

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

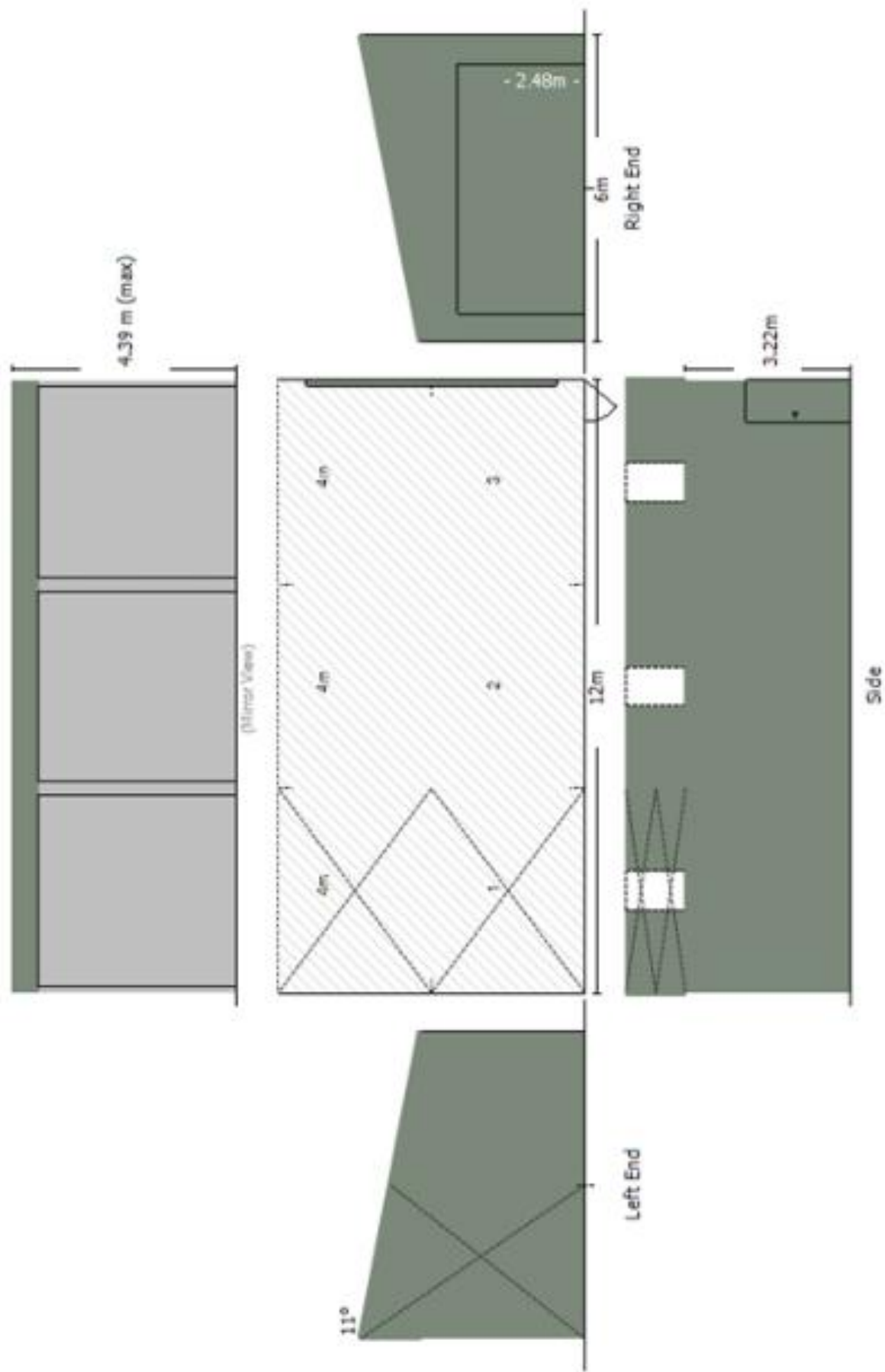
DA Number	DA 2025 / 00151
Applicant	A S Francis, J P Francis
Proposal	Residential - Construction of New Shed and Relocation of Shipping Container
Location	129 Dakins Road, St Marys

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 1st November, 2025 **until 5pm Monday 17th November, 2025**

John Brown
GENERAL MANAGER

As requested, I here is a copy of the floor plan and elevation drawings of the proposed shed.





DAK ROAD

30 meters

PROPERTY
BOUNDARY

EXISTING (APPROVED)
SHED (12m x 6m)

30 meters

PROPOSED NEW LOCATION
OF EXISTING (APPROVED)
SHIPPING CONTAINER

EXISTING APPROVED
LOCATION OF SHIPPING
CONTAINER

5m WATER SUPPLY EASEMENT 'B'
(REFER LISTmap DOCUMENTATION)

EXISTING DRIVEWAY
(INDICATIVE) AND SITE ACCESS

EXISTING RESIDENCE

PROPOSED NEW
WATER TANK

EXISTING WATER TANK

PROPOSED NEW SHED (12m x 6m)
TO ABUT EXISTING SHED

SITE LAYOUT
SCALE 1:500

NOTES:

1. THESE PLANS AND DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE LISTmap DOCUMENTATION AND FOLIO INFORMATION.
2. PROPOSED SHED IS A PROPRIETARY PRODUCT WHICH IS TO BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
4. SHED IS COLORBOND® STEEL (MONUMENT) OVER METAL FRAME TO MATCH EXISTING (APPROVED) ONSITE SHED
5. PROPOSED CONCRETE SLAB FOR SHED WILL BE CONSTRUCTED BY A SUITABLY QUALIFIED AND LICENSED CONCRETE COMPANY AND IN ACCORDANCE WITH ALL RELEVANT STANDARDS

NOTE:

INDICATIVE SERVICE LOCATIONS ONLY

DIAL BEFORE YOU DIG SEARCH **MUST** BE COMPLETED
PRIOR TO COMMENCEMENT OF WORK AND ALL
SERVICES ACCURATELY LOCATED



WARNING
ALL SERVICES SHOWN ON THIS DRAWING ARE
APPROXIMATE ONLY AND EXACT LOCATION IS
TO BE CONFIRMED ON SITE BY CONTRACTOR
PRIOR TO COMMENCEMENT OF ANY WORKS.

GENERAL NOTES

1. THESE NOTES APPLY TO ALL PROJECT DRAWINGS IN THE SET UNLESS NOTED OTHERWISE AND SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION
2. ALL LEVELS ARE IN METRES TO AUSTRALIAN HEIGHT DATUM (AHD).
3. ALL CO-ORDINATES ARE IN METRES TO MAP GRID AUSTRALIA (MGA).
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
5. DIMENSIONS SHALL NOT BE SCALED OFF DRAWINGS.

SCALE 1:500 @ A1
(1:1000 @ A3)



REVISION	DESCRIPTION	DATE	BY	CHECKED BY
D				
C				
B	CONTOUR LABEL SIZE INCREASED. GENERAL NOTE SIZE INCREASED	24.08.25	MJM	24.08.25
A	PRELIMINARY ISSUE - NOT FOR CONSTRUCTION	MJM 15.08.25	MJM	15.08.25

ISSUED FOR
PRELIMINARY
NOT FOR CONSTRUCTION

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**LANDSFORMATION
DESIGN**

Landscape Design and Construction

CLIENT ANDREW & JANINE FRANCIS		PROJECT 129 DAKINS RD, ST MARYS 7215	
OWNER MJM	DATE 24.08.25	DRAWING TITLE SITE LAYOUT	
DRAWN BY MJM	DATE 24.08.25		
SCALE SCALE 1:500	A3	PROJECT No. 2502	CORRELATION D0101
			REVISION B

Hi Alex,

As discussed on the phone, I have attached some dot points in relation to the proposed shed extension that will be located closer to land in the Agricultural zone, than the existing dwelling and outbuildings on the subject site, along with some relevant images.

- The proposed shed will only move approximately one meter closer to the agricultural land, than the current shipping container footprint.
- The agricultural land in question, has a small section of unusable land to the north of the bridge.
- The agricultural land on the other side of the bridge is a mix of scrub and bushland with a section of plantation.
- In no way will the proposed shed impact in any way on the agricultural land.
- I have spoken to the owner of the land [REDACTED] and provided her the relevant information, and she has no objection to the proposed shed.
- The proposed shed is approximately 190-200 meters from the timber plantation.
- Below I have included images highlighting the land classifications as I understand them and a legend in relation to the above points.



LEDGEND

-  Zoned Rural
-  Bridge

ZONED AGRICULTURAL

-  Unusable land north of the bridge and creek
-  Scrub and bushland
-  Plantation