

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00140
Applicant	Prime Design
Proposal	Residential - Construction of a Dwelling and Frontage Fences
Location	7-11 Freshwater Street, Beaumaris (CT184539/1 & CT184539/2)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 1st November, 2025 **until 5pm Monday 17th November, 2025.**

John Brown
GENERAL MANAGER

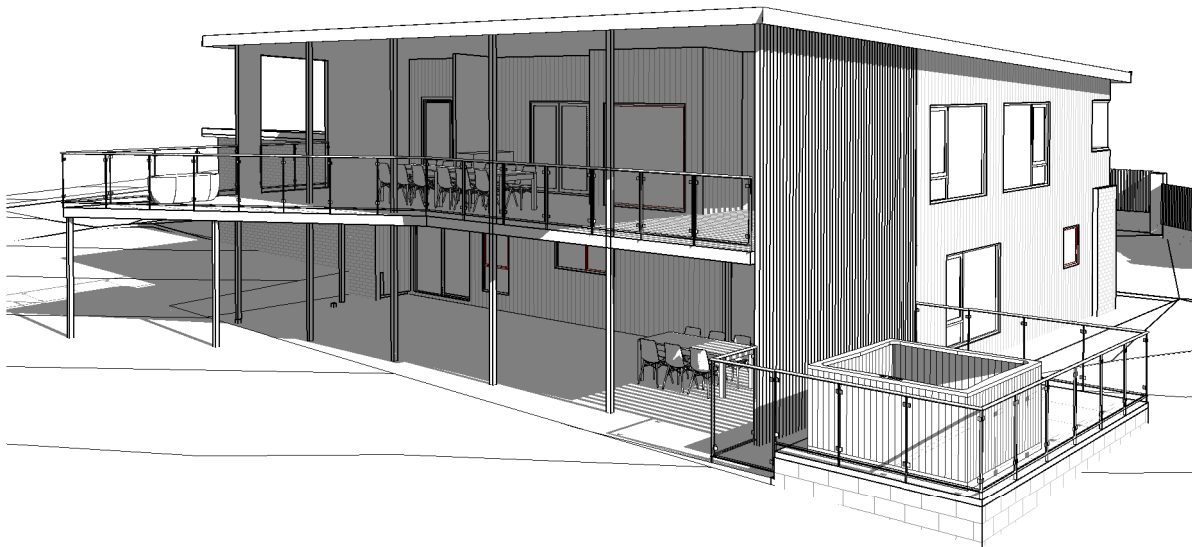
PROPOSED NEW RESIDENCE 7-11 FRESHWATER STREET, BEAUMARIS

R. & E. MURPHY

PD25023

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	PERSPECTIVES



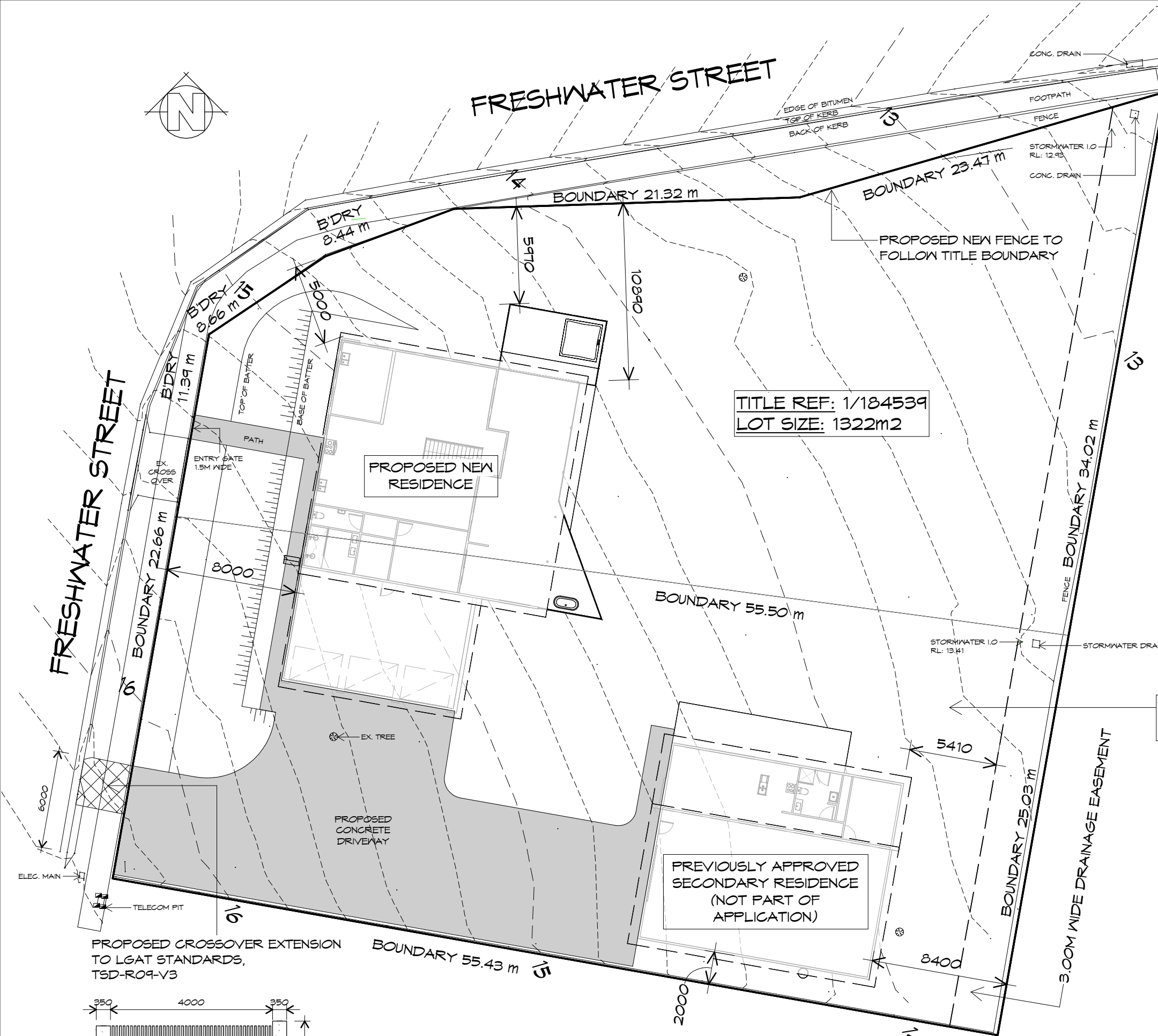
PLANNING

GROUND FLOOR AREA	138.08	m2	14.86	SQUARES
GROUND FLOOR DECK AREA	72.25	m2	7.78	SQUARES
FIRST FLOOR AREA	143.81	m2	15.48	SQUARES
FIRST FLOOR DECK AREA	81.89	m2	8.81	SQUARES
TOTAL AREA	436.03		46.94	

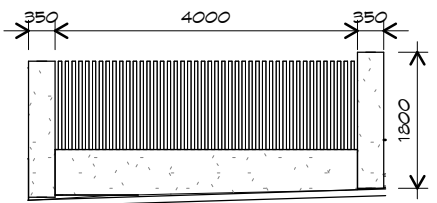


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Shop 9, 105-111 Main Road, Moonah Hobart 7009
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info@primedesignntas.com.au primedesignntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

NOVEMBER 2025



PROPOSED CROSSOVER EXTENSION
TO LGAT STANDARDS,
TSD-R09-V3



PROPOSED NEW FRONT FENCE TO REPLACE EXISTING.

FENCE ELEVATION

1 : 100

SITE PLAN

1 : 250

- SURVEYOR: LJL DATE: 24/03/25
1. THIS PLAN HAS BEEN PREPARED BY WOOLCOTT LAND SERVICES FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
 2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
 3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
 4. WOOLCOTT LAND SERVICES CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
 5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT LAND SERVICES.
 6. HORIZONTAL BEARING DATUM IS MGA BASED ON RTK GPS.
 7. VERTICAL DATUM IS ADH'83 BASED PER TASPOS.
 8. CONTOUR INTERVAL IS 0.20m INDEX IS 1.00m.
 9. BOUNDARIES AND EASEMENTS ARE COMPILED FROM SIO183865 AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
 10. CO-ORDINATES ARE PLANE AND BASED ON MGA2020 PER TASPOS

SITE COVERAGE
BUILDING FOOTPRINT (RESIDENCE & SECONDARY DWELLING)
641.5 / SITE AREA 2644 = 0.24
TOTAL SITE COVERAGE 24%
COMPLIES WITH 10.4.4 SITE COVERAGE NOT MORE THAN 30%

TITLE REF: 2/184539
LOT SIZE: 1322m²



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Project:
**PROPOSED NEW RESIDENCE
7-11 FRESHWATER STREET,
BEAUMARIS**

Client name:
R. & E. MURPHY

Drawing:
SITE PLAN

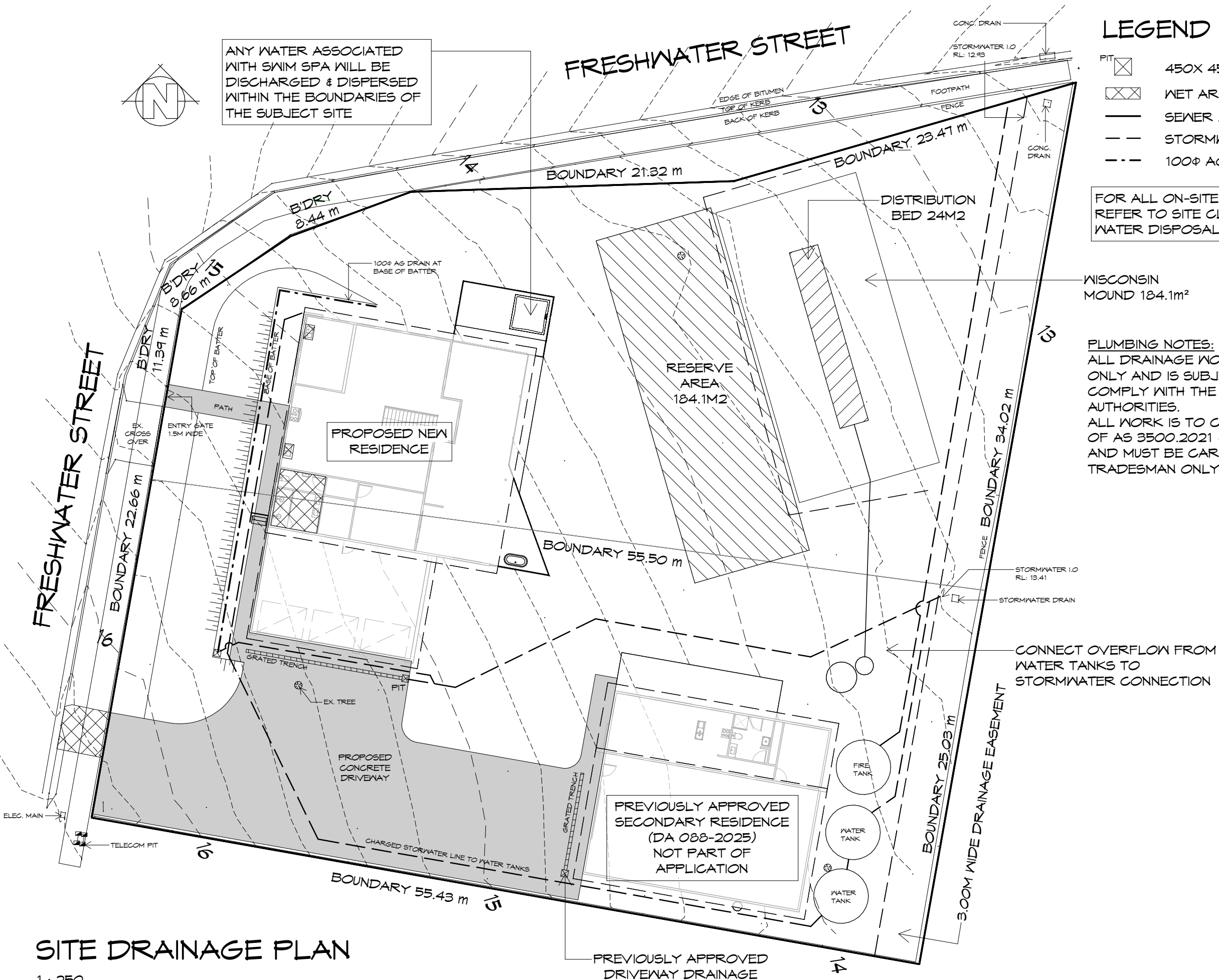
Drafted by: J.M	Approved by: Approver
Date: 20.10.2025	Scale: As indicated

Project/Drawing no: PD25023 -01	Revision: 06
Accredited building practitioner: Frank Geskus -No CC246A	



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

- PIT 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100Φ AG DRAIN

FOR ALL ON-SITE WASTEWATER SYSTEM DETAILS, REFER TO SITE CLASSIFICATION & ON-SITE WASTE WATER DISPOSAL ASSESSMENT BY GEOTON

PLUMBING NOTES:
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

PLANNING

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Project:
PROPOSED NEW RESIDENCE
7-11 FRESHWATER STREET,
BEAUMARIS

Client name:
R. & E. MURPHY

Drawing:
SITE DRAINAGE PLAN

Drafted by: Author	Approved by: Approver
Date: 20.10.2025	Scale: As indicated

Project/Drawing no: PD25023 -02	Revision: 06
Accredited building practitioner: Frank Geskus -No CC246A	



SITE DRAINAGE PLAN

1 : 250



PLANNING

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PROPOSED NEW RESIDENCE
7-11 FRESHWATER STREET,
BEAUMARIS

LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED LOW DENSITY RESIDENTIAL IN A BUSHFIRE PRONE AREA AND
REQUIRES A BUSHFIRE ASSESSMENT.

THIS PROPOSED RESIDENCE HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF BAL-19
REFER TO ASSESSMENT FOR FURTHER DETAILS.
ALL CONSTRUCTION MUST COMPLY WITH A53959.



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Project:
PROPOSED NEW RESIDENCE
7-11 FRESHWATER STREET,
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Client name:
R. & E. MURPHY

Drafted by:
Author

Approved by:
Approver

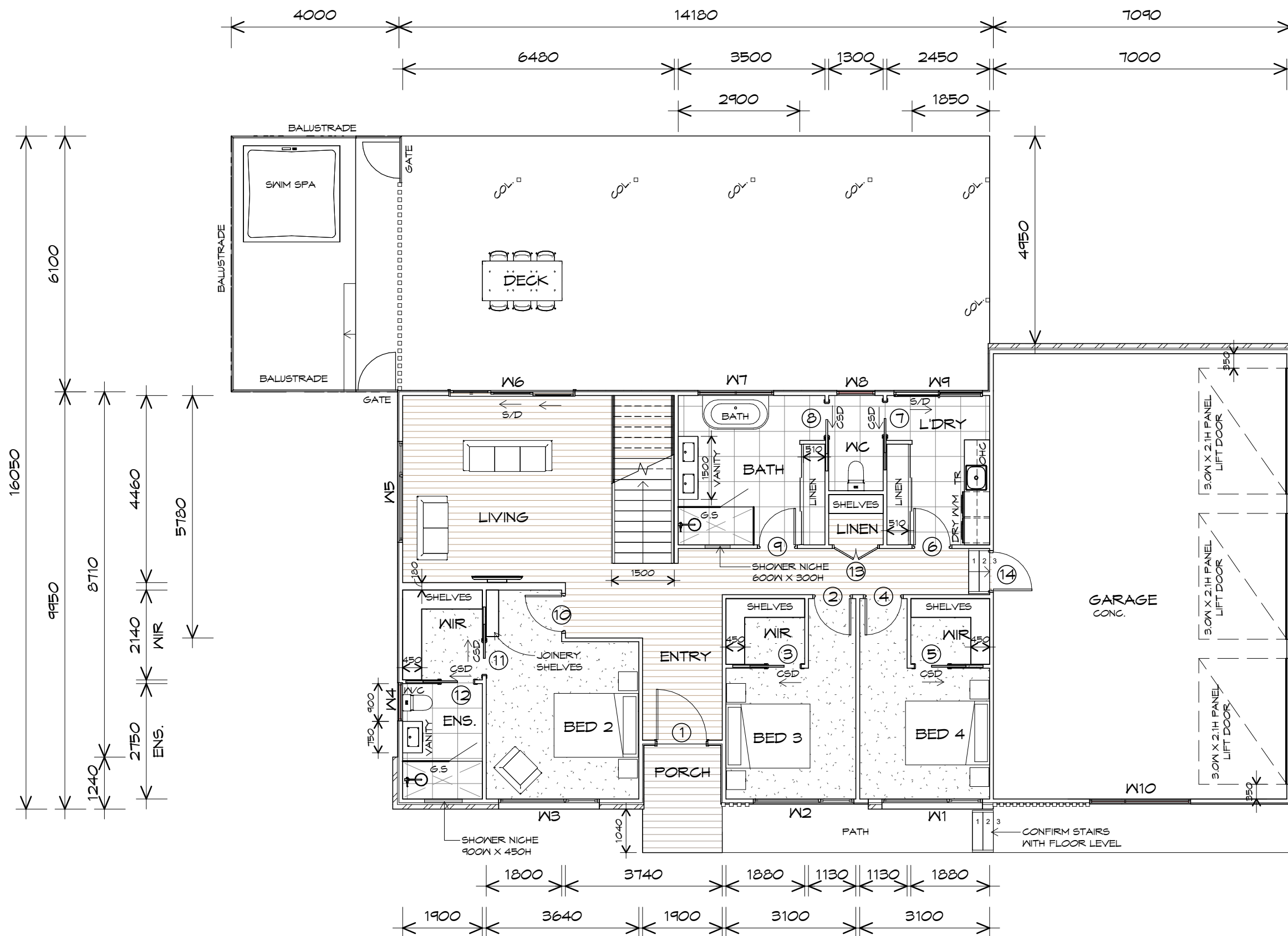


Drawing:
LOCALITY PLAN

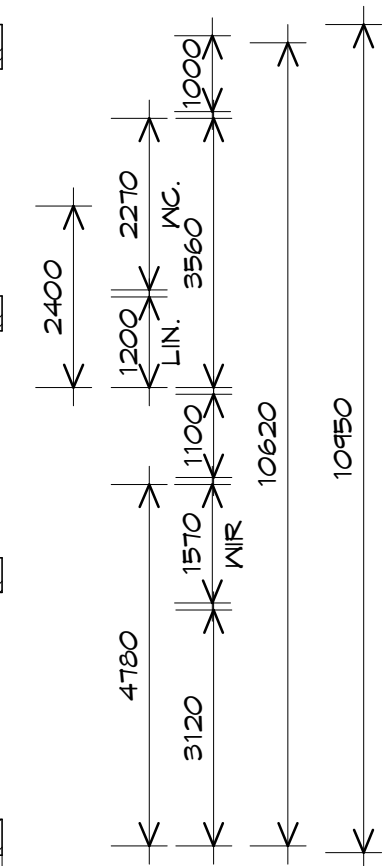
Date: 20.10.2025
Scale: 1 : 2000

Project/Drawing no: PD25023 -03
Revision: 06

Accredited building practitioner: Frank Geskus -No CC246A



- ## LEGEND
- CSD CAVITY SLIDING DOOR
 - S/D SLIDING DOOR
 - COL COLUMN
 - G.S. GLASS SCREEN
 - S.Q. SQUARE STOP
 - GATE POOL GATE TO COMPLY WITH AS1926 C/W SELF CLOSING DEVICE
 - SWIM SPA SPA WITH CLOSED LOOP FILTRATION SYSTEM



GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	138.03	m2	14.86	SQUARES
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FIRST FLOOR DECK AREA	81.89	m2	8.81	SQUARES
TOTAL AREA	436.03		46.94	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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PROPOSED NEW RESIDENCE
7-11 FRESHWATER STREET,
BEAUMARIS

Client name:
R. & E. MURPHY

Drafted by:
J.M

Approved by:
Approver



Drawing:
GROUND FLOOR PLAN

Date:
20.10.2025

Scale:
1 : 100

Project/Drawing no:
PD25023 -04

Revision:
06

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	138.08	m2	14.86	SQUARES
GROUND FLOOR DECK AREA	72.25	m2	7.78	SQUARES
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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
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- GATE POOL GATE TO COMPLY WITH AS1926 C/W SELF CLOSING DEVICE
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Project:
**PROPOSED NEW RESIDENCE
7-11 FRESHWATER STREET,
BEAUMARIS**

Client name:
R. & E. MURPHY

Drawing:
FIRST FLOOR PLAN

Drafted by:
J.M

Approved by:
Approver

Date:
20.10.2025

Scale:
1 : 100



Project/Drawing no:
PD25023 -05

Revision:
06

Accredited building practitioner: Frank Geskus -No CC246A



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	1200	EXTERNAL ENTRY DOOR	
2	870	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	870	INTERNAL TIMBER DOOR	
5	820	CAVITY SLIDING DOOR	
6	870	INTERNAL TIMBER DOOR	
7	820	CAVITY SLIDING DOOR	
8	820	CAVITY SLIDING DOOR	
9	870	INTERNAL TIMBER DOOR	
10	870	INTERNAL TIMBER DOOR	
11	820	CAVITY SLIDING DOOR	
12	820	CAVITY SLIDING DOOR	
13	1040	LINEN CUPBOARD DOORS BY BUILDER	
14	920	EXTERNAL SOLID DOOR	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
15	870	INTERNAL TIMBER DOOR	
16	820	CAVITY SLIDING DOOR	
17	820	CAVITY SLIDING DOOR	
18	820	CAVITY SLIDING DOOR	
19	870	INTERNAL TIMBER DOOR	
30	1200	DOORWAY -FRAME, NO DOOR	
31	920	DOORWAY -FRAME, NO DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL-19** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	2400	AWNING WINDOW	
W2	1800	2400	AWNING WINDOW	
W3	1800	2400	AWNING WINDOW	
W4	900	910	AWNING WINDOW	LOUVERS AS ALTERNATIVE TO OPAQUE
W5	1800	2400	AWNING WINDOW	
W6	2100	3010		
W7	1000	1810	AWNING WINDOW	LOUVERS AS ALTERNATIVE TO OPAQUE
W8	1800	910	AWNING WINDOW	LOUVERS AS ALTERNATIVE TO OPAQUE
W9	2100	2110	SLIDING DOOR	
W10	900	2410	AWNING WINDOW	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W11	1200	1210	AWNING WINDOW	
W12	1200	2600	FIXED WINDOW	
W13	1200	1200	FIXED CORNER WINDOW	
W14	1800	2400	AWNING WINDOW	
W15	1800	2400	AWNING WINDOW	
W16	2100	2710	STACKING SLIDING DOOR	
W17	2100	2100	FIXED WINDOW	
W18	2100	2710	STACKING SLIDING DOOR	
W19	2100	2100	SLIDING DOOR	
W20	600	2410	AWNING WINDOW	
W21	1200	1210	AWNING WINDOW	
W22	1200	1210	AWNING WINDOW	LOUVERS AS ALTERNATIVE TO OPAQUE
W23	900	610	AWNING WINDOW	LOUVERS AS ALTERNATIVE TO OPAQUE



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7-11 FRESHWATER STREET,
BEAUMARIS

Client name:
R. & E. MURPHY

Drafted by:
J.M

Approved by:
Approver



Drawing:
DOOR AND WINDOW
SCHEDULES

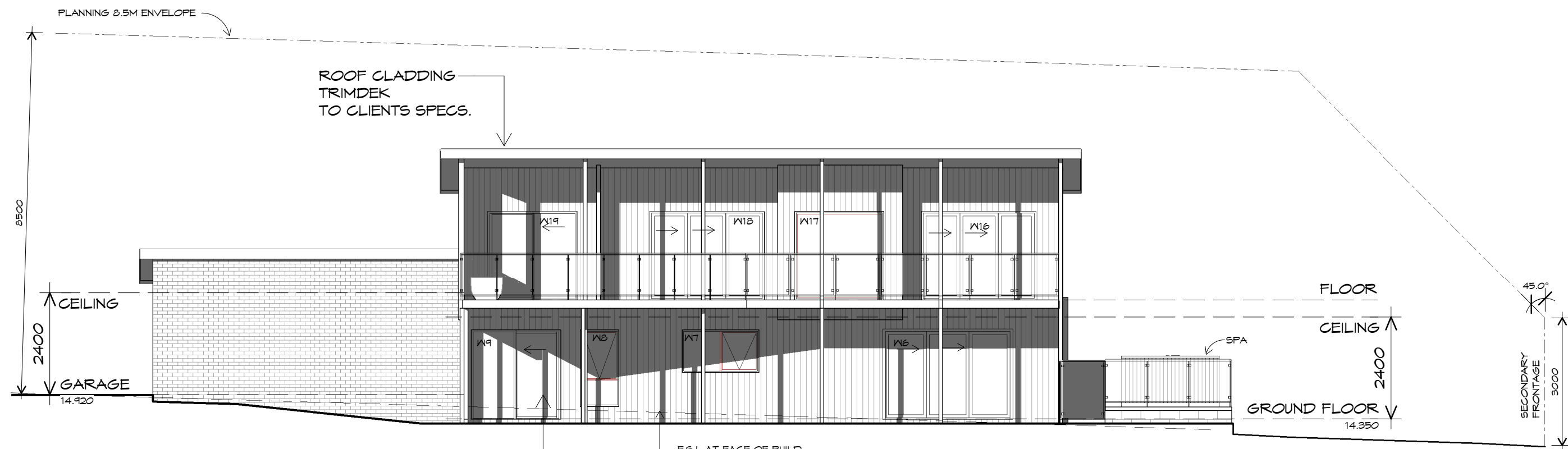
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20.10.2025

Scale:

Project/Drawing no:
PD25023 -06

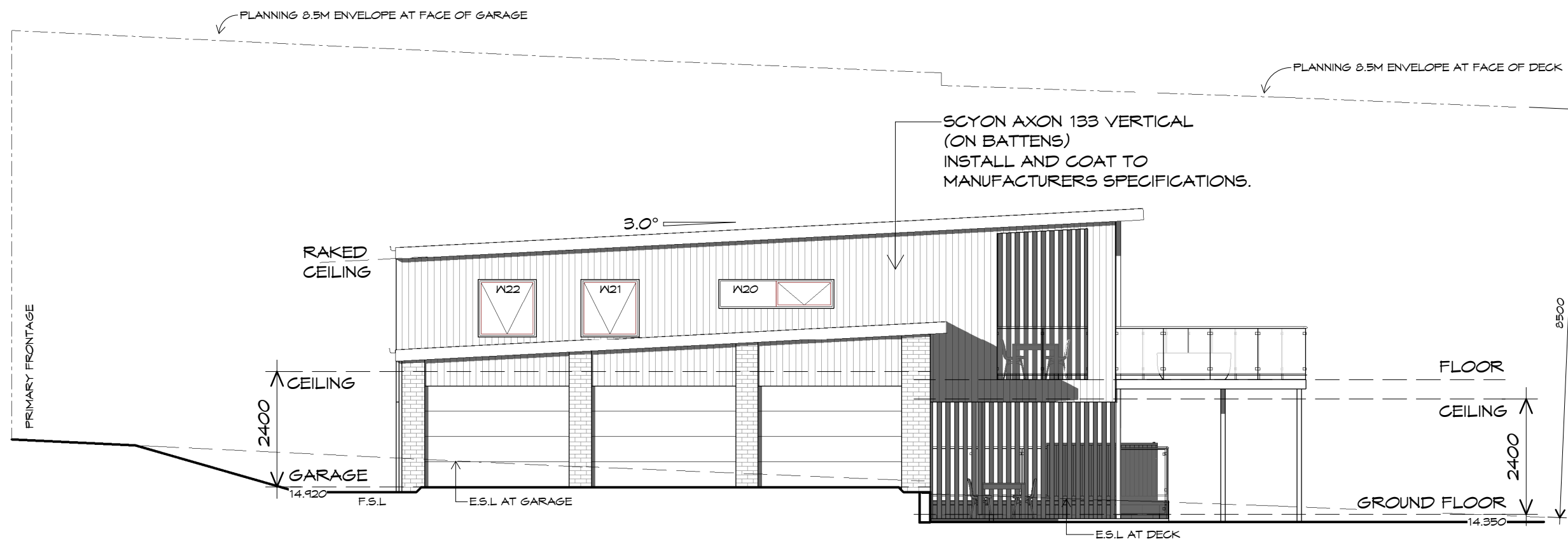
Revision:
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EASTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

1 : 100



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7-11 FRESHWATER STREET,
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Client name:
R. & E. MURPHY

Drawing:
ELEVATIONS

Drafted by:
J.M

Approved by:
Approver

Date:
20.10.2025

Scale:
1 : 100

Project/Drawing no:
PD25023 -07

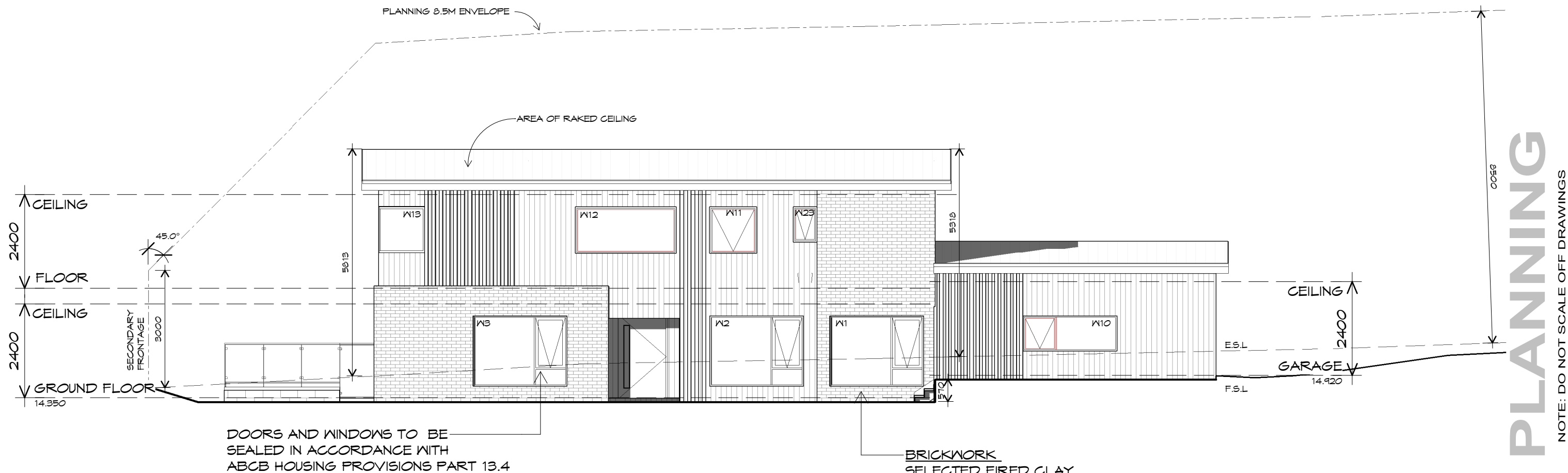
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PLANNING

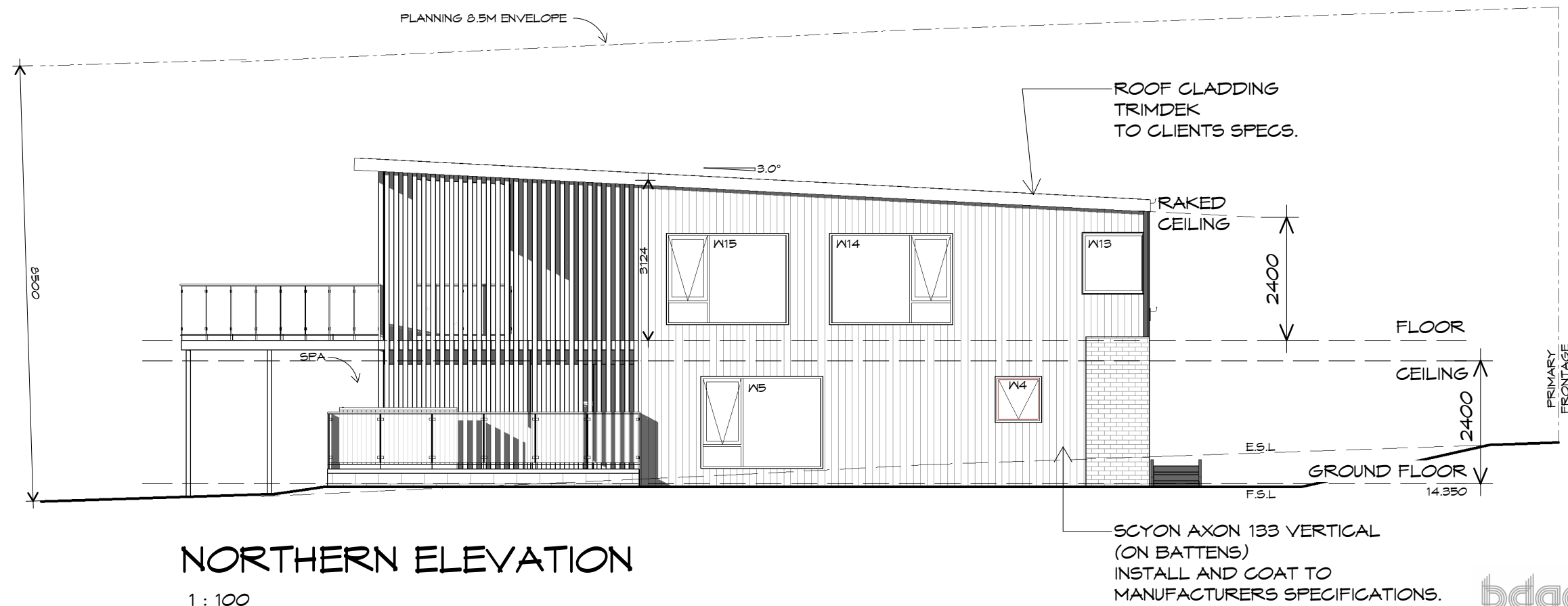
NOTE: DO NOT SCALE OFF DRAWINGS



WESTERN ELEVATION
1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4



NORTHERN ELEVATION
1 : 100

ROOF CLADDING
TRIMDEK
TO CLIENTS SPECS.

**RAKED
CEILING**

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



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Drawing:
ELEVATIONS

Drafted by:
J.M

Approved by:
Approver

Date:
20.10.2025

Scale:
1 : 100

Project/Drawing no:
PD25023 -08

Revision:
06

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLAN

1 : 100



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Approved by:
Approver



Drawing:
ROOF PLAN

Date:
20.10.2025

Scale:
1 : 100

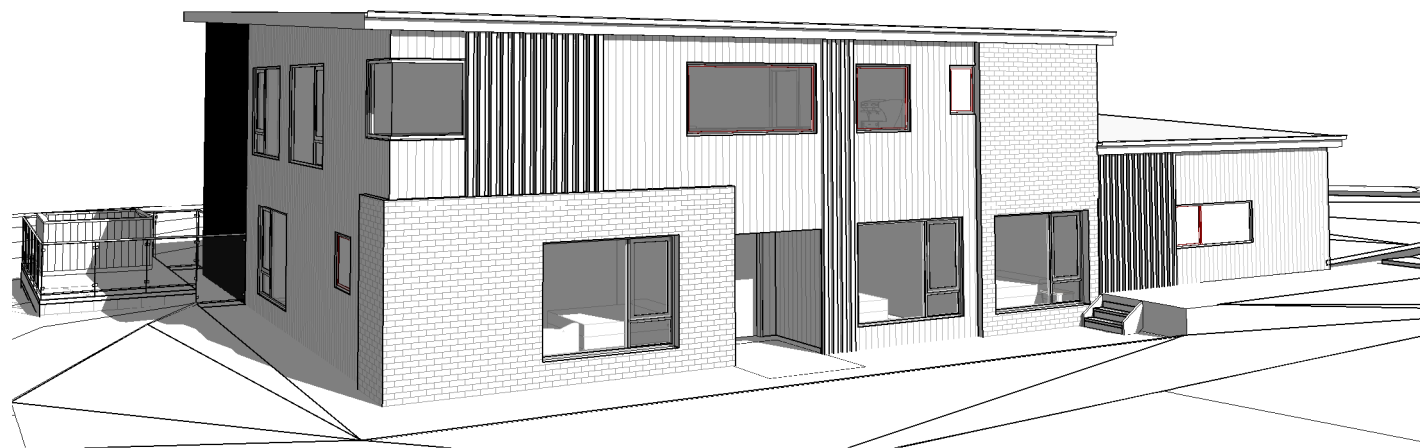
Project/Drawing no:
PD25023 -09

Revision:
06

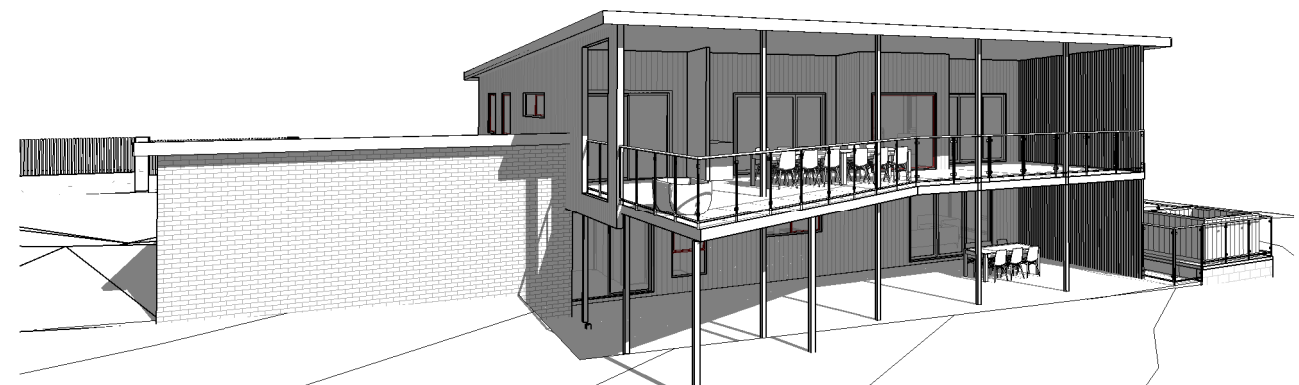
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PLANNING

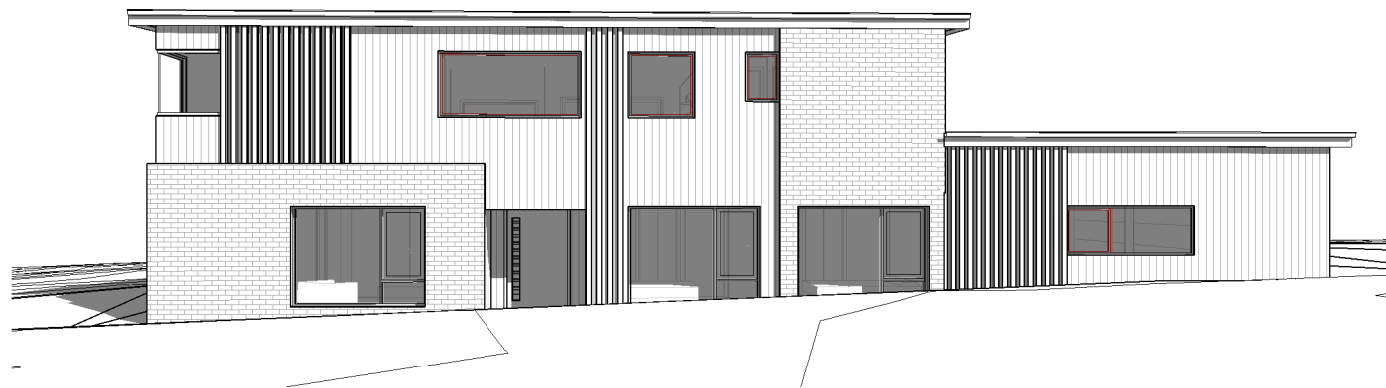
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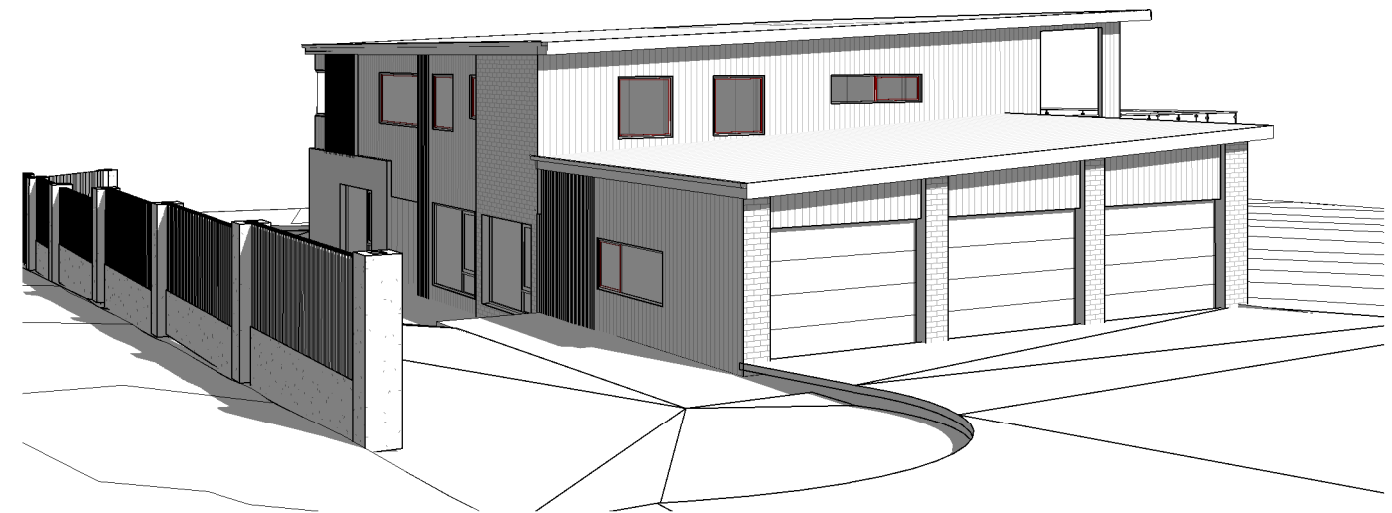
FENCE NOT SHOWN FOR CLARITY



PLANNING
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FENCE NOT SHOWN FOR CLARITY



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Client name:
R. & E. MURPHY

Drafted by: **J.M** Approved by: **Approver**

Drawing:
PERSPECTIVES

Date: **20.10.2025** Scale:

Project/Drawing no: **PD25023 -10** Revision: **06**

Accredited building practitioner: Frank Geskus -No CC246A



20 October 2025

Break O'Day Council
32-34 Georges Bay Esplanade St Helens,
Tasmania 7216
e: admin@bodc.tas.gov.au
t: [03 6376 7900](tel:0363767900)

Dear Alex,

Re: Proposed New Residence, 7-11 Freshwater Street, Beaumaris

The proposal is for new residence at 7-11 Freshwater Street, Beaumaris in an area zoned low density residential.

This design response will address the development standards outlining any discretionary elements.

10.4.2 Building Height

- A1 Complies with a building height of not more than 8.5m. Refer to elevations for planning envelope.

10.4.3 Setbacks

- A1 Does not comply. The proposed residence does not have a front setback greater than 8m from the northern corner boundary abutting Freshwater Street.
- P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area.

The proposed residence is set appropriately within the topography of the site. The floor level is modest & gives consideration to the surrounding properties in the subdivision. Any cut to the site is battered with no impact to the streetscape & will be landscaped for best visual appearance from Freshwater Street.

The proposed setback of the residence is consistent with setbacks of surrounding buildings in the subdivision. Existing residences & corner lots within the immediate area demonstrate significantly reduced setbacks. From the primary frontage, the acceptable solution of an 8m setback is met. The slightly reduced 5m setback to the Northern boundary is compatible with the surrounding streetscape.

The height, bulk & form of the proposed residence is of a similar nature to existing buildings in the area. Existing residences within Freshwater Street provide reduced setback precedent for the bulk & form of double story buildings. As mentioned above,



the floor level of the house is set respectively, reducing the height when viewed streetscape.

The appearance of the proposed residence when viewed from Freshwater Street & public open space is compatible with the character of established properties. Perspectives included within the drawing set demonstrate how the development will be viewed from the streetscape.

The reduced setback to the Northern corner does not impact the safety of road users.

C2.6.1 Construction of Parking Areas

- A1 Complies. The proposed concrete driveway meets the acceptable solution of the code. Any stormwater from the driveway is directed by fall to a grated trench in front of the garage door. The water collected by the trench, drains into a pit specified, from which the stormwater runoff from the driveway is then directed to the stormwater connection on the property. The site drainage plan can be referenced for clarification.

BRE-S2.7.1 Stormwater Management

- A1 Complies. The proposed residence is capable of connecting to the existing stormwater connection to the property, located by East Coast Surveying.
All water collected by the roof area will be captured & stored in tanks to the rear of the property. Any overflow will be appropriately discharged to the stormwater infrastructure located in the drainage easement.
As noted on the site drainage plan, any water associated with the swim spa will be discharged & dispersed within the boundaries of the site. Noting, per council guidance any water discharge occurring during a water change is not able to connect to the stormwater connection or wastewater system

10.4.5 Front Fences for all Dwellings

- P1 The proposed fence to replace the existing post & wire comprises of 0.6m of brickwork to the base with 1.2m of vertical fencing above to a total height of 1.8m. The proposed fence provides security & privacy to the residence whilst allowing for passive surveillance of the road. The adjoining property fence at 13 Freshwater is constructed of caged rock to an assumed height of 1.8m. Comparatively, the proposed fence at 7-11 Freshwater provides a greater level of transparency & is more than reasonable for traffic volumes of the adjoining road. As demonstrated in the concept diagram below, the proposed brickwork & vertical fencing is appropriate for the topography of the site & the fence follows the contours respectfully. The style of proposed fencing is similar to that of 15 Freshwater & compliments the streetscape. Furthermore, the proposed fence compliments the proposed new residence & development on the site.



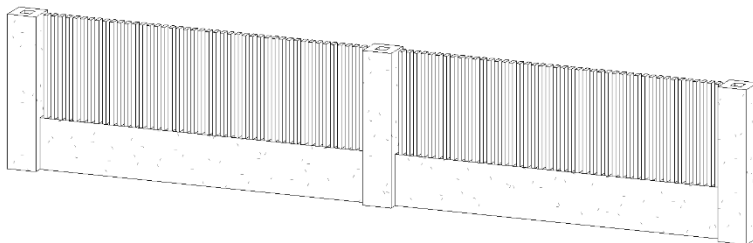
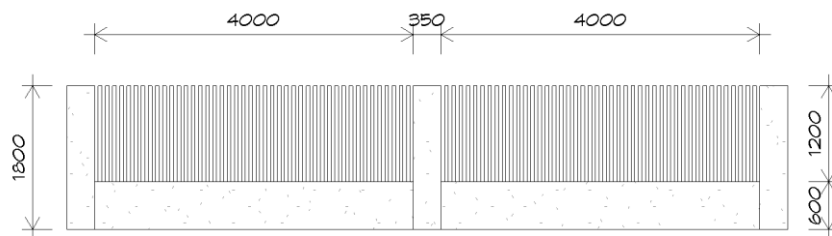
Image of existing post & wire fence:



Existing street boundary fence to be replaced:



Diagram of proposed fence:



Freshwater Street Fencing Precedent:

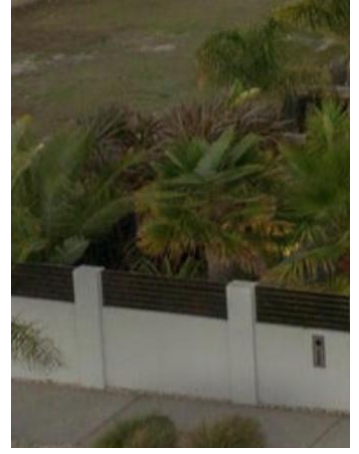
Realestate Image



Photo by land surveyor



Realestate Image



Materials: Wire, Stone, Timber, Brickwork Rendered
Assumed height of 1500mm – 1800mm

Kind Regards,

J Medwin

Jessie Medwin