

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00173
Applicant	Plans To Build
Proposal	Residential - Partial Demolition of Dwelling & Shed, Alterations/Additions to Dwelling plus Construction of Shed with Attached Carport
Location	3 Boobyalla Drive, Ansons Bay

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 1st November, 2025 **until 5pm Monday 17th November, 2025.**

John Brown
GENERAL MANAGER

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY

ALTERATIONS/ADDITIONS & OUTBUILDING

at 3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

for J. R. KERR

PROJECT NUMBER:

25098

PROPERTY ID:

6810282

LAND TITLE, VOLUME & FOLIO

CT - 12275/9

SITE AREA:

1,750m2

FLOOR AREAS:

EXISTING DWELLING FLOOR AREA - 67m²

EXISTING OUTBUILDING FLOOR AREA - 30m²

NEW EXTENSION FLOOR AREA - 34m²

NEW SHED FLOOR AREA - 80m²

NEW CARPORT FLOOR AREA - 48m²

COUNCIL:

BREAK O' DAY

SCHEME / ZONE:

10.0 LOW DENSITY RESIDENTIAL

SCHEME / ZONE OVERLAYS:

BUSHFIRE PRONE

SITE CLASSIFICATION:

WIND CLASSIFICATION: N4

BUSHFIRE ATTACK LEVEL: BAL TBD

TERRAIN CLASSIFICATION: TC2.5

WIND REGION: N4

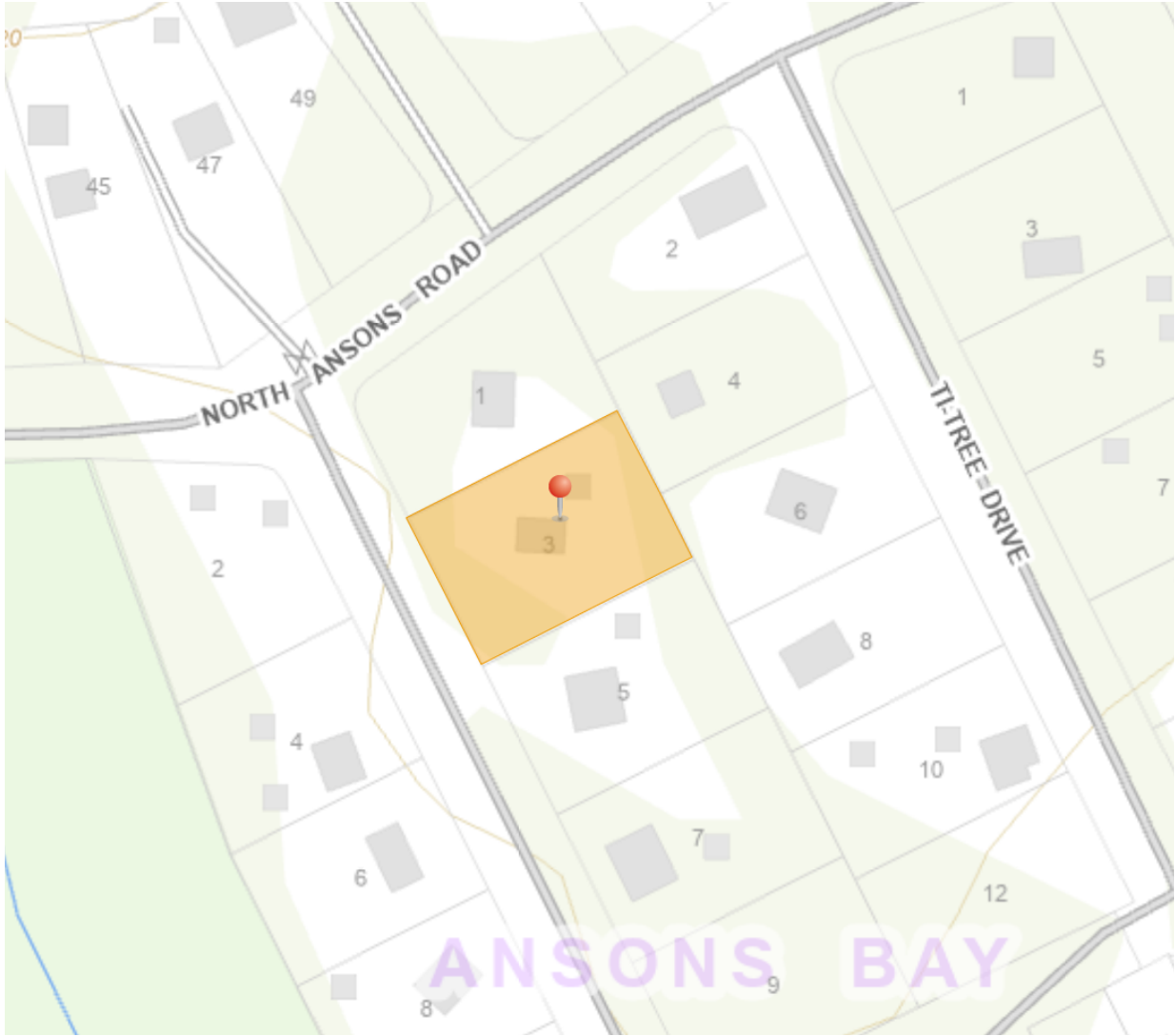
CLIMATE ZONE: 7

CORROSION ENVIRONMENT: MEDIUM

ALPINE AREA: N/A

PRINT DATE:

16/09/2025



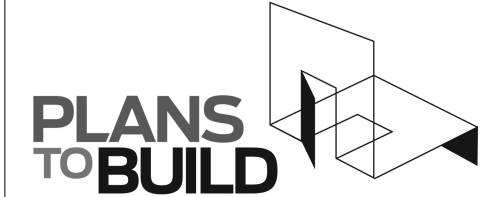
LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 SITE DEMOLITION PLAN
- A03 DWELLING DEMOLITION FLOOR PLAN
- A04 PROPOSED DWELLING FLOOR PLAN
- A05 PROPOSED DWELLING ROOF PLAN
- A06 DWELLING NORTHERN & EASTERN ELEVATIONS
- A07 DWELLING SOUTHERN & WESTERN ELEVATION
- A08 PROPOSED DWELLING SECTION AA
- A09 PROPOSED SHED FLOOR PLAN
- A10 PROPOSED SHED ROOF PLAN
- A11 PROPOSED SHED NORTHERN & WESTERN ELEVATION
- A12 PROPOSED SHED SOUTHERN ELEVATION



MEMBER
you're in good hands



ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@plantobuild.com.au
L.M.DELL LIC. No. CC5932 G

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

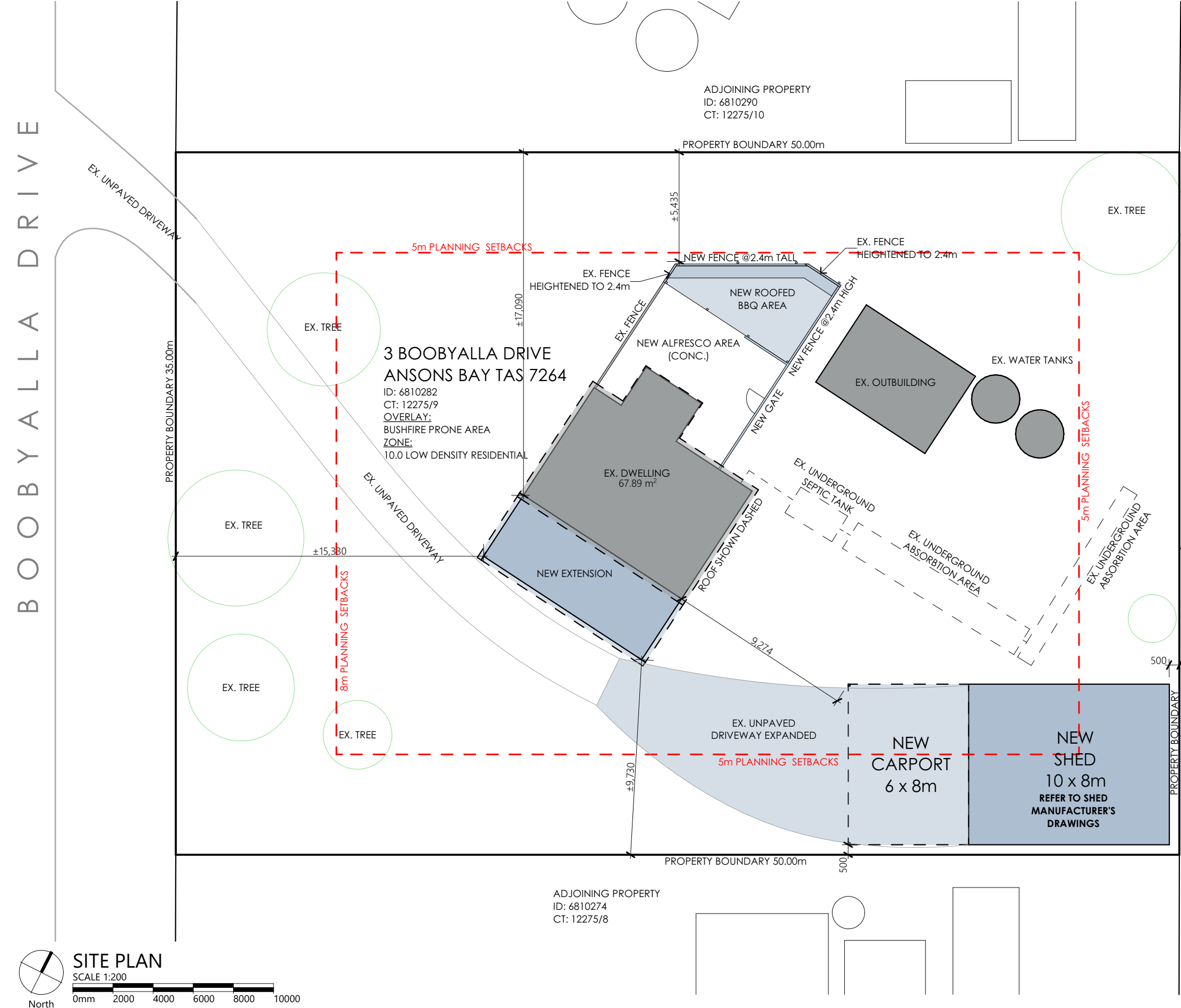
THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

rev. Amendment		Date
DRAWING No:		ISSUE: APPROVAL
A00		REV: 0
1 of 13		

BOOBYALLA DRIVE



SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

SOIL AND WATER MANAGEMENT
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

PLANS
TOBUILD

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
J. R. KERR

rev.	Amendment	Date

DRAWING No:
A01

2 of 13

ISSUE: APPROVAL
REV: 0

ALTERATIONS/ADDITIONS & OUTBUILDING

3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:
25098

SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
16/09/2025

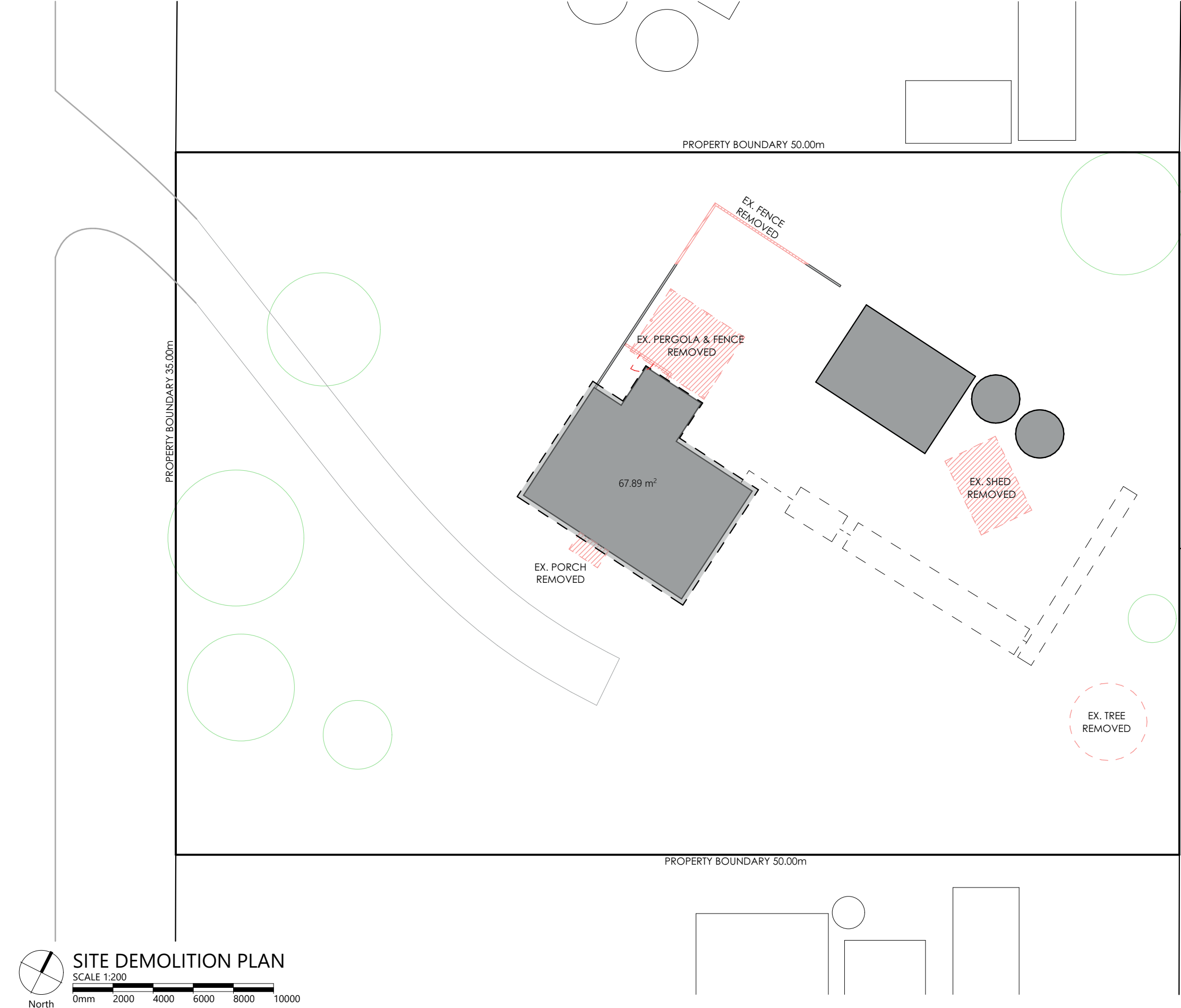
rev. Amendment Date

DRAWING No: A01

2 of 13

ISSUE: APPROVAL

REV: 0



SITE PLAN NOTES

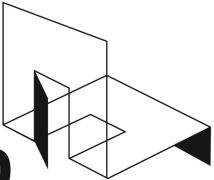
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A02	3 of 13	REV: 0

ALTERATIONS/ADDITIONS & OUTBUILDING

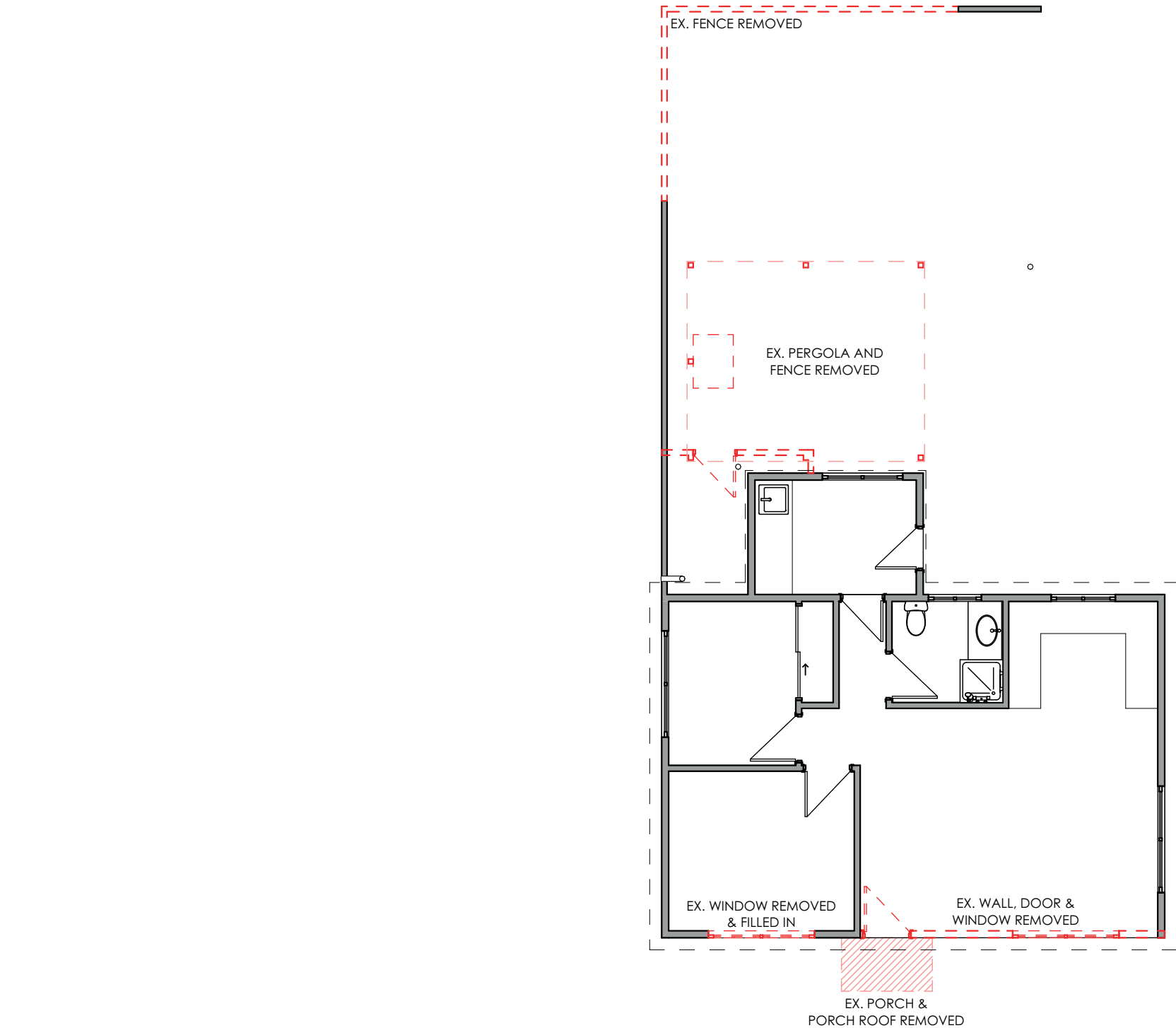
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SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
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FLOOR PLAN LEGEND

- EXISTING WALLS RETAINED
- EX. DOORS
- NEW WALLS
- NEW DOORS

DEMOLITON LEGEND

- WALLS, WINDOWS DOORS AND JOINERY SHOWN DOTTED IS TO BE DEMOLISHED AND REMOVED
- EXISTING WALLS RETAINED

THE CONTRACTOR SHALL CARRY OUT THE REQUIRED DEMOLITION OF THE EXISTING BUILDING ELEMENTS NOMINATED ON THIS PLAN IN STRICT ACCORDANCE WITH THE DOCUMENTATION & AS2601 - THE DEMOLITION OF STRUCTURES.

DEMOLITION WORKS SHALL BE UNDERTAKEN IN A SAFE & ENVIRONMENTALLY ACCEPTABLE MANNER. CONTRACTOR SHALL MAKE ALL ALLOWANCES AS REQUIRED FOR DEMOLITION, REMOVALS & RELOCATIONS TO SUIT THE NEW WORKS.

ALL ITEMS TO BE DEMOLISHED SHOWN DOTTED TYPICALLY. CONTACT DIAL BEFORE YOU DIG PRIOR TO ANY EXCAVATION WORKS. THE EXISTING RESIDENCE MAY CONTAIN ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH WORK SAFE TASMANIA CODE OF PRACTICE CP113 & STATUTORY REGULATIONS

DWELLING DEMOLITION FLOOR PLAN

SCALE 1:100

0mm

1000

2000

3000

4000

5000

ALTERATIONS/ADDITIONS & OUTBUILDING

3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

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25098	SCALE @ A3	16/09/2025

rev.	Amendment	Date
DRAWING No:	ISSUE: APPROVAL	
A03	REV: 0	

PLANS TO BUILD

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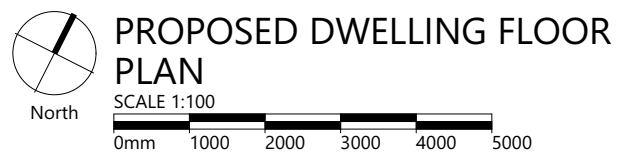
Owner:
J. R. KERR

EXISTING WALLS RETAINED

EX. DOORS

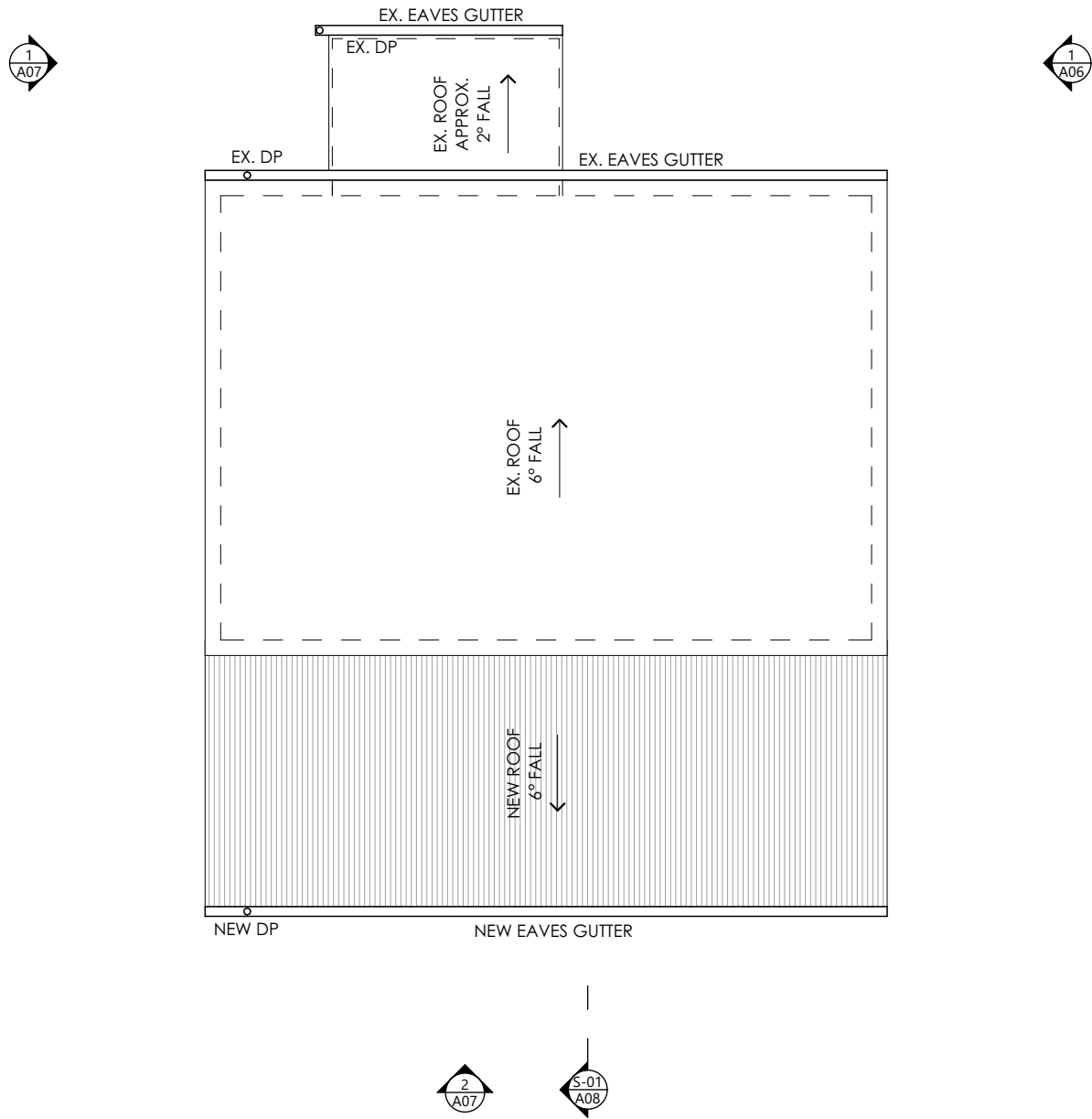
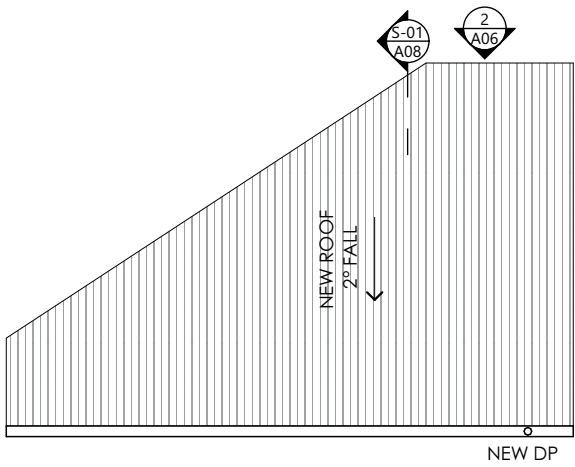
NEW WALLS

NEW DOORS



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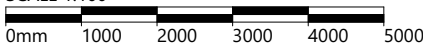
ISSUE: APPROVAL
REV: 0





PROPOSED DWELLING FLOOR PLAN

SCALE 1:100



ALTERATIONS/ADDITIONS & OUTBUILDING

3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

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PROJECT NUMBER: 25098	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 16/09/2025	rev. Amendment		Date
			DRAWING No: A05		ISSUE: APPROVAL
			6 of 13		REV: 0

ROOF PLAN NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

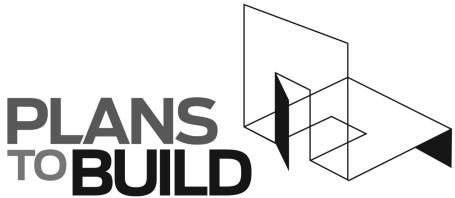
REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.

GUTTERS INSTALLED IN ACCORDANCE WITH PART 3.5.3 OF THE BCA, NCC. 1 IN 500 FALL.

BOX GUTTERS WITH 1 IN 100 FALL AND IN ACCORDANCE WITH AS/NZS 3500.3



PLANS TO BUILD

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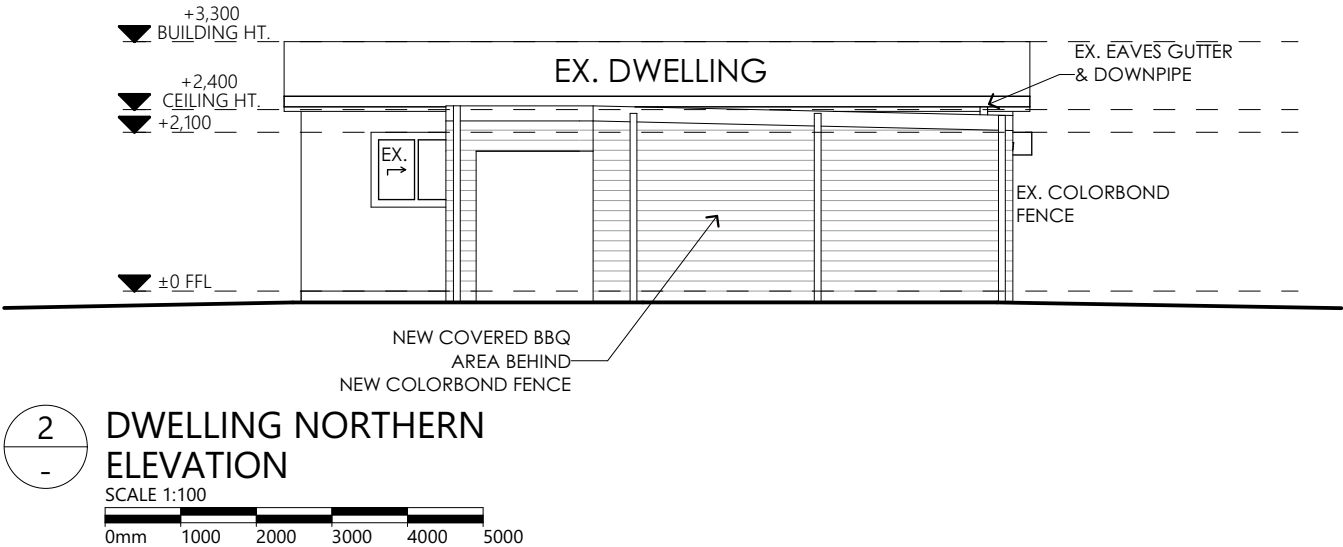
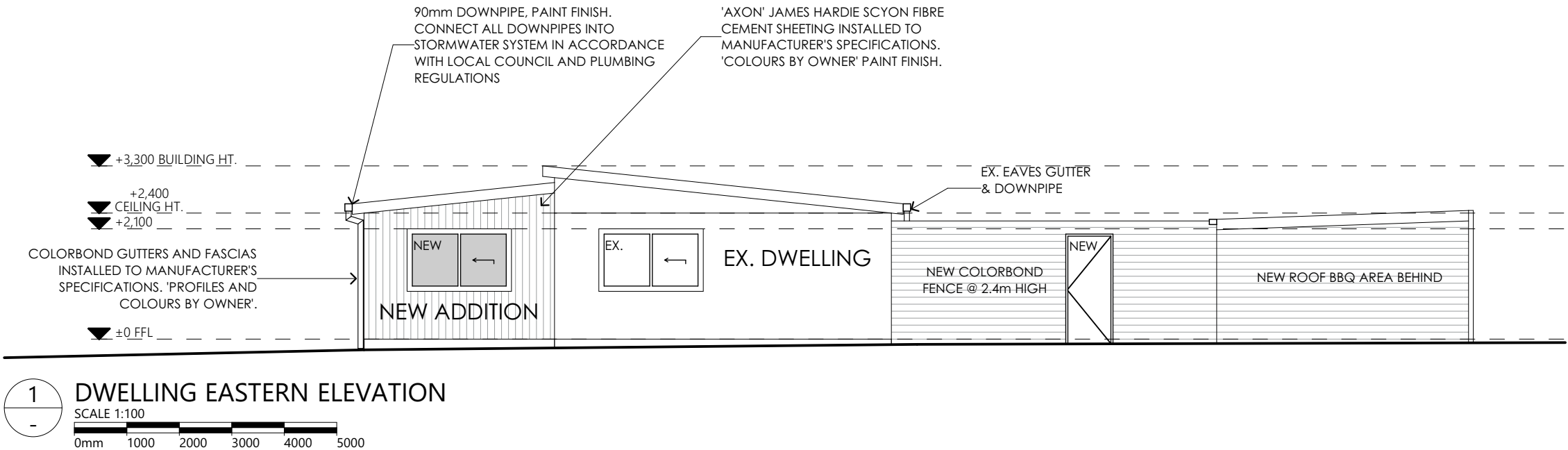
Owner:
J. R. KERR

rev.	Amendment	Date
DRAWING No: A05		ISSUE: APPROVAL
6 of 13		REV: 0

ELEVATION NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS , SEALS , FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.



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Owner:
J. R. KERR

		7 of 13
rev.	Amendment	
Date		
DRAWING No:		ISSUE: APPROVAL
A06		
REV: 0		

ALTERATIONS/ADDITIONS & OUTBUILDING

3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

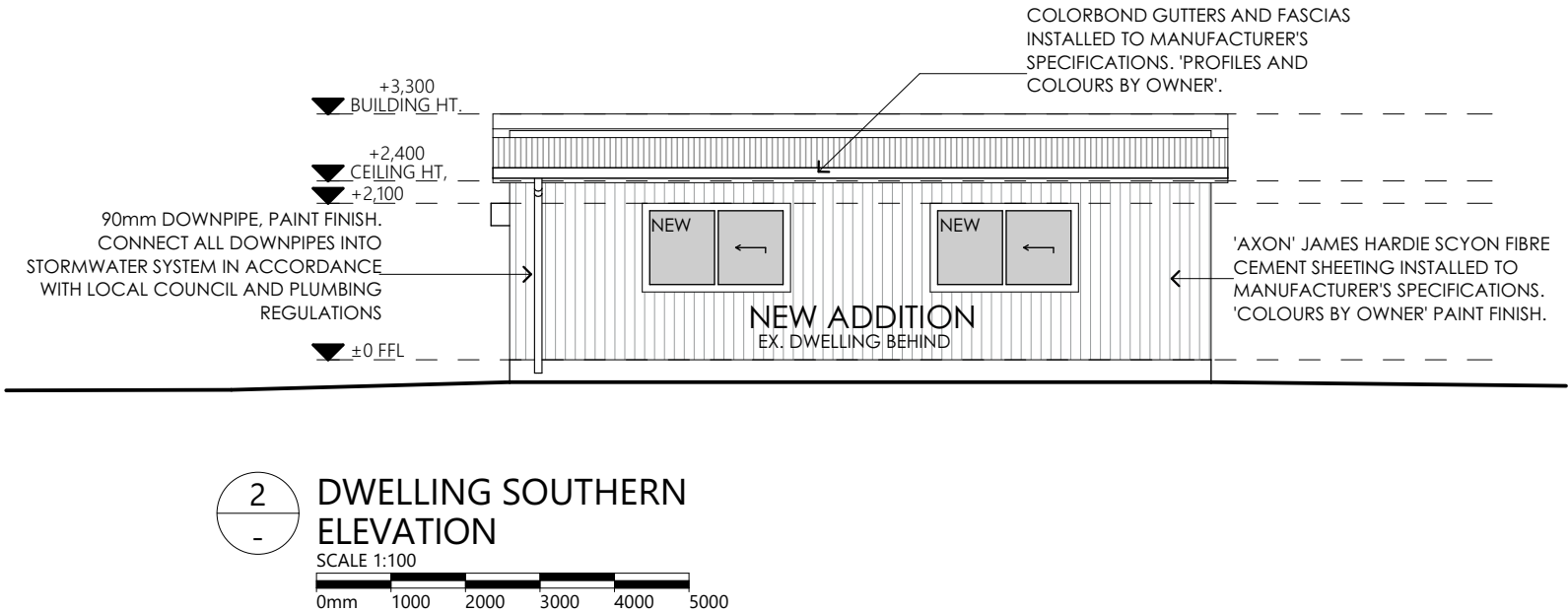
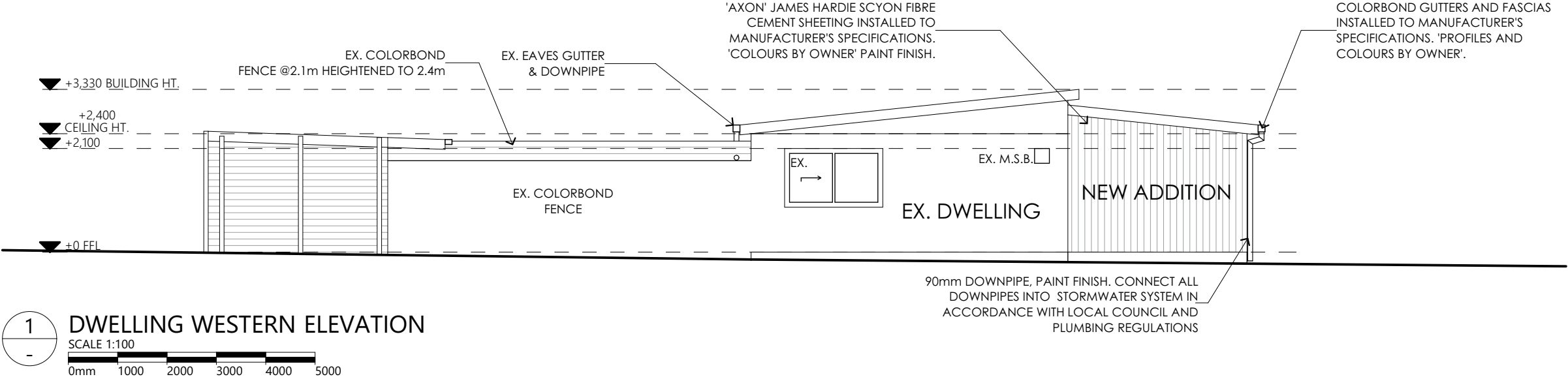
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PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:
25098	SCALE @ A3	16/09/2025

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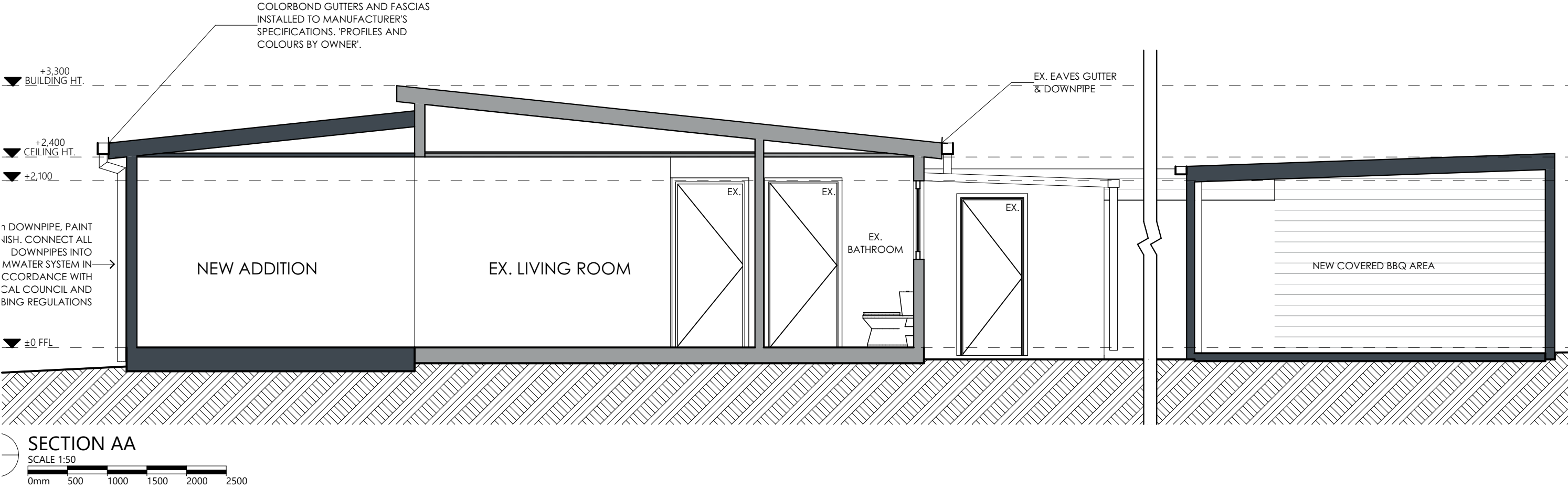
Owner:
J. R. KERR

rev.	Amendment	Date
DRAWING No: A07		ISSUE: APPROVAL
8 of 13		REV: 0

ALTERATIONS/ADDITIONS & OUTBUILDING
3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

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PROJECT NUMBER: 25098	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 16/09/2025
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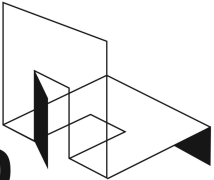
ALTERATIONS/ADDITIONS & OUTBUILDING

3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

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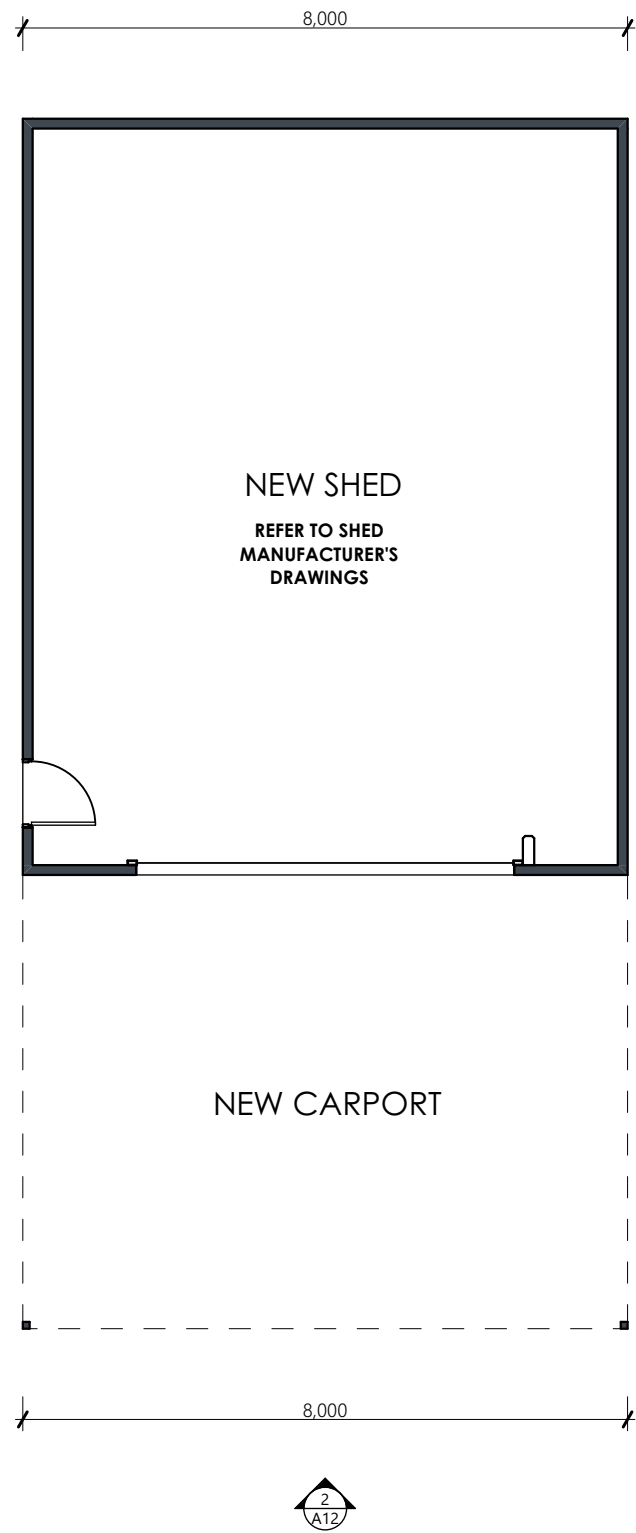
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			DRAWING No: A08	ISSUE: APPROVAL
			9 of 13	REV: 0

**PLANS
TOBUILD**



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L.M.DELL LIC. No. CC5932 G

Owner:
J. R. KERR



FLOOR PLAN LEGEND

- EXISTING WALLS RETAINED
- EX. DOORS
- NEW WALLS
- NEW DOORS

Project North

PROPOSED SHED PLAN

SCALE 1:100

0mm

1000

2000

3000

4000

5000

ALTERATIONS/ADDITIONS & OUTBUILDING

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PRINT DATE:
16/09/2025

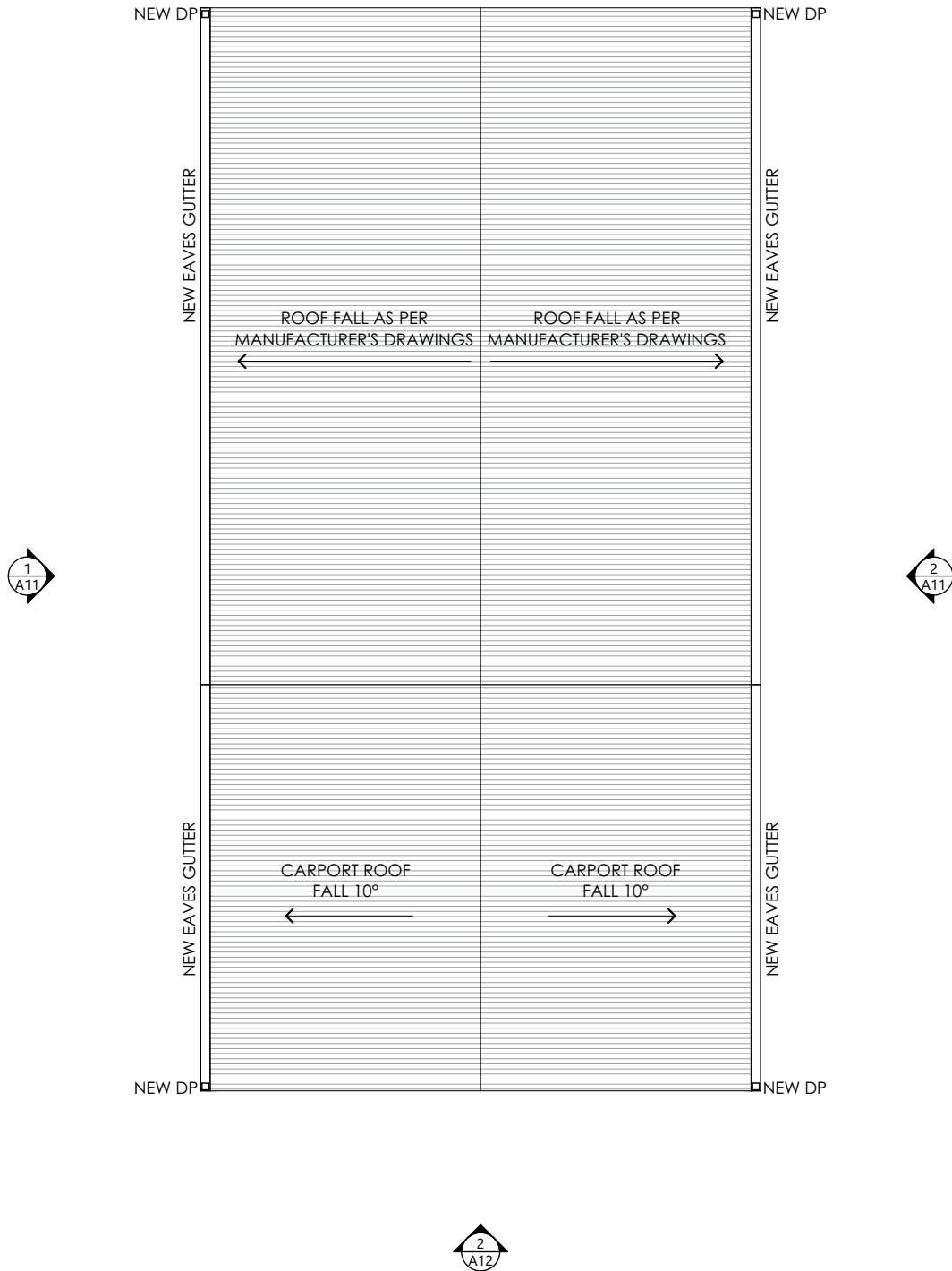
rev.		Amendment	Date
DRAWING No:		A09	10 of 13
ISSUE: APPROVAL		REV: 0	

Project North

0mm10002000300040005000

PROPOSED SHED AND CARPORT
ROOF PLAN

SCALE 1:100



ROOF PLAN NOTES

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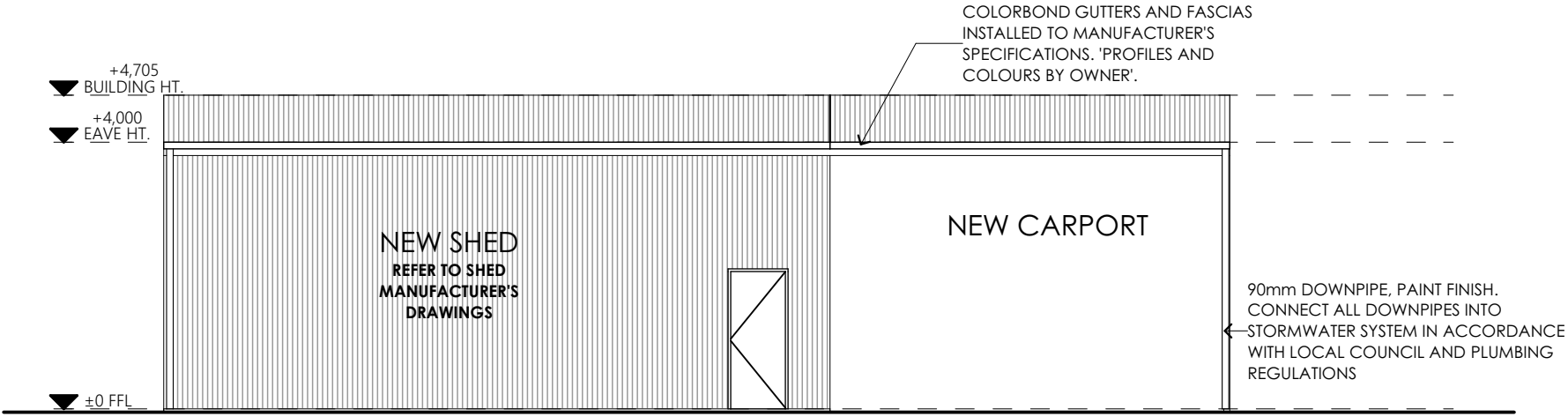
Owner: J. R. KERR		
rev.	Amendment	Date
DRAWING No: A10		ISSUE: APPROVAL
11 of 13		REV: 0

ALTERATIONS/ADDITIONS & OUTBUILDING

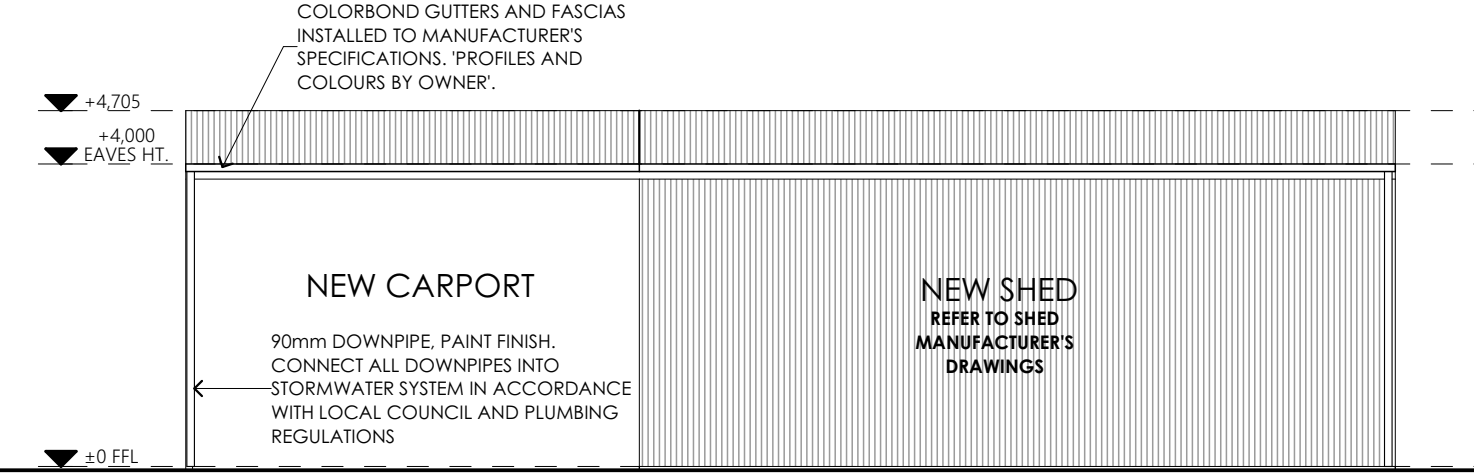
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1 SHED NORTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 SHED SOUTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

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Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

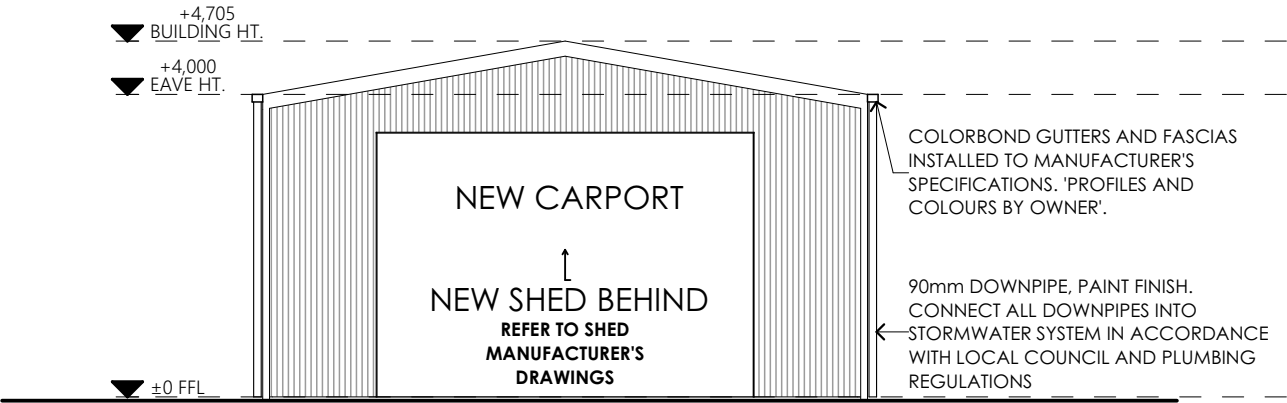
Owner:
J. R. KERR

rev.	Amendment	Date
DRAWING No:		ISSUE: APPROVAL
A11		REV: 0
12 of 13		

ALTERATIONS/ADDITIONS & OUTBUILDING
3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:
25098	SCALE @ A3	16/09/2025



2 SHED WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

ELEVATION NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS , SEALS , FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.

PLANS
TOBUILD

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
J. R. KERR

rev.	Amendment	Date

ALTERATIONS/ADDITIONS & OUTBUILDING
3 BOOBYALLA DRIVE ANSONS BAY TAS 7264

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PROJECT NUMBER: 25098	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 16/09/2025	DRAWING No: A12	ISSUE: APPROVAL REV: 0
		13 of 13		

DEVELOPMENT APPLICATION - FIR RESPONSE

Project

Alterations, Additions & Outbuilding – 3 Boobyalla Dr, Ansons Bay Tas, 7264

The site

The site, a Torrens Title volume CT- 12275 Folio 9 and is located within the Low-Density zone of the Tasmanian - Launceston planning scheme, the scheme.

FIR Response

2.

The proposed new carport and new shed are to be located within 5m of both the side and rear boundary. The proposal will rely therefore on performance criteria. Please provide a written submission demonstrating how the proposed carport and shed will meet P2 of clause 10.4.3 Setback (Planning Scheme Viewer).

FIR P2 Response

The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(a) the topography of the site;

The Topography (cleared grassy and flat) enables the proposed shed & carport to be constructed with-out any major earthworks, while still maintaining full amenity to the existing dwelling

(b) the size, shape and orientation of the site;

The size, shape and orientation of the site enable the proposed shed & carport to be constructed while still maintaining full amenity to the existing dwelling. The Lot site of 1.750m² is large enough to accommodate the proposed new outbuilding and provide for adequate access.

(c) the setbacks of surrounding buildings;

The Setback of the Proposed new shed & carport is consistent with other similar sheds on adjoining properties that are located at or near the Boundary. It is deemed that no loss of amenity to adjoining properties will occur from the proposed new shed & carport.

(d) the height, bulk and form of existing and proposed buildings;

The size of the Proposed new shed & Carport is consistent with other similar sheds on adjoining properties that provide for the storage of vehicle and boats.

(e) the existing buildings and private open space areas on the site;

The Proposed shed & carport allows to maintain the existing Private open space directly associated with the existing dwelling

(f) sunlight to private open space and windows of habitable rooms on adjoining properties;

The proposed new shed & carport can be constructed while still maintaining full solar amenity to the existing dwelling

(g) the character of development existing on established properties in the area.

The proposed new shed is considered to be in Character with the existing surrounding proposed, many of which are of metal colorbond construction.

The modest dwelling extensions are deemed to meet the requirements of the scheme.

3.

The existing unpaved driveway is to be expanded as part of the proposed works. The proposal will rely therefore on performance criteria. Please provide a written submission demonstrating how the proposed driveway extension will meet P1 of clause C2.6.1 Construction of parking areas (Planning Scheme Viewer) and ensure that the surface material is clearly identified.

FIR P1 Response

All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

(a) the nature of the use;

The existing lot is grassed with a sand / fine gravel driveway, all weather Gravel road and access.

(b) the topography of the land;

The Topography (cleared grassy and flat) with easy level access and now change in gradients

(c) the drainage system available;

The existing lot is serviced by a stormwater drain that discharges to an open council swale drain to collect run-off.

(d) the likelihood of transporting sediment or debris from the site onto a road or public place;

The existing lot is grassed with a sand / fine gravel driveway, all weather Gravel road and access. Grassed areas will trap any sediment.

(e) the likelihood of generating dust.

See as above (d)

(f) the nature of the proposed surfacing.

See as above (d)

Yours Faithfully

L.M. DELL

17.10.25