

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00019
Applicant	Ancher Architecture Office
Proposal	Residential – New Dwelling
Location	15 James Street, Falmouth

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 1st March 2025 until 5pm Monday 17th March 2025.

John Brown
GENERAL MANAGER

PROPOSED NEW DWELLING

PROJECT ADDRESS

15 JAMES ST, FALMOUTH, TAS

CLIENT

SIMON & LISA ANCHER

ARCHITECT

ANCHER ARCHITECTURE OFFICE

SURVEYOR

RADIAL SURVEYS

WASTEWATER CONSULTANT

ONSITE ASSESSMENTS TAS

DRAWING LIST

- DA.00 Drawing List & Project Information
- DA.01 Existing Site Plan
- DA.02 Proposed Site & Roof Plan
- DA.03 Proposed Floor Plan
- DA.04 Proposed Elevations
- DA.05 Proposed Elevations
- DA.06 Proposed Site Services Plan
- DA.07 Materials Schedule



GENERAL NOTES
 These drawings are to be read in conjunction with the specifications, structural engineers drawings and computations, geotechnical site investigation report and any other written instructions and drawings by other consultants.
 All work carried out is to comply with the BCA, Australian Standards, Local Authority and all Relevant Authorities Regulations, Statutory Requirements and By-laws.

Rev	Date	Description	Initial	Checked
01	13.02.2025	Development Application	GA	AA

15 JAMES ST, FALMOUTH
 SIMON & LISA ANCHER

Location Plan &
 Site information

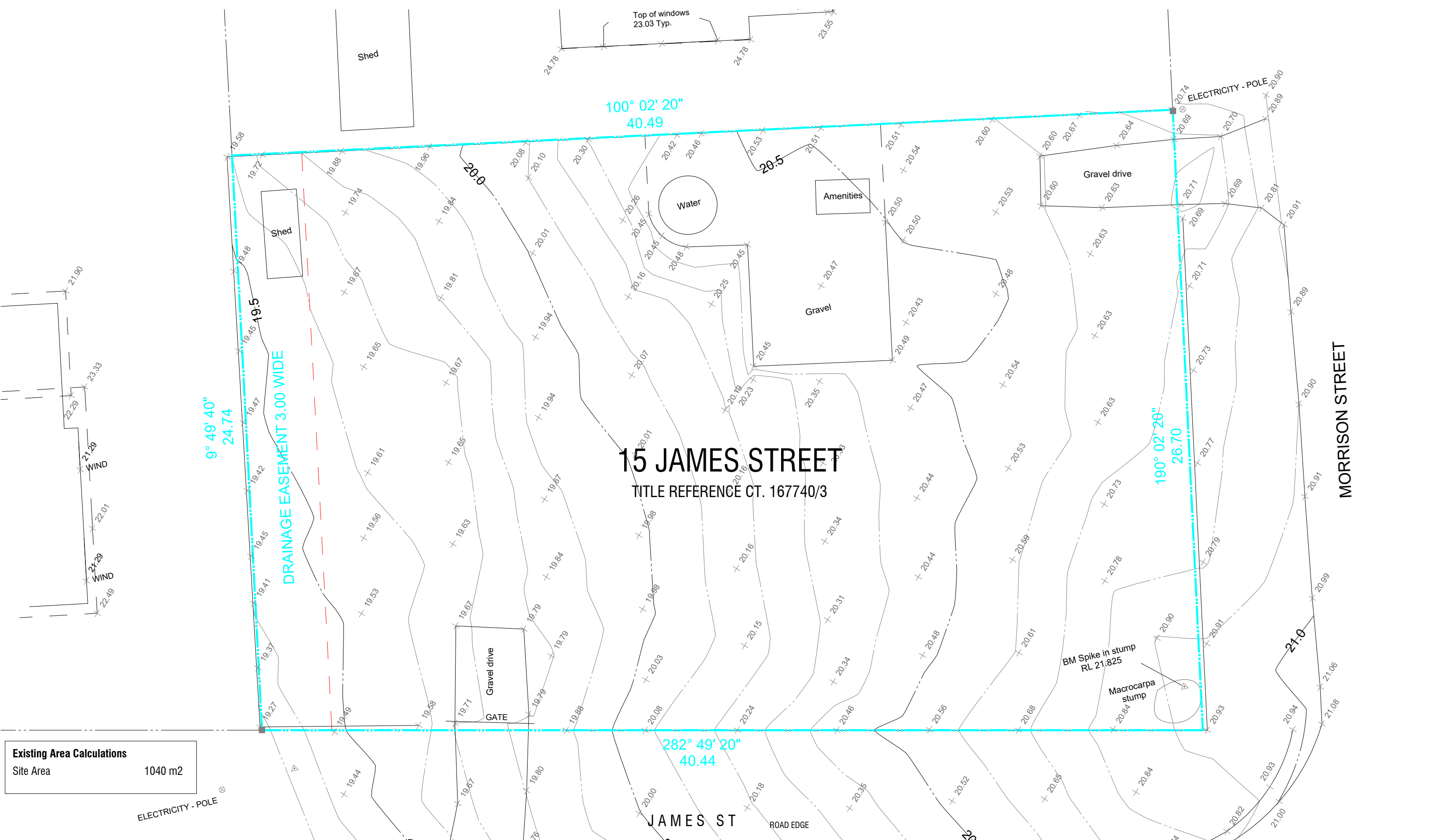


Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.
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 Do not scale drawings – refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
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Scale	1:150 @ A3
Drawn	AA Checked GA
Project No.	2012
Status	Development Application
Plot Date	
Plot File	
Drawing No.	DA.00 [Revision]
	01



ANCHER ARCHITECTURE OFFICE
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 M 0428 444 485
 email: anna@ancherao.com.au
 36 Frankston St Reservoir VIC 3073
 M 0400 183 237
 email: garth@ancherao.com.au



Existing Area Calculations
 Site Area 1040 m2

15 JAMES STREET
 TITLE REFERENCE CT. 167740/3

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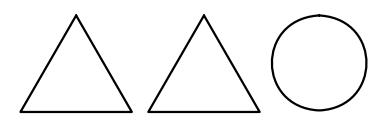
Rev	Date	Description	Initial	Checked
01	13.02.2025	Development Application	GA	AA

15 JAMES ST, FALMOUTH
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 Existing Site Plan

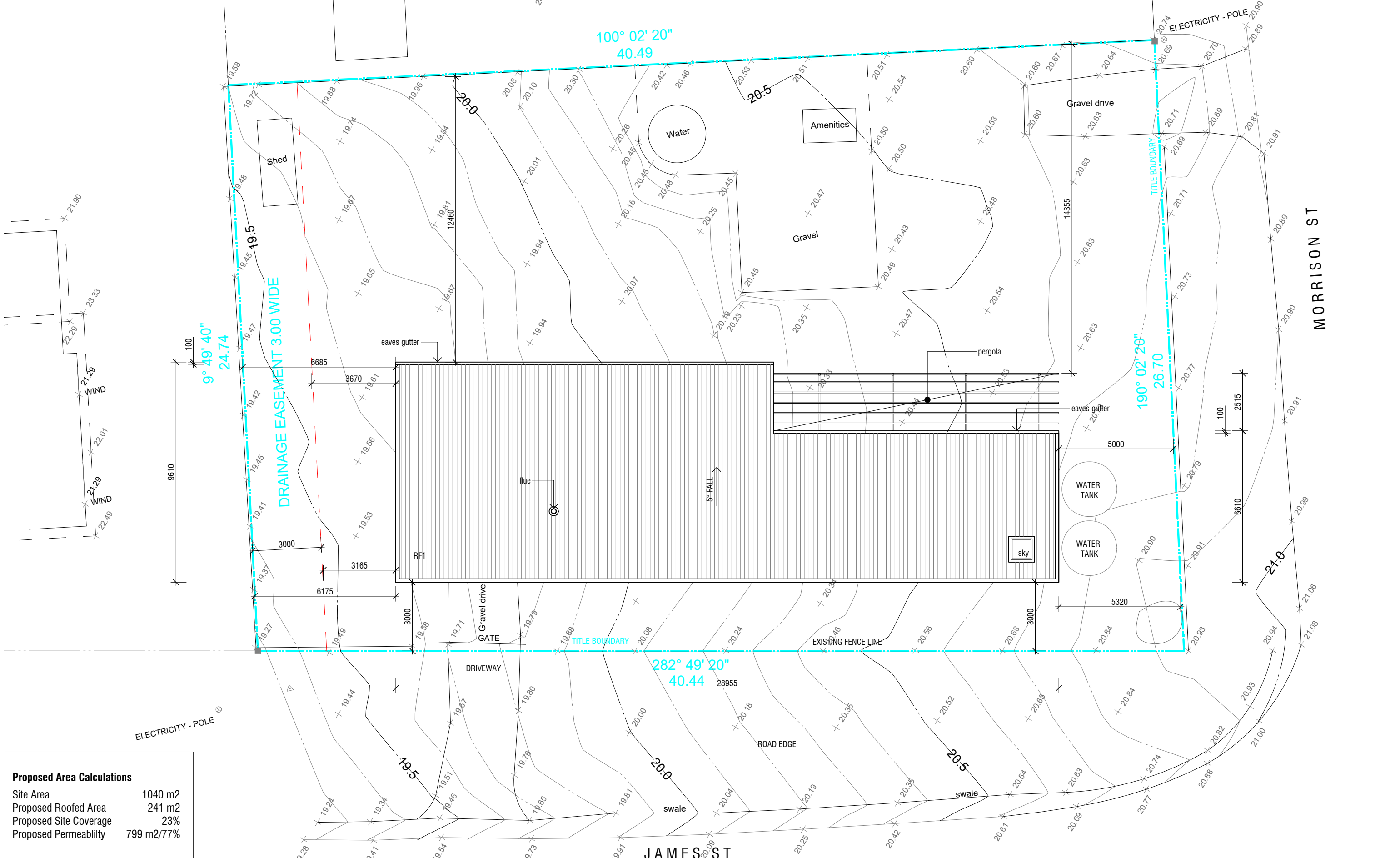


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Scale	1:150 @ A3		
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Project No.	2012		
Status	Development Application		
Plot Date			
Plot File			
Drawing No.	DA.01	[Revision]	01



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Proposed Area Calculations

Site Area	1040 m2
Proposed Roofed Area	241 m2
Proposed Site Coverage	23%
Proposed Permeability	799 m2/77%

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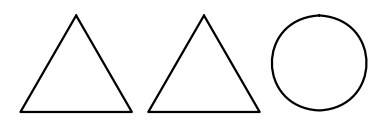
Rev	Date	Description	Initial	Checked
01	13.02.2025	Development Application	GA	AA

15 JAMES ST, FALMOUTH
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 Proposed Site & Roof Plan

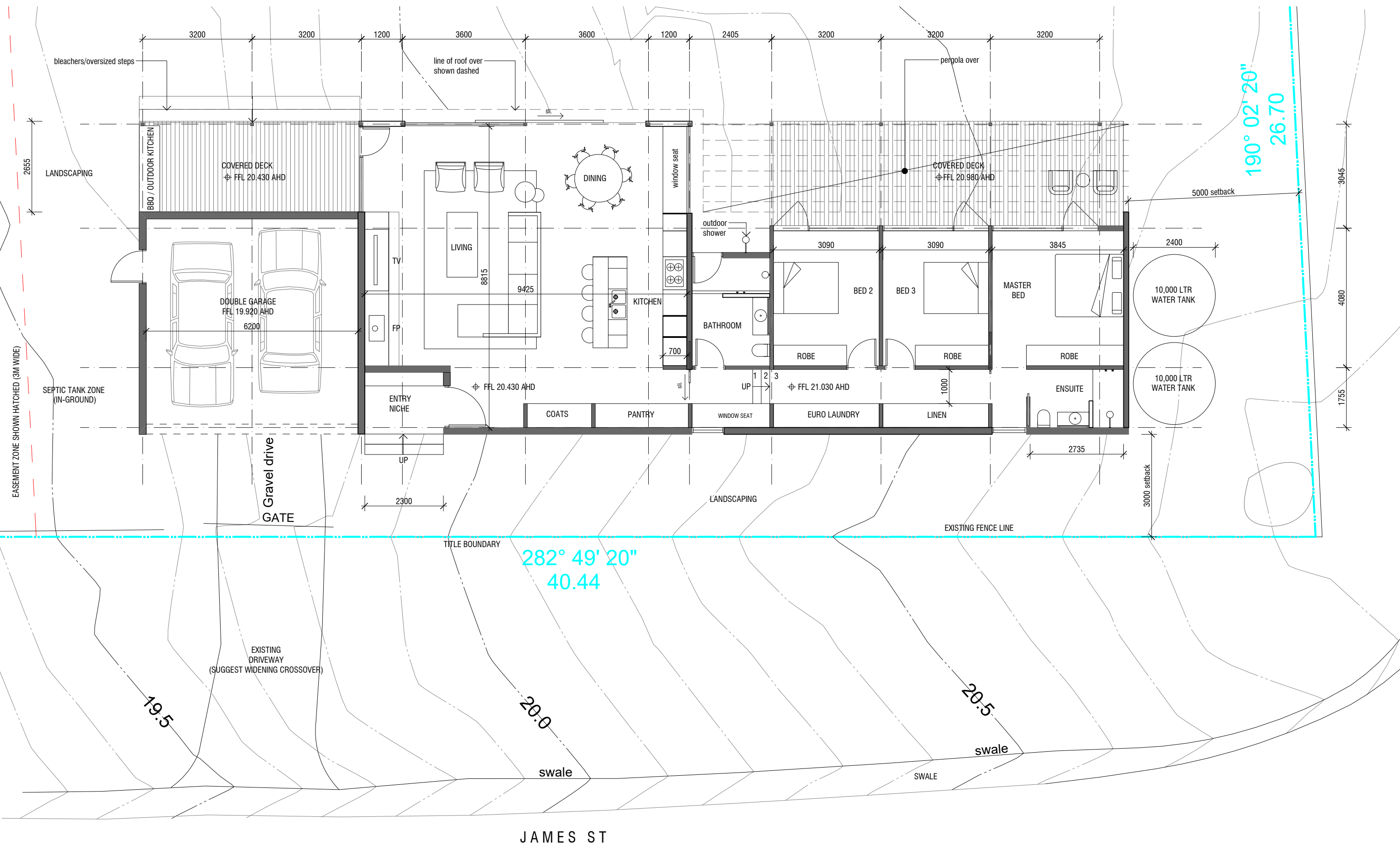


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Project No.	2012		
Status	Development Application		
Plot Date			
Plot File			
Drawing No.	DA.02	[Revision]	01



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PROPOSED AREA CALCULATIONS
 Proposed Floor Area 208m²

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15 JAMES ST, FALMOUTH
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 Proposed Floor Plan



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Scale 1:100 @ A3
 Drawn GA Checked AA
 Project No. 2012
 Status Development Application
 Plot Date
 Plot File
 Drawing No. DA.03 [Revision] 01

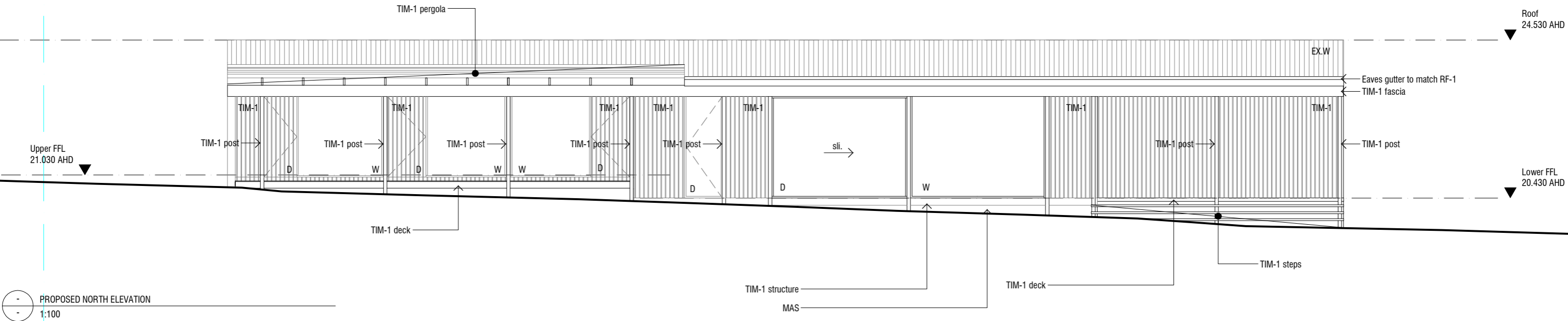
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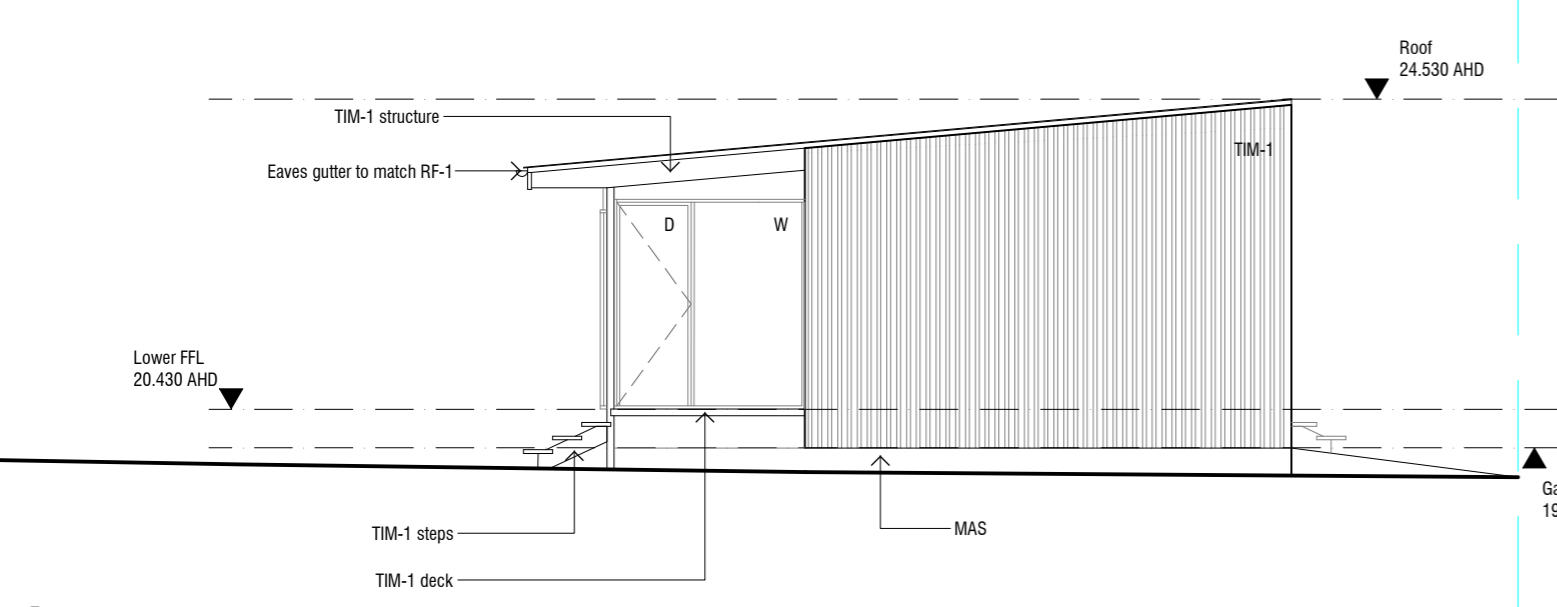
36 Frankston St Reservoir VIC 3073
 M 0400 183 237
 email: garth@ancherao.com.au

FINISHES LEGEND

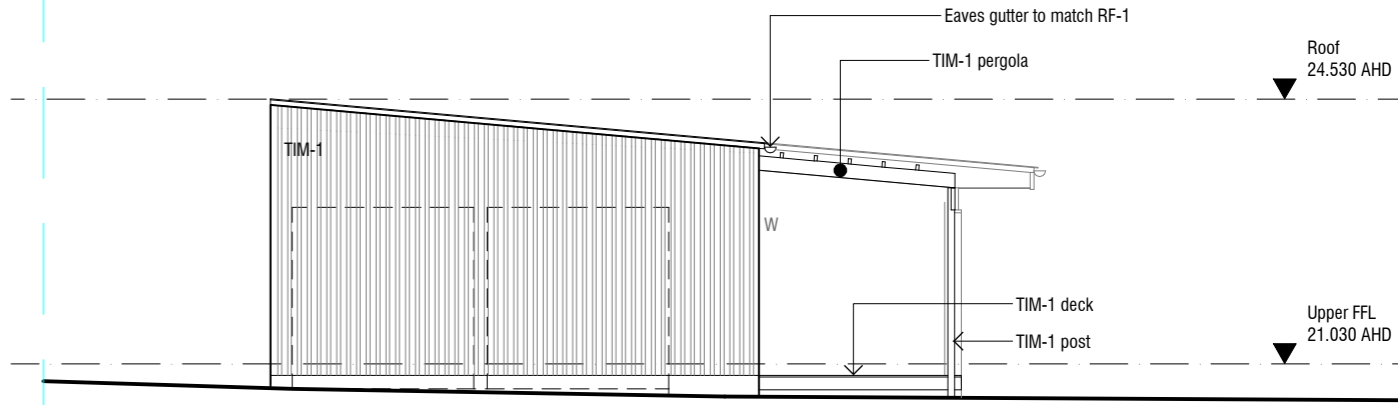
- RF-1 Colorbond roofing
- MAS Masonry, bagged
- TIM-1 Timber, natural finish
- D Door
- W Window



PROPOSED NORTH ELEVATION
1:100



PROPOSED WEST ELEVATION
1:100



PROPOSED EAST ELEVATION
1:100

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15 JAMES ST, FALMOUTH
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 PROPOSED NORTHERN, EASTERN & WESTERN ELEVATIONS

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Scale	1:100 @ A3		
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Project No.			
Status	Development Application		
Plot Date			
Plot File			
Drawing No.	DA.04	[Revision]	01

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FINISHES LEGEND

RF-1	Colorbond roofing
MAS	Masonry, bagged
TIM-1	Timber, natural finish
D	Door
W	Window



PROPOSED SOUTH ELEVATION
1:100

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15 JAMES ST, FALMOUTH
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 Southern Elevation

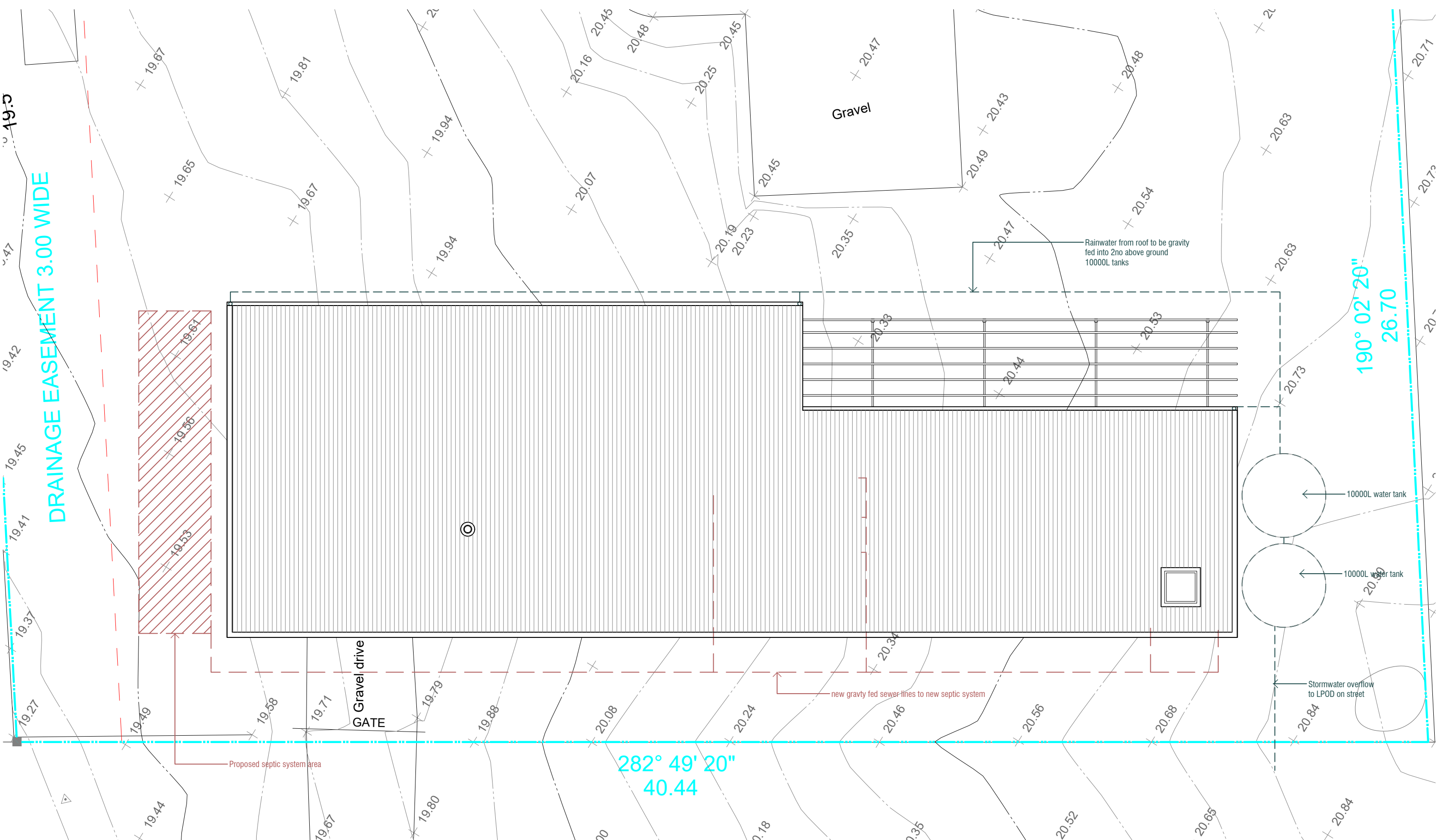


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Scale	1:100 @ A3
Drawn	GA
Checked	AA
Project No.	
Status	Development Application
Plot Date	
Plot File	
Drawing No.	DA.06
[Revision]	01

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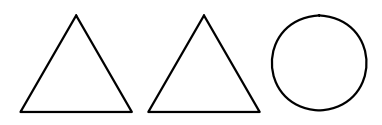
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15 JAMES ST, FALMOUTH
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 Proposed Site & Roof Plan



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Project No.	2012		
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Plot File			
Drawing No.	DA.06	[Revision]	01



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RF1 - Colorbond roofing



MAS - Bagged masonry, natural grey



TIM-1 - Native Australian hardwood timber, natural finish.

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Material Schedule



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Scale	NTS	
Drawn	AA	Checked GA
Project No.	2012	
Status	Development Application	
Plot Date		
Plot File		
Drawing No.	DA.07	[Revision] 01



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radian
SURVEYING
radian surveying Pty. Ltd.
p. 0407 152 366
e | admin@radiansurveying.com.au
w | radiansurveying.com.au
po box 7529 launceston tas 7250

notes:

1. This note forms an integral part of the survey data and should be read in conjunction with any use or presentation of the data.
2. Survey undertaken 16/06/2022.
3. The purpose of the survey is for residential dwelling design and should not be used for any other purpose.
4. Location: 15 JAMES STREET, FALMOUTH, TAS 7215
5. Title reference: CT. 167740/3
6. Underground assets not located.
7. Radian Surveying accepts no responsibility for any loss or damage caused by interference with, or conflicting design over, underground services, whether shown in this data, or not.
8. Coordinate datum plane based on GDA2020 coords at ST 584
9. Level datum AHD83 per GNSS connection to ST 584 (RL 14,803).
10. Contour interval 0.10m, index interval 0.50m.
11. Boundaries & any easements compiled only from SP.167740
12. Boundaries are indicative only and are subject to remark survey where proposed works are close to, or along boundaries.
13. Adjoining house levels to ridge lines, gutter heights or top of window openings where shown.

radian surveying Pty. Ltd.
p. 0407 152 366
e | admin@radiansurveying.com.au
w | radiansurveying.com.au
po box 7529 launceston tas 7250

radian
SURVEYING

SIMON & LISA ANCHER
15 JAMES STREET, FALMOUTH
EXISTING CONDITIONS - JUNE, 2022

Job	220508	Sheet	1/1
Drawing	220508_Detail_220616.dwg	Revision	0
Scale	1:200 AT A3	Date	20/06/2022
Drawn	SCB	Checked	SCB





13.02.2025

Break O'Day Council
34 Georges Bay Esplanade
St Helens
TAS 7216

Re: Proposed new dwelling 15 James St, Falmouth

To Whom it May Concern,

Please find our planning application for a new dwelling at 15 James St Falmouth, attached for your review and consideration.

The proposal consists of the following:

- New single dwelling consisting of 3 bedrooms, 2 bathrooms kitchen/living/dining area and 2 car garage
- New septic wastewater system
- 2no. 10,000L rain water tanks

Low Density Residential 10.0

The property is located in a Low Density Residential Zone 10.0 and is subject to no overlays.

10.4 Development Standards for Dwellings

Clause 10.4.1 Residential density for multiple dwellings

- not applicable

Clause 10.4.2 Building Height

A1 – the proposed dwelling does not exceed 8.5m in height

Clause 10.4.3 Setback

P1 – the new dwelling has a proposed setback of 3m to the main frontage on James St. This is broadly consistent with the streetscapes of James St and Morrison St. Most notably, the immediate neighbours at 25 James St and 8 Morrison St have street frontage setbacks of approximately 3m.

A2 – the new dwelling proposes a side and rear setback of at least 5m.

Clause 10.4.4 Site coverage

A1 – the proposal has a site coverage of 23%.

Clause 10.4.5 Front fences for all dwellings

A2 – there are no new fences proposed in this application.

Please don't hesitate to contact me if you require any further information.

We look forward to hearing from you,

Kind Regards,

A handwritten signature in blue ink, appearing to be 'GA', written in a cursive style.

Garth Ancher

Director

Ancher Architecture Office

garth@ancherao.com.au

0400 183 237

TAS Registered Architect Number 1082

TAS Building Practitioner Accreditation Number CC 7557

VIC Registered Architect Number 17356