

Development Applications

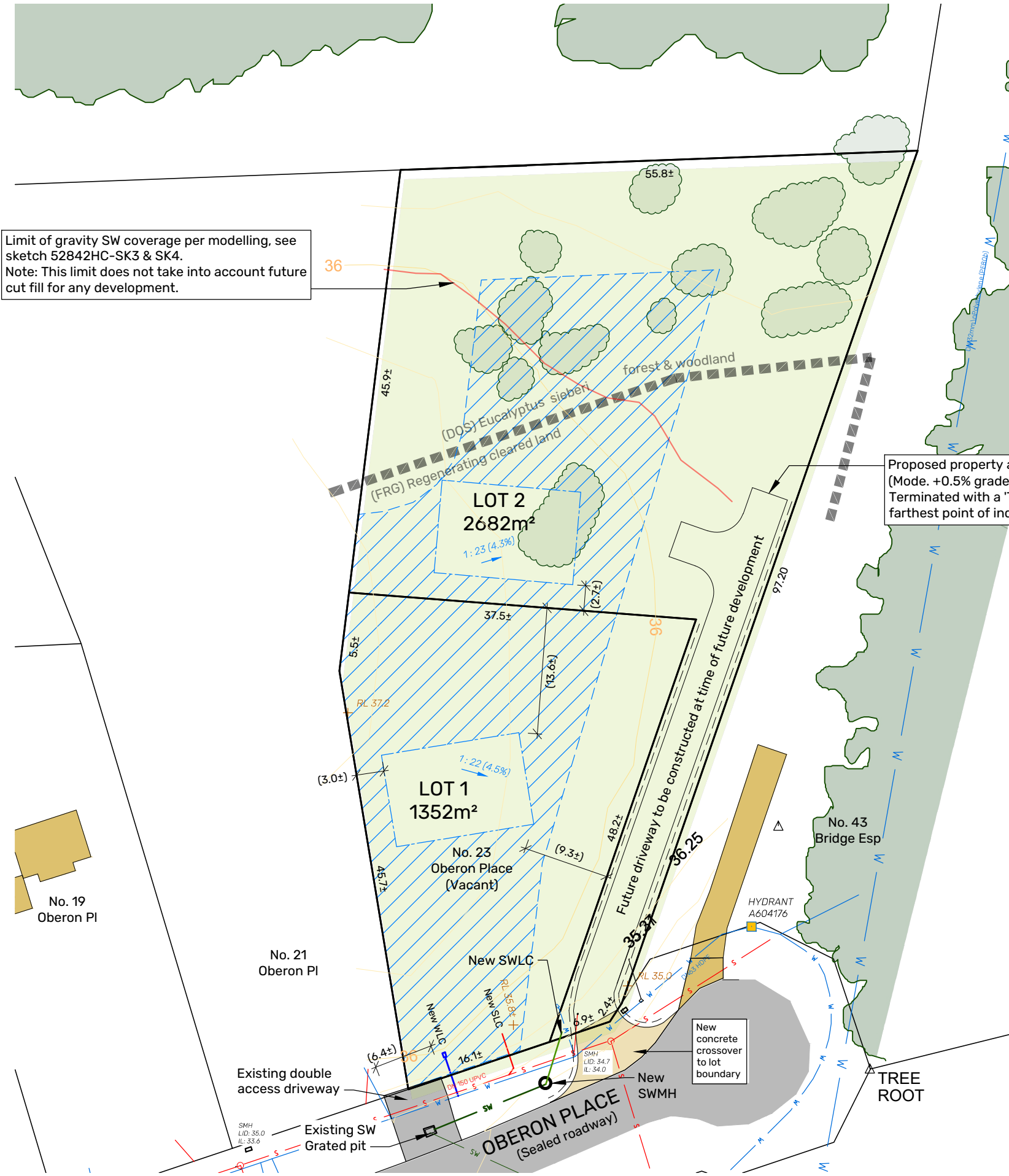
Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2024 / 00237
Applicant	PDA Surveyors, Engineers & Planners
Proposal	Residential - 2 Lot Subdivision
Location	23 Oberon Place, Scamander

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

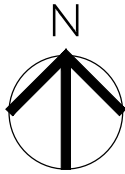
Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 12th July, 2025 **until 5pm Friday 25th July, 2025.**

John Brown
GENERAL MANAGER



Limit of gravity SW coverage per modelling, see sketch 52842HC-SK3 & SK4.
Note: This limit does not take into account future cut fill for any development.

Proposed property access greater than 30m.
(Mode. +0.5% grade. Max. +15%)
Terminated with a 'T' turning area within 90m of farthest point of indicative building area.



PLAN OF SUBDIVISION

Owners
Joanne Maree Field

Title References
FR 156731/8

Address
23 Oberon Place, Scamander

Council
Break O'Day Council

Tasmanian Planning scheme
Break O'Day Local Provisions Schedule

Zone
8 General Residential

Zone Overlay
7 Priority vegetation area
13 Bushfire-prone areas

PID
2948575

Point of interest Lat, Lon:
-41.462, 148.253

Schedule of Easements
SW Gravity disposal is limit to a level of 35.00m AHD.

NOTES

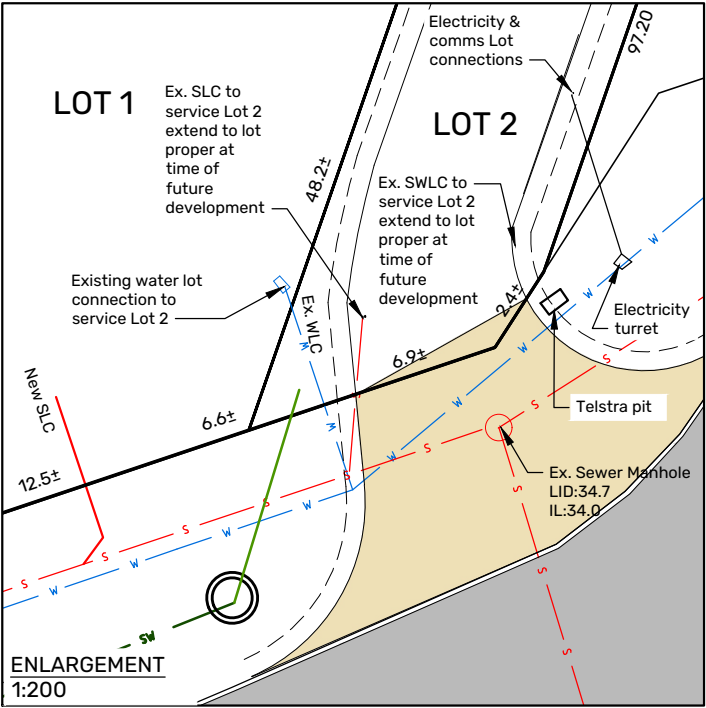
This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.

The Entire site is subject to the Bushfire-prone Areas Code & Priority Vegetation Overlay. These are not shown for plan clarity.

Digital Aerial Photo:
Scamander 10cm 2021
State of Tasmania
<https://nre.tas.gov.au/land-tasmania/aerial-photography>
CC BY 3.0

0.5m Contours
PER GNSS SURVEY WITH CONNECTION TO SPM10153

- LEGEND
- Title/Proposed Boundary
 - Surrounding boundary
 - Easement
 - 0.25m contour interval
 - TasWater Sewer
 - TasWater Water
 - Potential Priority Tree
 - Des Stormwater
 - Des Sewer
 - Des Water
 - SLC Sewer property service connection
 - SWLC Stormwater property service connection
 - WLC Water property service connection
 - 10 x 15m Indicative Build Area
 - Bal 19 Area (Livingston Natural Resource Services)



E	DRIVEWAY HATCH AMENDED & ONSITE SW AREA ADDED FOR LOT 2	HAC	06.02.25	HAC	NOTES: SURVEYOR GEOCIVIL DRAWN MK/NJA CHECKED HAC DATE 01 MAY 2025	PLAN OF SUBDIVISION 23 OBERON PLACE, SCAMANDER for JO FIELD	 SURVEYORS, ENGINEERS & PLANNERS 3 Franklin Street, Swansea, Tasmania, 7190 PHONE: +61 03 6130 9099 EMAIL: pda.east@pda.com.au www.pda.com.au Also at: Launceston, Devonport, Hobart & Kingston	SCALE	PAPER
D	SEWER AMENDED FOR LOT AS PER TW REQUEST DATED 13.12.2024	HAC	17.12.24	HAC				1:500	(A3)
C	UPDATE PLAN LOT 3 REMOVED	HAC/NJA	08.11.24	HAC				JOB NUMBER	DRAWING
G	SW GRAVITY LIMIT ADDED AND NOTE ADDED IN SCHEDULE OF EASEMENTS	HAC	29.05.25	HAC				52842HC-P1G	
F	SURVEY DATA AND CONCEPT SERVICING ADDED	NJA	01.05.24	HAC					
REV	AMENDMENTS	DRAWN	DATE	APPR.					



PDA

SURVEYORS, ENGINEERS & PLANNERS



Planning Report

23 Oberon Place, Scamander
2 Lot Subdivision

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PDA Contributors

Planning Assessment	Jane Monks	6 th December 2024
Review & Approval	Hugh Clement	6 th December 2024

Revision History

Revision	Description	Date
0	First Issue	6 th December 2024

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EXECUTIVE SUMMARY

Council approval is sought for a 2 lot subdivision at 23 Oberon Place, Scamander (CT 156731/8). This planning assessment, combined with supplementary documentation has been provided in support of the proposed development.

Development Details:

Client/Owner	Joanne Maree Field
Property Address	23 Oberon Place, Scamander
Proposal	2 lot Subdivision
Land Area	4034m ²

PID / CT	2948575	156731/8
Planning Ordinance	<i>Tasmanian Planning Scheme – Break O’Day</i>	
Land Zoning	8.0 General Residential Zone	
Specific Areas Plans	BRE-S2.0 Stormwater Management Specific Area Plan (N/A)	
Code Overlays	Priority Vegetation Bushfire-Prone Area	

Use Status	Residential
Application Status	Discretionary

1. Introduction/Context

Council approval is sought for a 2 lot subdivision at 23 Oberon Place, Scamander. In support of the proposal, the following associated documents have been provided in conjunction with this planning assessment:

- Title Plan and Folio: CT 156731/8
- Schedule of Easements
- Plan of Subdivision: PDA 52842HC – P1C
- Bushfire Hazard Assessment & Bushfire Hazard Management Plan prepared by Scott Livingston of Livingston Natural Resource Services
- Natural Assets Report prepared by Scott Livingston of Livingston Natural Resource Services

1.1. The Land

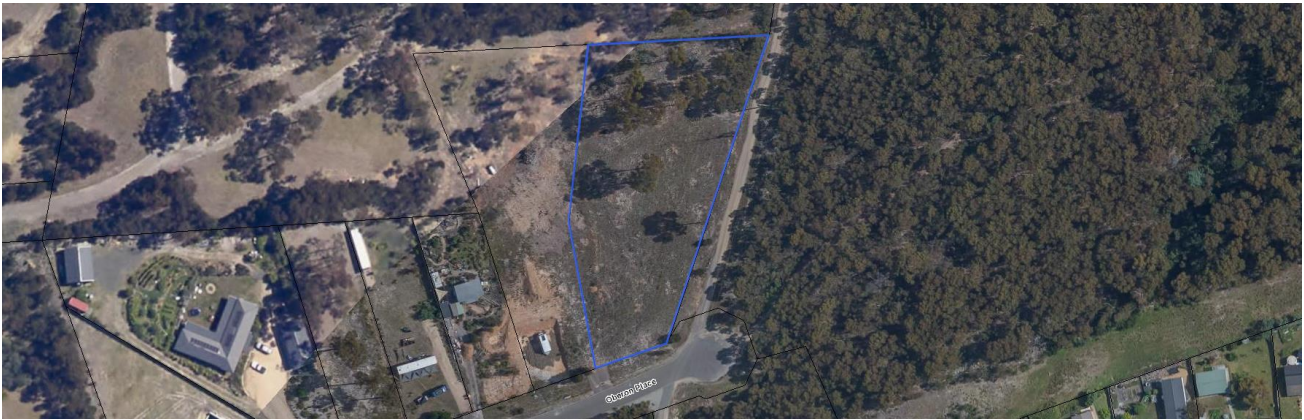


Figure 1. Existing topographic image of the subject land (LISTmap, 2024)

The subject land located at 23 Oberon Place, Scamander (PID: 2948575), is an irregularly shaped parcel with a land size of 4034m², as shown in Figure 1. The land is characterised by regenerating cleared land and is currently undeveloped with an existing access to Oberon Place.

1.2 Natural Values

A natural values assessment has been undertaken by Livingston Natural Resource Services to identify the ecological values of the land, and to ensure they are suitably considered and managed. A summary of the natural values can be found in the attached assessment report on page 2.

3. Planning Assessment

This current proposal for subdivision has been developed in accordance with the *Tasmanian Planning Scheme – Break O’Day*

3.1. Use Class

Residential

3.2 Zoning



Figure 3. Zoning identification of the subject land and surrounds (LISTmap, 2024)

The subject land is located entirely within the General Residential Zone, with a pocket of Environmental Management land to the north, and land zoned open space to the south, as illustrated in Figure 3.

3.3 Zone Standards – General Residential

8.6 Development standards for Subdivision

8.6.1 Lot design

Objective:

That each lot:

- (a) has an area and dimensions appropriate for use and development in the zone;
- (b) is provided with appropriate access to a road;
- (c) contains areas which are suitable for development appropriate to the zone purpose, located to avoid natural hazards; and
- (d) is orientated to provide solar access for future dwellings

Acceptable Solutions

A1

Each lot, or a lot proposed in a plan of subdivision, must:

- a) Have an area no less than 450m² and:
 - i. Be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5 clear of:
 - a. all setbacks required by the clause 8.4.2 A1 and A2 and A3, and 8.5.1 A1 and A2; and
 - b. easements of other title restrictions that limit or restrict development; and
 - ii. existing buildings are consistent with the setback required by clause 8.4.2 A1 and A2 and A3, and 8.5.1 A1 and A2;
- b) be required for public use by the crown, a council or state authority;
- c) be required for the provisions of Utilities; or be for the consolidation of a lot with another lot provided each lot is within the same zone

Response:

A1 is met: The proposal meets Acceptable Solution (a) as follows:

- (a) At 1352m²± and 2682m²±, each lot is greater than 450m². Each Lot has been provided with an indicative building area of 10m x 15m with a gradient no steeper than 1 in 5 and clear of all setback requirements of clause 8.4.2 (A1, A2, A3).

A2

Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 12m.

P2

Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to:

- (a) the width of frontage proposed, if any;
- (b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;
- (c) the topography of the site;
- (d) the functionality and useability of the frontage;
- (e) the ability to manoeuvre vehicles on the site; and
- (f) the pattern of development existing on established properties in the area, and is not less than 3.6m wide.

Response:

P2 is met: Each proposed lot satisfies the performance criteria as follows:

- (a) At 16.1m± and 9.3m±, the frontage of each lot is sufficient for intended residential use;
- (b) *Not applicable* as no right of carriageway is proposed;

- (c) The topography of the land was taken into consideration to provide a safe and functional access to the land;
- (d) Proposed frontages are both functional and usable for existing and future development and use;
- (e) Each frontage has ample space and ability for manoeuvring vehicles on site;
- (f) No frontage is less than 3.6m wide and in keeping with the existing pattern of development on neighbouring land.

A3

Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.

Response:

A3 is met: Each lot has been provided with a vehicular access from the boundary of the lot to the proposed road in accordance with the requirements of the road authority, as demonstrated in the attached Plan of Subdivision and concept engineering plans.

A4

Any lot in a subdivision with a new road, must have the long axis of the lot between 30 degrees west of true north and 30 degrees east of true north.

Response:

A4 is met: Each proposed lot contains an indicative building area that incorporates the long axis located between 30 degrees west of true north and 30 degrees east of true north, demonstrating the capacity for future use and development of each proposed lot.

8.6.2 Roads

Objective:

That the arrangement of new roads within a subdivision provides:

- (a) the provision of safe, convenient and efficient connections to assist accessibility and mobility of the community;
- (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; &
- (c) the efficient ultimate subdivision of the entirety of the land and of surrounding land.

Acceptable Solutions	
A1 The subdivision includes no new road.	P1 The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to: (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport;
Response: A1 is met: <i>Not applicable</i> as no new road is proposed.	

8.6.3 Services

Objective:	
That the subdivision of land provides services for the future use and development of the land	
Acceptable Solutions	Performance Criteria
A1 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a full water supply service.	
Response: A1 is met: Each proposed lot is to be connected to the local water supply service, as illustrated in the attached Plan of Subdivision.	

A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.
Response: A2 is met: Each proposed lot is to be connected to the reticulated sewerage system as illustrated in the attached Plan of Subdivision.

A3

Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.

Response:

A3 is met: Each proposed lot will drain into the proposed stormwater system, as illustrated in the attached Plan of Subdivision.

3.4 Codes



Figure 4. Scheme Overlay identification of the subject land and surrounds (LISTmap, 2024)

The subject land is overlaid with a Bushfire Prone Area, and Priority Vegetation Area, as illustrated in Figure 4. Whilst the proposed subdivision also requires the following Codes under the *Tasmanian Planning Scheme – Break O’Day* to be considered.

Code	Comments:
C1.0 Signs Code	N/A
C2.0 Parking and Sustainable Transport Code	As this Code is relevant to this proposal, an assessment is provided below
C3.0 Road and Railway Assets Code	As this Code is relevant to this proposal, an assessment is provided below
C4.0 Electricity Transmission Infrastructure	N/A
C5.0 Telecommunications Code	N/A
C6.0 Local Historic Heritage Code	N/A
C7.0 Natural Assets Code	Please refer to the attached Natural Assets Report prepared by Scott Livingston of Livingston Natural Resource Services
C8.0 Scenic Protection Code	N/A
C9.0 Attenuation Code	N/A
C10.0 Coastal Erosion Hazard Code	N/A
C11.0 Coastal Inundation Hazard Code	N/A
C12.0 Flood-Prone Areas Hazard Code	N/A
C13.0 Bushfire-Prone Areas Code	Please refer to the attached <i>Bushfire Hazard Report</i> prepared by Scott Livingston of Livingston Natural Resource Services
C14.0 Potentially Contaminated Land Code	N/A
C15.0 Landslip Hazard Code	N/A
C16.0 Safeguarding of Airports Code	N/A

3.5 Code Standards

C2.0 Parking and Sustainable Transport Code

C2.6 Development Standards for Buildings and Works

C2.6.3 Number of accesses for vehicles

Objective:
<p>That:</p> <ul style="list-style-type: none"> (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses; (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and (c) the number of accesses minimise impacts on the streetscape.
Acceptable Solutions
<p>A1</p> <p>The number of accesses provided for each frontage must:</p> <ul style="list-style-type: none"> (a) be no more than 1; or (b) no more than the existing number of accesses, whichever is the greater.
Response:
<p>A1 is met: Each lot has no more than one vehicle access point per road frontage.</p>

C3.0 Road and Railway Assets Code

Please refer to the attached Traffic Impact Assessment prepared by Richard Burke of Traffic & Civil Services, and *PDA 48556HC -ENG Concept Engineering Design*, for road plans, long sections, and cross sections provided in support of the arrangement and construction of the proposed roads.

C3.7 Development Standards for subdivision

C3.7.1 Subdivision for sensitive uses with a road or railway attenuation area

Objective:
<p>To minimise the effects of noise, vibration, light and air emissions on lots for sensitive uses within a road or railway attenuation area, from existing and future major roads and the rail network.</p>
Acceptable Solutions
<p>A1</p> <p>A lot, or a lot proposed in a plan of subdivision, intended for a sensitive use must have a building area for the sensitive use that is not within a road or railway attenuation area.</p>
Response:
<p>A1 is met: <i>Not applicable</i> - the proposal is not within any road or railway attenuation area.</p>

C7.0 Natural Assets Code

A Natural Values Assessment has been prepared and supplied in support of the proposed subdivision. Please refer to pages 2-3 of the attached report prepared by Scott Livingston for an overview of the land's natural values, and assessment conclusion located on page 3.

C13.0 Bushfire-Prone Areas Code

A Bushfire Hazard Assessment and Bushfire Hazard Management Plan has been prepared and supplied in support of the proposed subdivision. Please refer to pages 3 - 6 of the Bushfire Hazard Report prepared by Scott Livingston, while the Bushfire Hazard Management Plan can be located on page 11 of the attached report.

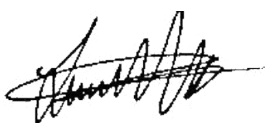
Conclusion

The planning assessment and supporting documentation provided, demonstrates that the development proposal for a 2 lot subdivision at 23 Oberon Place, Scamander, meets all requirements of the *Tasmanian Planning Scheme - Break O'Day*

Yours faithfully,

PDA Surveyors, Engineers & Planners

Per:



Jane Monks
PLANNER

Contact

For any enquiries, please contact one of our offices:

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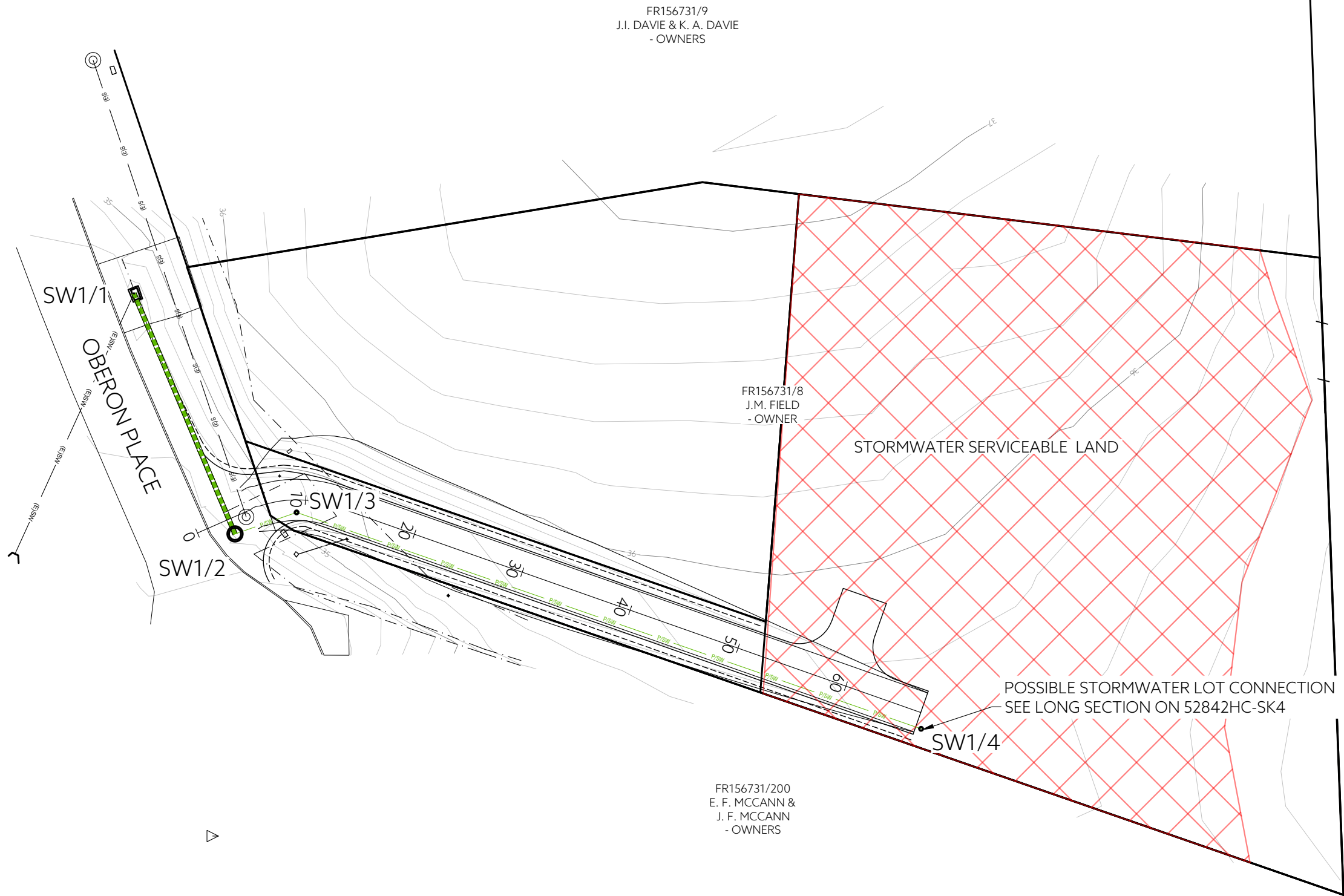
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WALTER SURVEYS


A: 127 Bathurst Street, Hobart, TAS 7000 (Civil Site Surveying and Machine Control)

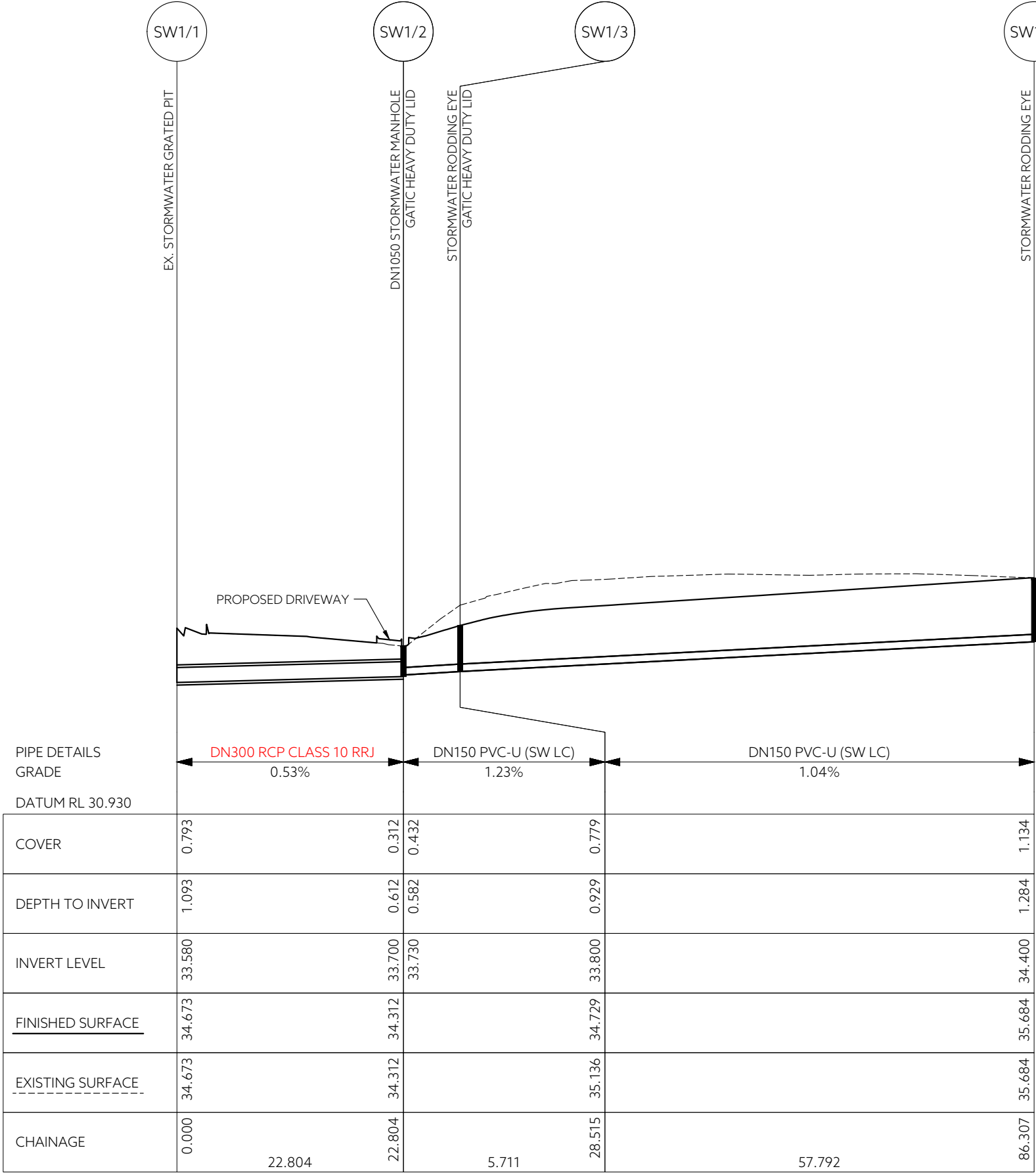
P: 0419 532 669 (Tom Walter)

E: tom.walter@waltersurveys.com.au




SW LEGEND:	
	NEW STORMWATER
	EX. STORMWATER
	EX. SEWER
	EX. WATER
	OVERHEAD ELECTRICAL
	EX. FENCE
	TOP/TOE BANK
	EX. ELECTRICITY POLE
	STORMWATER SERVICEABLE LAND

				DRAWING STATUS:		DESIGNED: RD		REVIEWED: HC		CLIENT: JO FIELD PROJECT DESCRIPTION: 3 LOT SUBDIVISION ADDRESS: 23 OBERON PLACE, SCAMANDER, 7215 DRAWING TITLE: PRELIM STORMWATER PLAN -		<div><div>PDA SURVEYORS, ENGINEERS & PLANNERS</div></div> <div>3 Franklin Street, Swansea, Tasmania, 7190 PHONE: +61 03 6130 9099 EMAIL: pda.east@pda.com.au www.pda.com.au Also at: Launceston, Devonport, Hobart & Kingston</div>		CONTRACT NO. -----		SCALE AS SHOWN		PAPER (A3)			
				COORDINATE/ DATUM: PLANAR GDA2020		DRAWN: RD		REVIEWED: HC						JOB NUMBER		DISCIPLINE		SHEET		REVISION	
						JOB MANAGER: HUGH CLEMENT															
REV AMENDMENTS				DRAWN DATE APPR.		THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED		ISSUED DATE: 19/06/2025								REGISTRATION NUMBER: ----		52842HC		C SK3	



SW LS - LINE SW1
SCALE: HORIZ 1:500 VERT 1:100

				DRAWING STATUS:		DESIGNED: RD		REVIEWED: HC		CLIENT: JO FIELD PROJECT DESCRIPTION: 3 LOT SUBDIVISION ADDRESS: 23 OBERON PLACE, SCAMANDER, 7215 DRAWING TITLE: PRELIM STORMWATER LONG SECTION -		<div><div>3 Franklin Street, Swansea, Tasmania, 7190 PHONE: +61 03 6130 9099 EMAIL: pda.east@pda.com.au www.pda.com.au Also at: Launceston, Devonport, Hobart & Kingston</div></div> <div>SURVEYORS, ENGINEERS & PLANNERS</div>		CONTRACT NO. -----		SCALE AS SHOWN		PAPER (A3)			
				COORDINATE/ DATUM: PLANAR GDA2020		DRAWN: RD		REVIEWED: HC						JOB NUMBER		DISCIPLINE		SHEET		REVISION	
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PIPE LOAD SUMMARY SHEET

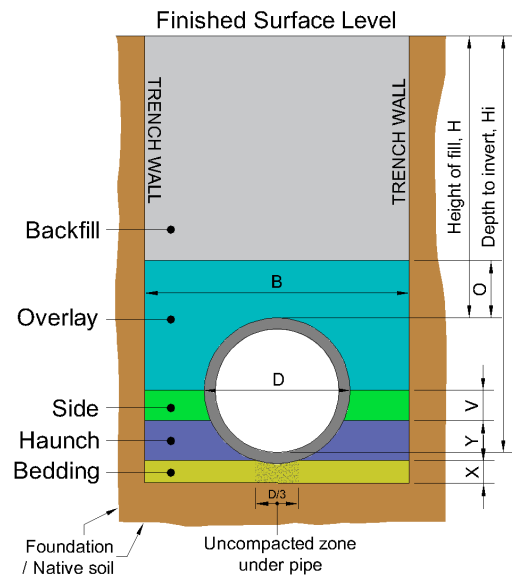
Page 1 of 2

Date: 19-Jun-2025

Design of 300 dia. Class 10 RRJ drainage pipe

PROJECT DETAILS	
Job number:	
Client:	
Project:	52842HC-Pipe Calcs
Description:	
Designer:	David Monks
Company:	

DESIGN PARAMETERS	
Installation Condition:	Trench
Pipe Nominal Diameter (mm):	300
Pipe External Diameter, D (mm):	362
Pipeline Orientation:	Perpendicular
Soil Type:	wet clay
Soil Density (kN/m ³):	20
Soil Parameter K _μ :	0.11
Trench Width, B (m):	0.662
Height Of Fill, H (m):	0.25
Support Type:	HS2
Bedding Factor:	2.5
Excavation volume (solid) (m ³ /m)	0.470



In Service Load Cases/Combinations Considered (controlling load case/combination highlighted)

Load Description*	Fill Height (m)	Wg/2.5	Wq/1.5	Ww/2.5	Tc	Pipe Class
Point load	0.25	3.2	8.5	0.3	12	2
earth + weight of internal water	0.25	3.2		0.3	3.5	2
W80(AS5100)	0.25	3.2	67.3	0.3	70.8	10
A160(AS5100)	0.25	3.2	67.3	0.3	70.8	10
earth + uniform surcharge load + weight of internal water	0.25	6.5		0.3	6.8	2

All loads in kN/m. *Includes earth load at fill height shown.

Controlling Loads: earth + W80(AS5100) + weight of internal water

Minimum Test Load: Tc = 6.5 + 67.3 + 0.3

Construction Load Cases/Combinations Considered

Load Description^	Allowable Fill Ranges (m)
CAT120H	0.150-0.250
CAT307	0.150-0.250

All loads in kN/m. ^Includes earth load at fill ranges shown.

PIPE LOAD SUMMARY SHEET

Page 2 of 2

Date: 19-Jun-2025

Adopt 300 dia. Class 10 RRJ pipe (300/10 RRJ) in accordance with AS/NZS 4058:2007.

Design Notes:

1. A nominal wall thickness of 31 mm has been assumed.

Bushfire Hazard Management Report: Subdivision

Report for: Joanne Field

Property Location: 23 Oberon Place, Scamander

Prepared by: Scott Livingston
Livingston Natural Resource Services

Date: 3rd December 2024
Version: 2



Summary

Client: Joanne Field

Current zoning: General Residential, Tasmanian Planning Scheme
– Break O’Day

**Property
identification:**

CT 156731/8, PID 2948575, 23 Oberon Place, Scamander

Proposal: A 2 lot subdivision is proposed from 1 lot.

**Assessment
by:**



Scott Livingston,
Master Environmental Management,
Natural Resource Management Consultant.
Accredited Person under part 4A of the Fire Service Act 1979:
Accreditation # BFP-105.

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Version	Date	Notes
1	13/9/2024	
2	3/12/2024	Revised layout (2 lots)

DESCRIPTION

A 2 lot subdivision is proposed from CT 156731/8, 23 Oberon Place, Scamander. The area is mapped Bushfire Prone in the Planning Scheme Overlays.

The lot is cleared with some retained tress and native understorey. There are no existing buildings on the site. Surrounding land to the north is a 6m wide grassed firebreak with woodland further to the north. Land to the east is forest. Land to the south is forest zoned open space, land to southwest and west is undeveloped general residential zoned land and is a mosaic of low threat and grassland. The subdivision has frontage to Oberon Place. The area is serviced by a reticulated water supply.

See Appendix 1 for maps and site plan, and appendix 2 for photographs.

BAL AND RISK ASSESSMENT

The land is mapped as Bushfire Prone in the planning scheme overlays. Each lot is capable of containing a building envelope of BAL 19.

Lot		North	East	South	West
1	Vegetation, within 100m of lot boundaries	0-20m grassland, 20-100m woodland	0-6m grassland (on lots), 6-19m grassland, 19-100m forest	0-12m low threat, 12- 60m grassland 60-100m low threat.	0-100m low threat
	Slope (degrees, over 100m)	Down slope 0-5°	Down slope 0-5°	Down slope 0-5°	Flat /upslope
	BAL rating existing vegetation	BAL FZ	BAL FZ	BAL 19	BAL Low
	BAL Rating with setbacks & HMA	BAL 19			
2	Vegetation, within 100m of lot boundaries	0-6m grassland, 6-100m woodland	0-10m grassland, 10-forest	0-46m grassland, 46-58m low threat, 58- 100m grassland /forest mosaic	0-40m grassland, 40-100m woodland / grassland mosaic
	Slope (degrees, over 100m)	Down slope 0-5°	Down slope 0-5°	Down slope 0-5°	Flat /upslope
	BAL rating existing vegetation	BAL FZ	BAL FZ	BAL 19	BAL FZ
	BAL Rating with setbacks & HMA	BAL 19			

BUILDING AREA BAL RATING

Setback distances for BAL Ratings have been calculated based on the vegetation that will exist after the development and management of land within the subdivision and has also considered slope gradients.

Where no setback is required for fire protection, other Planning Scheme setbacks may need to be applied.

The BAL ratings applied are in accordance with the Australian Standard AS3959-2018, *Construction of Buildings in Bushfire Prone Areas*, and it is a requirement that any habitable building, or building within 6m of a habitable building be constructed to the BAL ratings specified in this document as a minimum.

Bushfire Attack Level (BAL)	Predicted Bushfire Attack & Exposure Level
BAL-Low	Insufficient risk to warrant specific construction requirements
BAL-12.5	Ember attack, radiant heat below 12.5kW/m ²
BAL-19	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 12.5-19kW/m ²
BAL-29	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 19-29kW/m ²
BAL-40	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 29-40kW/m ²
BAL-FZ	Direct exposure to flames radiant heat and embers from the fire front

BUILDING SETBACKS

Setbacks from vegetation

	Slope	Grassland	Woodland	Forest
BAL 19	Flat/ Upslope	10m	15m	23m
	Down slope 0-5°	11m	18m	27m

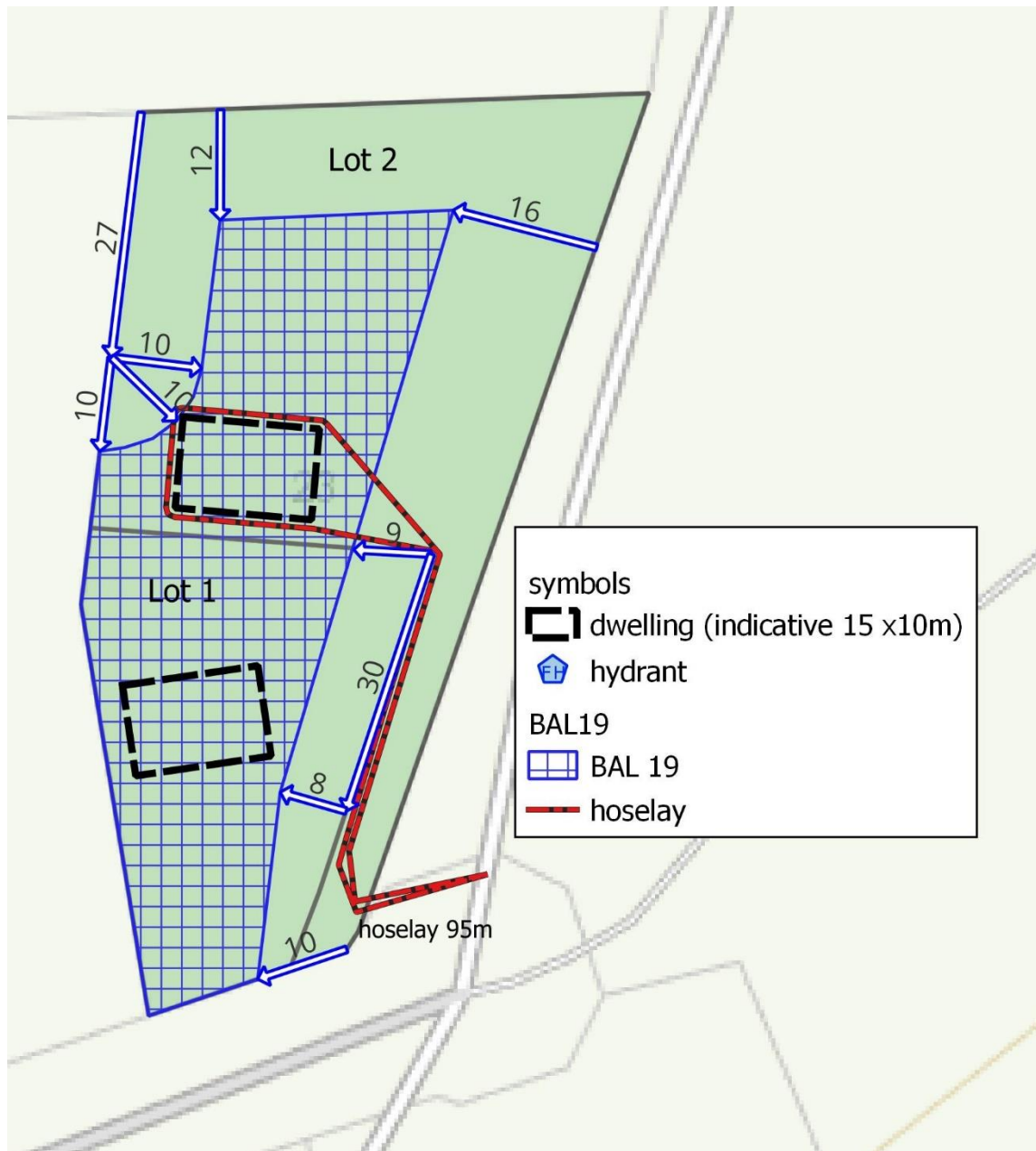


Figure 1: BAL Building Areas

HAZARD MANAGEMENT AREAS

All land within the lots must be managed as low threat from sealing of titles and maintained in perpetuity. Trees may be retained within the HMA provided that surface and near surface fuels (branches & leaf litter) are maintained at low fuel levels, trees do not form interlocking canopies and are pruned to at least 2m. Where shrubs are retained, they must not be under tree canopy.

ROADS

Lots will have frontage to Oberon Place, no roads are required to service the subdivision.

PROPERTY ACCESS

All building areas shown in the BHMP are within 120m hose lay of an existing hydrant. No access to water supply points is required.

WATER SUPPLY

The subdivision is serviced by a reticulated supply with a hydrant at the northern side of terminus of Oberon Place. No additional water supply requirements apply.

CONCLUSIONS

A 2 lot subdivision is proposed from CT 156731/8, 23 Oberon Place, Scamander. The area is mapped Bushfire Prone in the Planning Scheme Overlays.

All lots have building areas at BAL 19, all areas of lots 1 & 2 must be managed as low threat from sealing of titles and maintained in perpetuity. No access or water supply requirements apply.

REFERENCES

Tasmanian Planning Scheme – Break O’Day
Standards Australia. AS 3959-2018 *Construction of Buildings in Bushfire Prone Area.*



Figure 2: Location



Figure 3: Aerial Image



Figure 5: NW across lots from Oberon Place



Figure 6: West along northern boundary lot 2



Figure 7: NW across western boundary



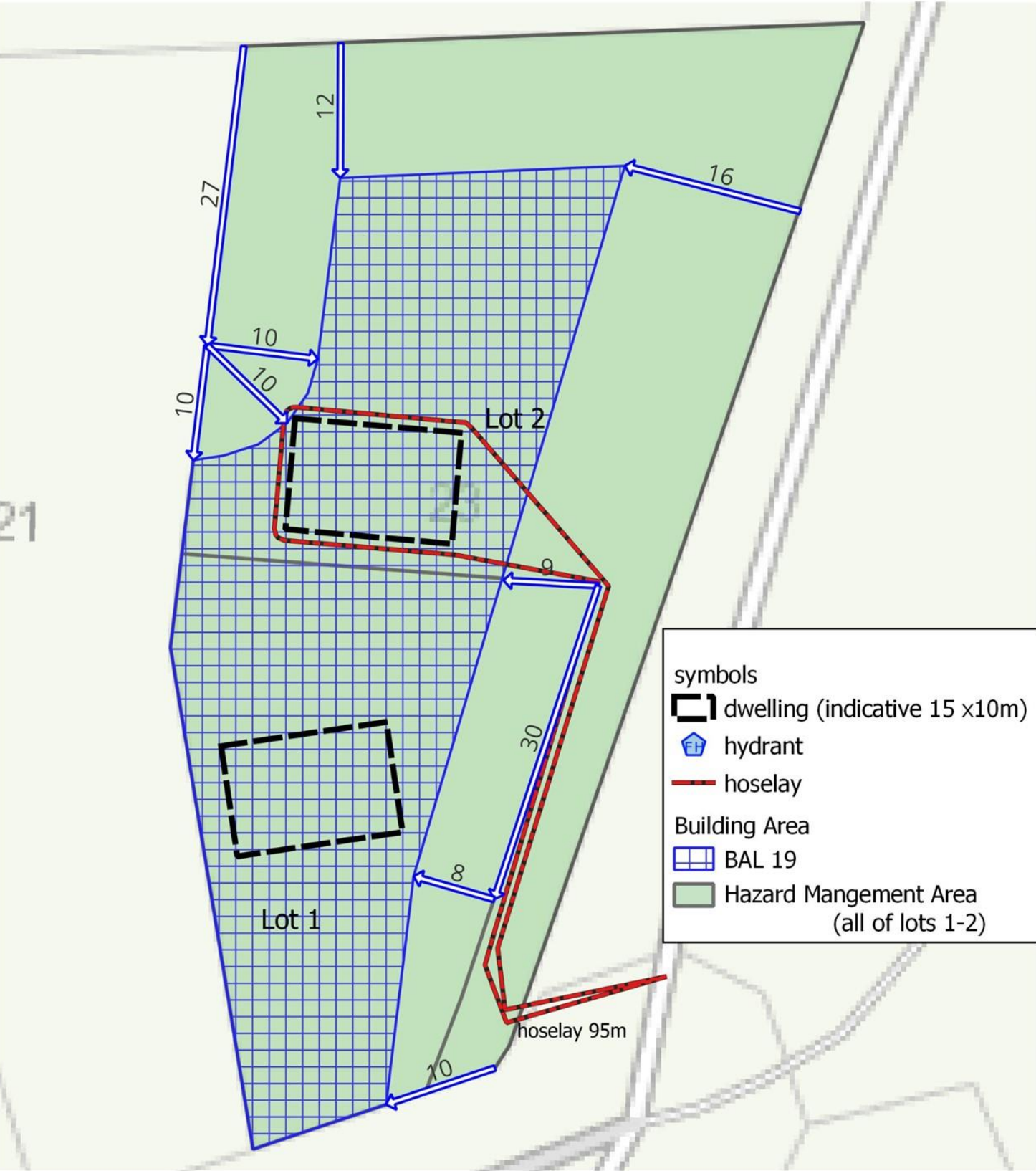
Figure 8: Southwest across lots

Bushfire Hazard Management Plan:

Construction: BAL 19 as shown

Buildings in Bushfire Prone Area to be built in accordance with the Building Code of Australia and Australian Standard AS3959.

Building setbacks / BAL ratings apply to habitable buildings (Class 1, 2 3, 8 or 9) and class 10a buildings within 6m of a habitable building



Proposed Development	2 lots from 1 title
Plan of Subdivision	PDA Surveyors
Property Owner	Joanne Field
Address	23 Oberon Place Scamander
CT	156731/8
PID	2948575

The following must be in place prior to sealing of titles and maintained in perpetuity:
Hazard Management Areas.

Hazard Management Areas (HMA)

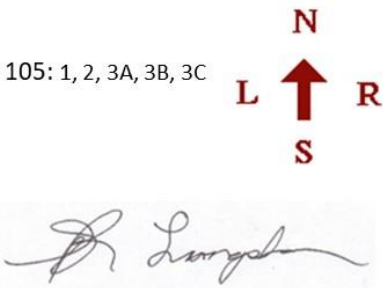
All land within the lots and within lots & 2 must be managed as low threat vegetation.

Low threat vegetation, includes maintained lawns (<100mm in height) gardens and orchards.

Trees may be retained within the HMA provided that, surface and near surface fuels (branches & leaf litter) are maintained at low fuel levels, trees do not form interlocking canopies and are pruned to at least 2m. Where shrubs are retained, they must not be under tree canopy.

This BHMP has been prepared to satisfy the requirements of the Tasmanian Planning Scheme – Break O’Day. This plan should be read in conjunction with the report titled: Bushfire Hazard Management Report 23 Oberon Place Scamander. v2 Livingston Natural Resource Services.

Scott Livingston
Accreditation: BFP – 105: 1, 2, 3A, 3B, 3C
Date 3/12/2024
SRL 24/53S2



BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

23 Oberon Place, Scamander

Certificate of Title / PID:

CT 156731/8, PID 2948575

2. Proposed Use or Development

Description of proposed Use and Development:

A 2 lot subdivision is proposed from CT 156731/8

Applicable Planning Scheme:

Tasmanian Planning Scheme – Break O’Day

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Bushfire Hazard Management Report 23 Oberon Place, Scamander	Scott Livingston	3/12/2024	2
Bushfire Hazard Management Plan 23 Oberon Place, Scamander	Scott Livingston	3/12/2024	2
Plan of Subdivision	PDA Surveyors	8/11/2024	P1C

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/>	E1.4 / C13.4 – Use or development exempt from this Code	
	Compliance test	Compliance Requirement

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

<input type="checkbox"/>	E1.4(a) / C13.4.1(a)	Insufficient increase in risk
--------------------------	----------------------	-------------------------------

<input type="checkbox"/>	E1.5.1 / C13.5.1 – Vulnerable Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/>	E1.5.2 / C13.5.2 – Hazardous Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/>	E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as ‘balance’)
<input type="checkbox"/>	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement

<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Property Access complies with relevant Tables.

<input type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk (Balance Lot)
<input type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input checked="" type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective Existing hydrants
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name:

Scott Livingston

Phone No:

0438 951 021

Postal Address:

PO Box 178, Orford, 7190

Email Address:

scottlivingston.lnrs@gmail.com

Accreditation No:

BFP – 105

Scope:

1, 2, 3A, 3B, 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- ☐ Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- ☒ The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier



Name:

Scott Livingston

Date:

3/12/2024

**Certificate
Number:**

SRL24/53S2

(for Practitioner Use only)

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcod

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
 Certificate of title No
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:



or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

- Bushfire Attack Level Assessment & Report

Relevant
calculations:

References:

Australian Standard 3959
Tasmanian Planning Scheme - Launceston
Building Amendment Regulations 2016

Director of Building Control, Determination

- Director's Determination for Bushfire Hazard Areas v1.1 2021

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level (BAL) to Australian Standards 3959

Assessed as -BAL 19

2. Bushfire Hazard Management Plan

Proposal is compliant with DTS requirements, Director's Determination for Bushfire Hazard Areas v1.2 2024

Scope and/or Limitations

Scope:

This report was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with Tasmanian Planning Scheme Bushfire-Prone Areas Code issued by the Tasmanian Planning Commission, the Building Code of Australia and Australian Standards, AS 3959-2018, Construction of buildings in bushfire-prone areas.

Limitations:

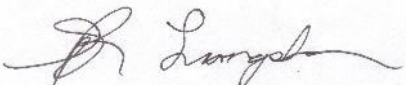
The inspection has been undertaken and report provided on the understanding that;-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed:



Certificate No:

SRL24/53S2

Date:

3/12/2024

Natural Assets Review

Report for: Joanne Field

Property Location: 23 Oberon Place, Scamander

Prepared by: Scott Livingston
Livingston Natural Resource Services

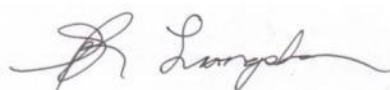
Date: 3rd December 2024
Version 2



Client:	Joanne Field
Property identification	CT 156731/8, PID 2948575 23 Oberon Place, Scamander Current zoning is General Residential (Tasmanian Planning Scheme - <i>Break O' Day</i>)
Landowner	Joanne Field
Proposal:	A 2 lot subdivision is proposed from 1 lot.

Assessment by:

Scott Livingston,



Master Environmental Management,
Forest Practices Officer (Planning)
Natural Resource Management Consultant.

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Introduction

The landowner is proposing a 2 lot subdivision of CT 156731/8, 23 Oberon Place, Scamander. The area is mapped as Priority Vegetation Area in Natural Assets Code overlays of the planning scheme.

A desktop review was undertaken followed by a field inspection on the 4th September 2024, with a revised Natural Values Atlas report on 6/9/2024.

Description

CT 156731/8, 23 Oberon Place, Scamander is a 4035m² general residential zoned lot on the northern edge of developed residential area, undeveloped general residential zoned land lies to the north and east. The site has been previously cleared and contains some remnant trees and native understorey that regularly slashed.

Natural Values

Vegetation

TASVEG 4.0 mapping shows the vegetation on the property to be (DSO) *Eucalyptus sieberi forest and woodland not on granite*, while Tasveg Live shows the southern portion of the lot to be (FRG) regenerating cleared land, with (DSO) *Eucalyptus sieberi forest and woodland not on granite* on the northern portion of the lot. The site visit indicates that ongoing disturbance (slashing) of the site and residential zoning would indicate attribution of the area to (FUM) urban miscellaneous may be more applicable.

Flora

No threatened flora species were identified in the site surveys. The Natural Values Atlas (DNRE, accessed 6/9/2024) shows 1 threatened flora species within 500m of the property. *Plantago debilis*, shade plantain, was recorded on the adjacent property to the NW in 2006. Whilst tolerant of disturbance it is considered unlikely the species occurs within the study area. The site is considered marginal habitat at best for other threatened species.

Fauna

The Natural Values Atlas has no records of threatened fauna within 500m of the property. Tasmanian devil, eastern quolls and wedge-tailed eagles may forage over the site, but it has no suitable nesting or denning habitat.

Tree Hollows

None of the trees in the study area are mature, they have no hollows development suitable for nesting.

Raptor Nests

There are no known nests for threatened raptors within 500m of the site. It is rated 1/10 in probability modelling for Eagle Nest (FPA), the presence of a nest in such close proximity to residential areas is doubtful.

Water Courses

The study area has no mapped watercourses.

Geoconservation Sites

There are no mapped geoconservation sites within the study area.

Acid Sulphate Soils

There are no mapped acid sulphate soils within the study area.

Existing Disturbance

The property has been cleared in the past and carries occasional regrowth trees and native understory species.

Clearing of Native Vegetation

Future buildings and infrastructure will require clearing of native vegetation from the site. Some native vegetation including trees may be retained subject to the conditions of the Bushfire Hazard management Plan.

Conclusions

The proposed lots and associated infrastructure will require the clearing of native vegetation. No threatened flora or fauna is known from the site. The site does not support a threatened vegetation community and is considered modified land. The vegetation to be removed does not meet the definition of Priority Vegetation as defined by the Natural Assets Code.

References

Department of Natural Resources and Environment (DNRET). (accessed 6/9/2024). *Natural Values Report, Derived from the Natural Values Atlas, online database.*

DNRET. Thelist.tas.gov.au , spatial datasets

C7.7 Development Standards for Subdivision

C7.7.2 Clearance within a priority vegetation area

A1: Each lot, or a lot proposed in a plan of subdivision, within a priority vegetation area must:

- a) be for the purposes of creating separate lots for existing buildings;
- (b) be required for public use by the Crown, a council, or a State authority;
- (c) be required for the provision of Utilities;
- (d) be for the consolidation of a lot; or
- (e) not include any works (excluding boundary fencing), building area, bushfire hazard management area, services or vehicular access within a priority vegetation area.

Response

A1 cannot be met.

P1.1

Each lot, or a lot proposed in a plan of subdivision, within a priority vegetation area must be for:

- (a) subdivision for an existing use on the site, provided any clearance is contained within the minimum area necessary to be cleared to provide adequate bushfire protection, as recommended by the Tasmanian Fire Service or an accredited person;*
- (b) subdivision for the construction of a single dwelling or an associated outbuilding;*
- (c) subdivision in the General Residential Zone or Low Density Residential Zone;*
- (d) use or development that will result in significant long term social and economic benefits and there is no feasible alternative location or design;*
- (e) subdivision involving clearance of native vegetation where it is demonstrated that on-going pre-existing management cannot ensure the survival of the priority vegetation and there is little potential for long-term persistence; or*
- (f) subdivision involving clearance of native vegetation that is of limited scale relative to the extent of priority vegetation on the site.*

Response

- c) The subdivision is in the General Residential Zone. P1.1 is met.

P1.2

Works associated with subdivision within a priority vegetation area must minimise adverse impacts on priority vegetation, having regard to:

- (a) the design and location of any works, future development likely to be facilitated by the subdivision, and any constraints such as topography or land hazards;
- (b) any particular requirements for the works and future development likely to be facilitated by the subdivision;
- (c) the need to minimise impacts resulting from bushfire hazard management measures through siting and fire-resistant design of any future habitable buildings;
- (d) any mitigation measures implemented to minimise the residual impacts on priority vegetation;
- (e) any on-site biodiversity offsets; and
- (f) any existing cleared areas on the site.

Response

- a) No topographic or land hazards known
- b) Works include roads, services building areas and hazard management area which are generally incompatible with tree retention in residential areas, subject to compliance with Bushfire Code provisions some trees may be able to be retained.
- c) BAL minimised to BAL 19,
- d) No mitigation measured considered necessary, not priority vegetation as defined by the Natural Assets Code occurs on the site.
- e) No biodiversity offsets are considered necessary due to small area of disturbance of non-priority vegetation.

P1.2 is met.

Appendix 1 – Maps



Figure 1: Location Map

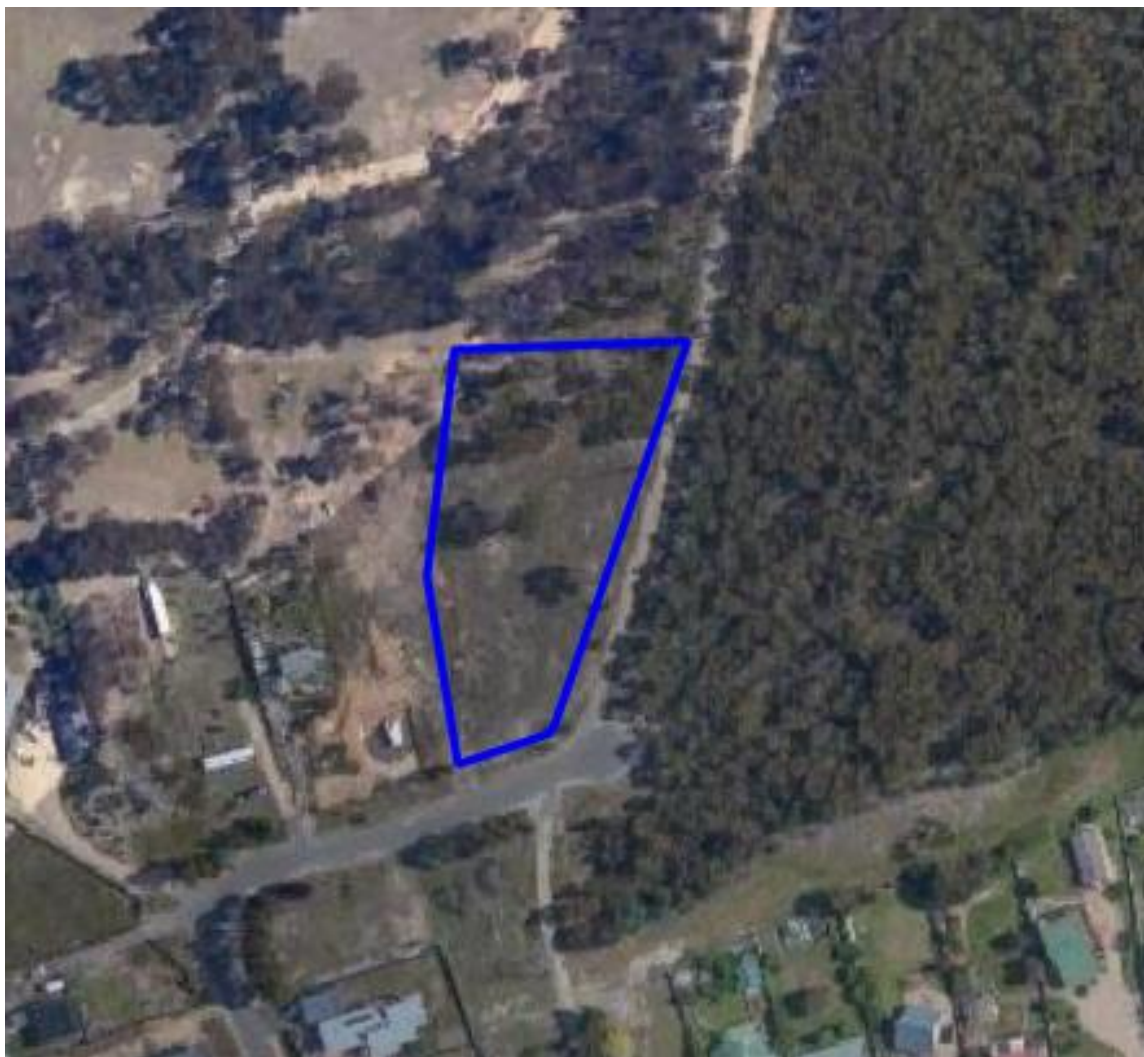


Figure 2: Aerial Image,
Natural Values Review

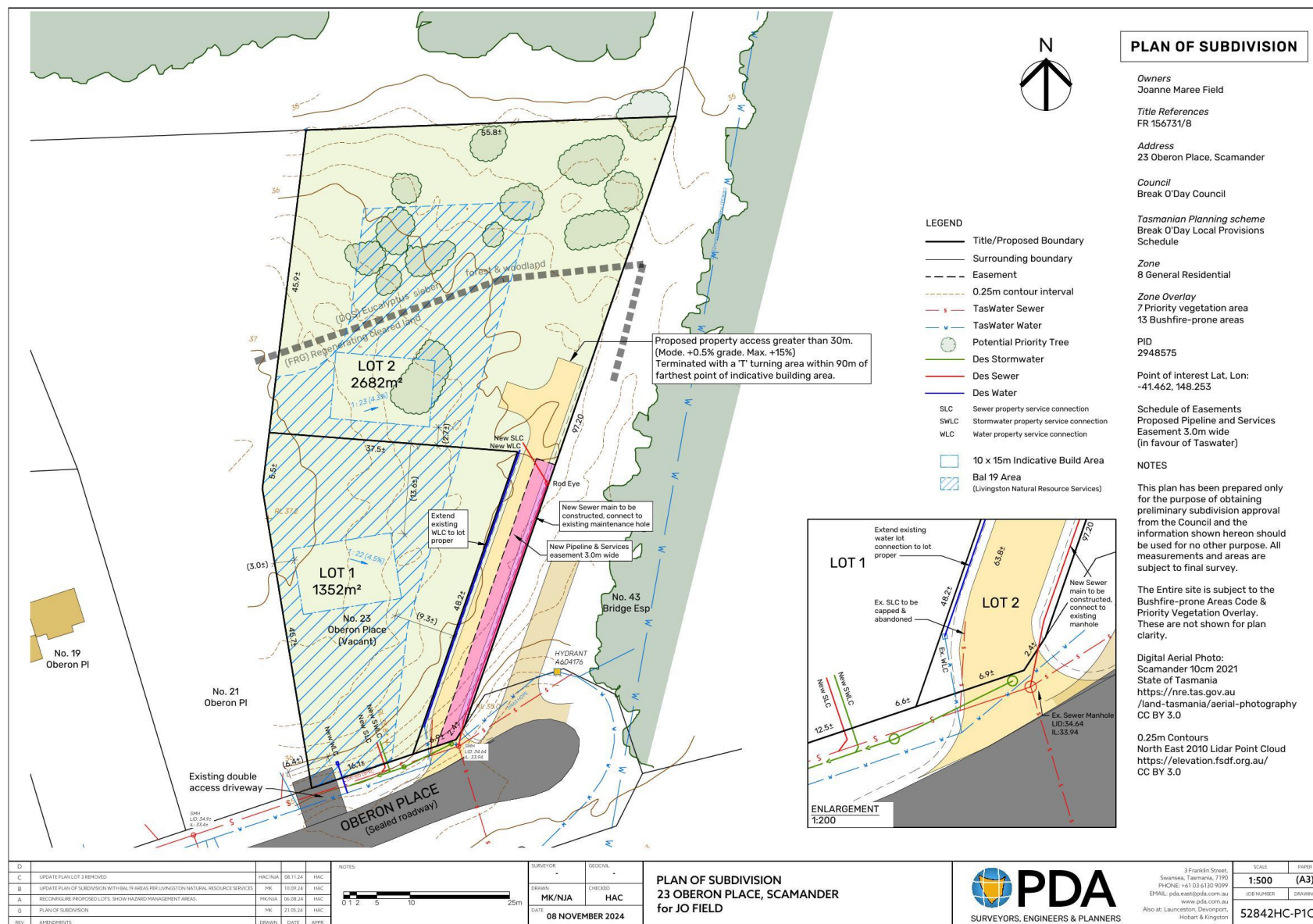


Figure 3: Proposed Subdivision plan



Figure 4: Vegetation Communities TasVegLive

Appendix 2 – Photos



Figure 5: retained trees on northern portion of lot



Figure 6: retained trees along western boundary

Attachments

Natural Values Atlas Report 6/9/2024