwellings

- A1 Not applicable
The proposed development is below the multiple dwelling which is on the floor above.

8.4.5 Width of Openings for Garages and Carports for all Dwellings

- A1 Not applicable
The proposal does not include for a Garage or Carport.

8.4.6 Privacy for all Dwellings

- A1 Acceptable solution
The proposed development does not have a floor level greater than 1m above natural ground level.

- A2 Acceptable solution
The proposed development does not have a floor level greater than 1m above natural ground level.
- A3 Not Applicable
The proposed parking is separated by a distance over 2.5m from the dwelling.

8.4.7 Frontage Fences for all Dwellings

- A1 Not applicable
No new fences are proposed in this application.

8.4.8 Waste Storage for Multiple Dwellings

- P1 Performance Solution**
(a) The storage area proposed is located in the front setback but is screened by a 1.8m high brick wall from the frontage. The area is solely for the use of the proposed multiple dwelling/ Unit 2.

8.5 Development Standards for non-Dwellings

8.5.1 Non-Dwelling Development

- A1 Not applicable
The proposed development is not for non-dwellings.
- A2 Not applicable
The proposed development is not for non-dwellings.
- A3 Not applicable
The proposed development is not for non-dwellings.
- A4 Not applicable
The proposed development is not for non-dwellings.
- A5 Not applicable
The proposed development is not for non-dwellings.
- A6 Not applicable
The proposed development is not for non-dwellings.

8.5.2 Non-Residential Garages and Carports

A1 Not applicable
The proposed development is not for non-dwellings.

A2 Not applicable
The proposed development is not for non-dwellings.

8.6 Development Standards for Subdivision

8.6.1 Lot Design

A1 Not applicable
The proposed development is not for a subdivision.

A2 Not applicable
The proposed development is not for a subdivision.

A3 Not applicable
The proposed development is not for a subdivision.

A4 Not applicable
The proposed development is not for a subdivision.

8.6.2 Roads

A1 Not applicable
The proposed development is not for a subdivision.

8.6.3 Services

A1 Not applicable
The proposed development is not for a subdivision.

A2 Not applicable
The proposed development is not for a subdivision.

A3 Not applicable
The proposed development is not for a subdivision.

CODE C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car Parking Numbers

P1.1 Performance Solution

Four car parking spaces are provided as per Table C2.1. Two Parking spaces for the existing dwelling Unit 1 and two parking spaces for the proposed dwelling - Unit 2. A visitor parking space has not been provided. There are a number of off-street parking spaces located outside the front of the property on Bowen Street and a greater number located within a short walk of the property.

P1.2 Performance Solution

Four car parking spaces are provided as per Table C2.1. Two Parking spaces for the existing dwelling Unit 1 and two parking spaces for the proposed dwelling - Unit 2. Both of these multiple dwellings have only two bedrooms and are only small dwellings. Also the greater availability of off-street parking in the locality means that the intensity of parking is less than elsewhere.

C2.5.2 Bicycle Parking Numbers

A1 Acceptable solution

No bicycle parking spaces are required or provided as per Table C2.1.

C2.5.3 Motorcycle Parking Numbers

A1 Acceptable solution

No motorcycle parking spaces are required or provided as per Table C2.4.

C2.5.4 Loading Bays

A1 Acceptable solution

No loading bays are required or provided.

C2.5.5 Number of Car parking Spaces within the General Residential Zone

A1 Acceptable solution

There are no non-residential buildings in this proposal.

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of Parking Areas

P1 Performance Solution

- (a) The area for parking is easily identifiable and readily accessible from the road.
- (b) The land is relatively flat with a very gentle slope away from the main road/ frontage.
- (c) Surface water will be collected and directed to garden areas alongside the driveway.
- (d) The land is relatively flat. Surface water will not be transported back onto the road.
- (e) The gravel/ stone area will be too small to generate a significant amount of dust.
- (f) The car parking and maneuvering space is a gravel/ stone parking area.

C2.6.2 Design and layout of Parking Areas

A1.1 The layout of car spaces and access ways must be designed in accordance with AS 2890.1 - Parking facilities. Parts 1-6: Off Road Car Parking.

- Minimum parking bay size 2.4m x 5.4m
- Minimum driveway width 3.0m
- Maximum gradient 1:4
- Minimum height clearance 2200mm
- Maximum gradient across property line and footpath 1:20

A1.2 Parking spaces provided for use by persons with a disability

Not applicable

C2.6.3 Number of Accesses for Vehicles

A1 Acceptable solution

Only one access is proposed in this proposal.

A2 Not Applicable

This proposal is in the General Residential Zone.

C2.6.4 Lighting of Parking Areas within the General Business Zone and Central Business Zone

A1 Not Applicable

This proposal is in the General Residential Zone.

C2.6.5 Pedestrian Access

- A1.1 Not Applicable
The use in this proposal does not require more than 10 parking spaces.
- A1.2 Not Applicable
The use in this proposal does not require disabled access parking.

C2.6.6 Loading Bays

- A1 Not Applicable
Loading Bays are not required.
- A2 Not Applicable
Loading Bays are not required.

C2.6.7 Bicycle Parking and Storage facilities within the General Business Zone and Central Business Zone

- A1 Not Applicable
The use in this proposal does not require bicycle parking spaces.
- A2 Not Applicable
The use in this proposal does not require bicycle parking spaces..

C2.6.8 Siting of Parking and Turning Areas

- A1 Not Applicable
The use in this proposal does not require any specific provisions.
- A2 Not Applicable
The use in this proposal does not require any specific provisions.

C2.7 Parking Precinct Plan

C2.7.1 Parking Precinct Plan

- A1 Not Applicable
The use in this proposal does not require any specific provisions.

BRE-S2.0 Stormwater Management Specific Area Plan

BRE-S2.0 Development Standards for Buildings and Works

BRE-2.7.1 Stormwater Management

- A1 Not applicable
Existing building structure and no new stormwater run-off will be generated as part this proposal.