

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number DA 2025 / 00008
Applicant S Lawes
Proposal Residential – Deck and Pergola (retrospective)
Location 84 High Street, Mathinna

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 12 April, 2025 **until 5pm Thursday 1 May, 2025**.

John Brown
GENERAL MANAGER

**AS CONSTRUCTED DECK & PERGOLA
84 HIGH ST, MATHINNA
FOR TERRY BELL**

SITE INFORMATION

BUILDING DESIGNER - STEPHEN LAWES
 ACCREDITATION - CC 4667 J
 LAND TITLE REFERENCE No - VOLUME 235136 FOLIO 1
 PID - 9017627
 LAND AREA - 894 m2

 DECK AREA - 64 m2

 CLIMATE ZONE - 7
 FLOODING - NO
 BAL RATING - EXEMPT
 CORROSION ENVIROMENT - MEDIUM

**PLANS TO RECTIFY
EXISTING DECK & PERGOLA**

DWG -SHEET 1 COVER SHEET
 DWG -SHEET 2 SITE PLAN
 DWG -SHEET 3 FLOOR PLAN
 DWG -SHEET 4 SUBFLOOR PLAN
 DWG -SHEET 5 ELEVATIONS
 DWG -SHEET 6 ELEVATIONS
 DWG -SHEET 7 SECTION A-A
 DWG -SHEET 8 ROOF PLAN
 DWG -SHEET 9 SPECIFICATION SHEET

SEE NOTES TO RECTIFY

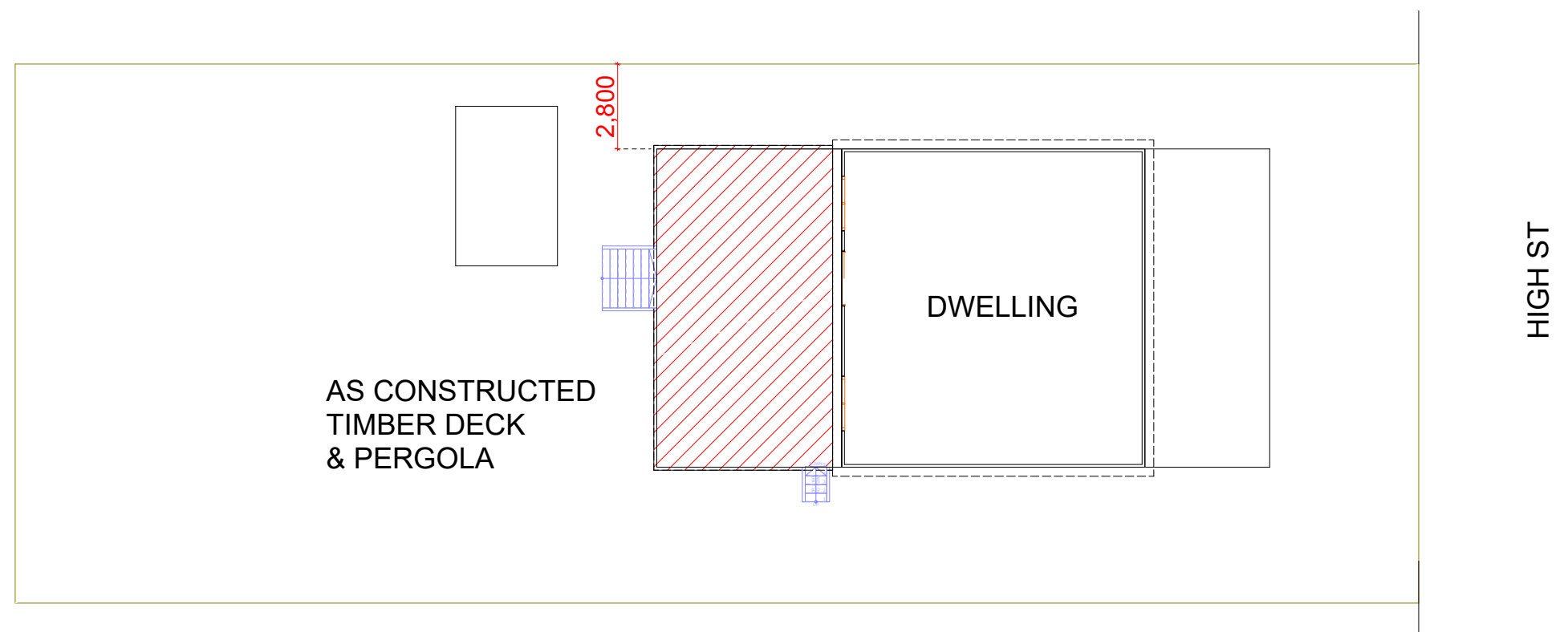
ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
 ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

**ADORN
DRAFTING**
 MBL 0413 235 160
 E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES
 CC 4667 J
 CATEGORY ABP I
 25 JILLIAN ST
 KINGSMEADOWS 7249
 DRAWN BY FC

AS CONSTRUCTED DECK & PERGOLA
 84 HIGH ST, MATHINNA
 FOR TIFFANY BELL

DRAWING	COVER SHEET
DATE	2/4/2025
DWG 737	SHEET 1
SCALE	1:100



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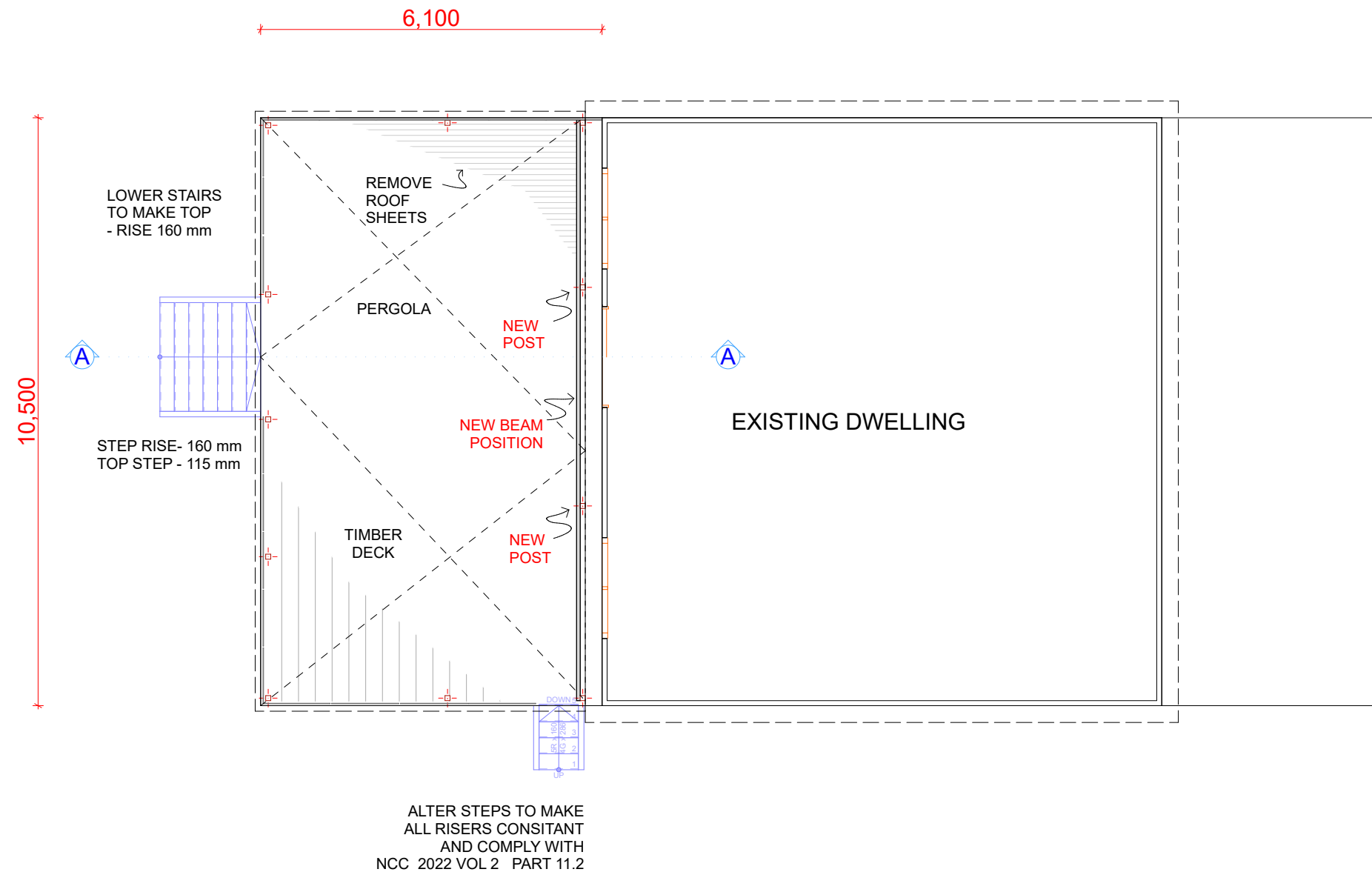
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DRAWING	SITE PLAN
DATE	2/4/2025
DWG 737	SHEET 2
SCALE	1:100

N



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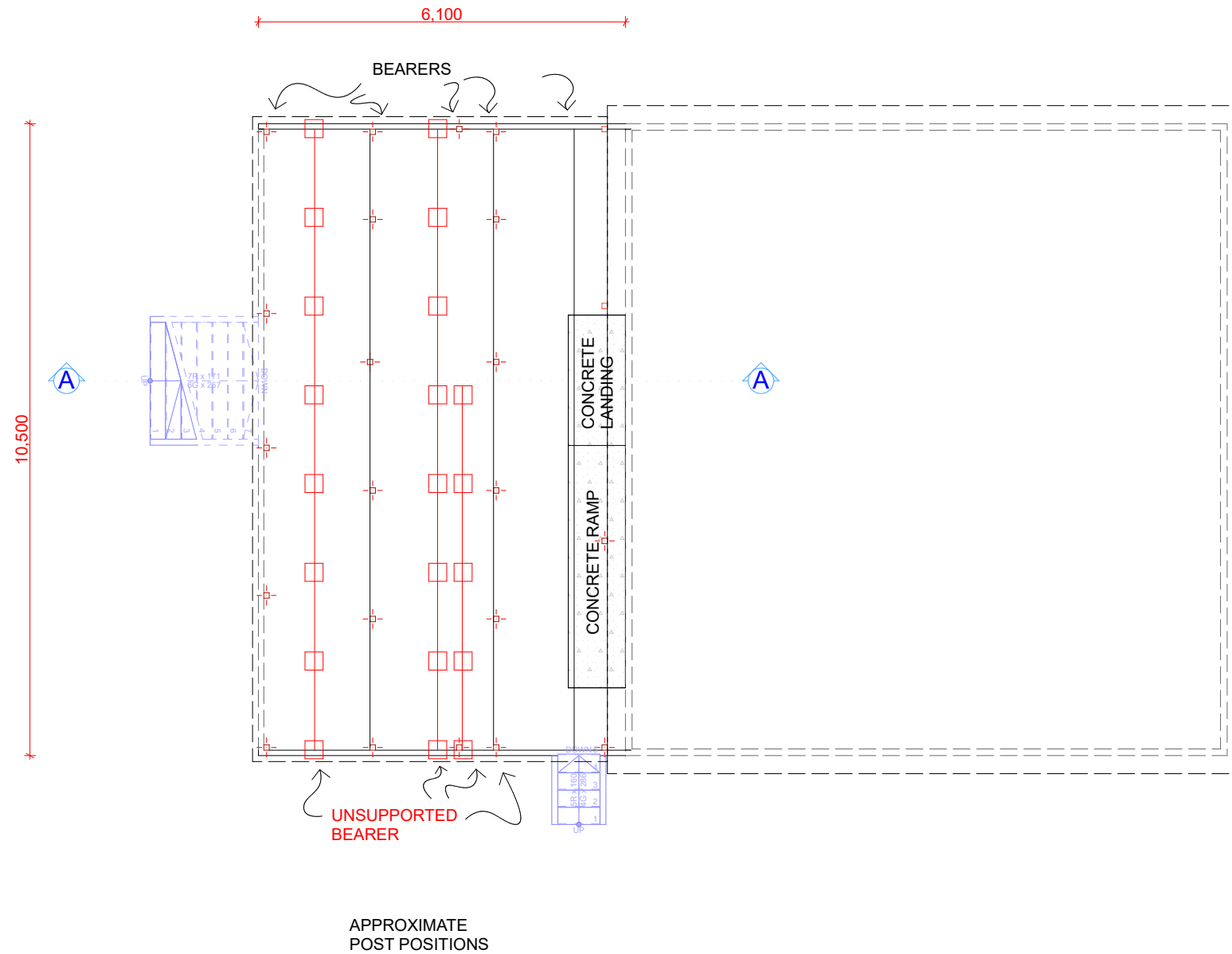
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DRAWING	FLOOR PLAN
DATE	2/4/2025
DWG 737	SHEET 3
SCALE	1:100

POSTS/STIRRUPS,
 BOLTED TO 300X300X400
 DEEP PADS
 AT 1500 mm CRS



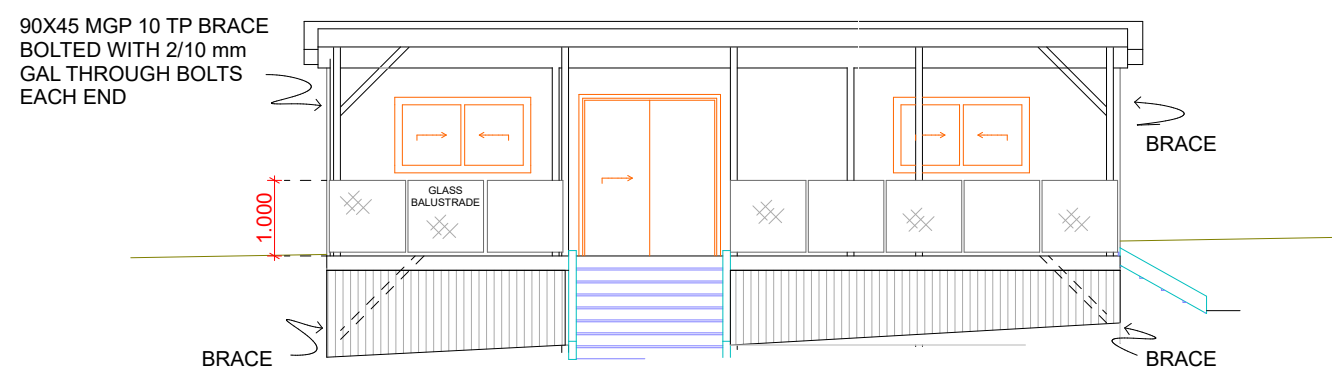
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DRAWING	SUBFLOOR
DATE	2/4/2025
DWG 737	SHEET 4
SCALE	1:100



West Elevation 1:100

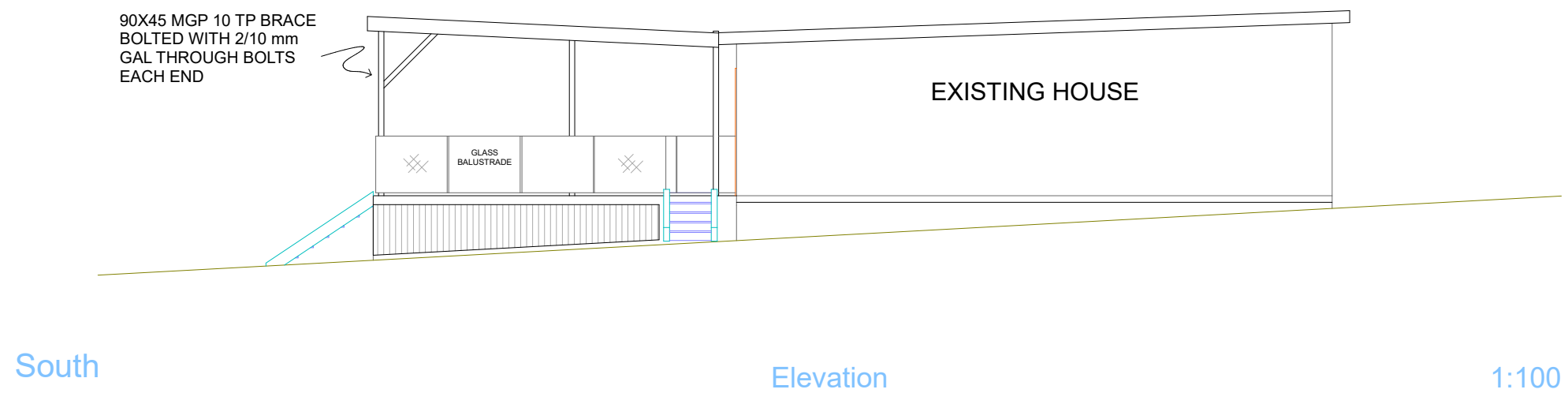
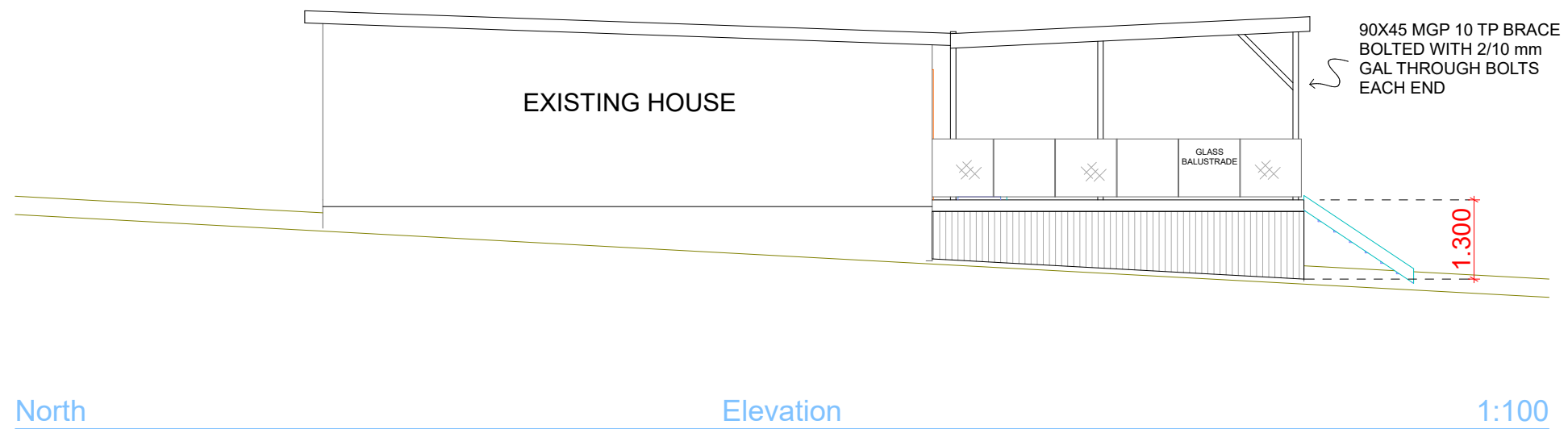
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DRAWING	WEST ELEVATION
DATE	2/4/2025
DWG 737	SHEET 5
SCALE	1:100



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DRAWING	NS ELEVATIONS
DATE	2/4/2025
DWG 737	SHEET 6
SCALE	1:100

CHANGES REQUIRED

FLOOR FRAMING

EXISTING BEARERS TO BE BOLTED TO EXISTING POSTS WITH 2/12 mm GAL THROUGH BOLTS

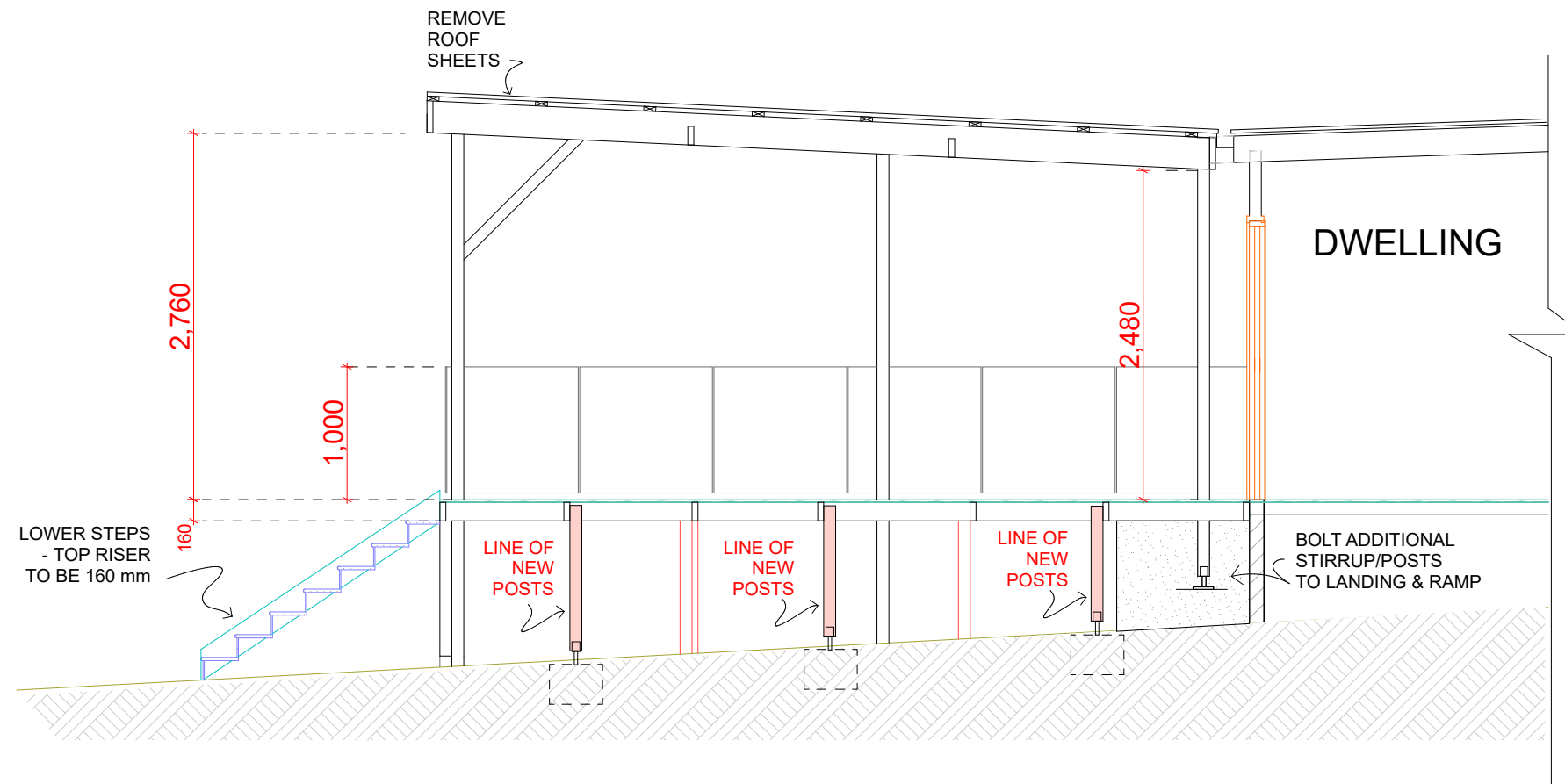
FIX WALLING PLATE WITH 2/100X10 mm GAL BOLTS @ 1200 CRS

140X45 MGP 10 PINE BEARERS THAT DO NOT HAVE SUPPORT WILL REQUIRE POSTS/STIRRUPS, BOLTED TO 300X300X400 DEEP PADS AT 1500 mm CRS

ROOF FRAMING

REMOVE ROOF SHEETS
2 ADDITIONAL 90X90 MGP 10 TP POSTS AS SHOWN ON FLOOR PLAN
BEAM TO BE CHECKED
30 mm INTO POSTS
BOLT GAL STYRUPPS

ALL POSTS TO HAVE 2/12mm GAL THROUGH BOLTS TO BEAMS



SECTION A-A

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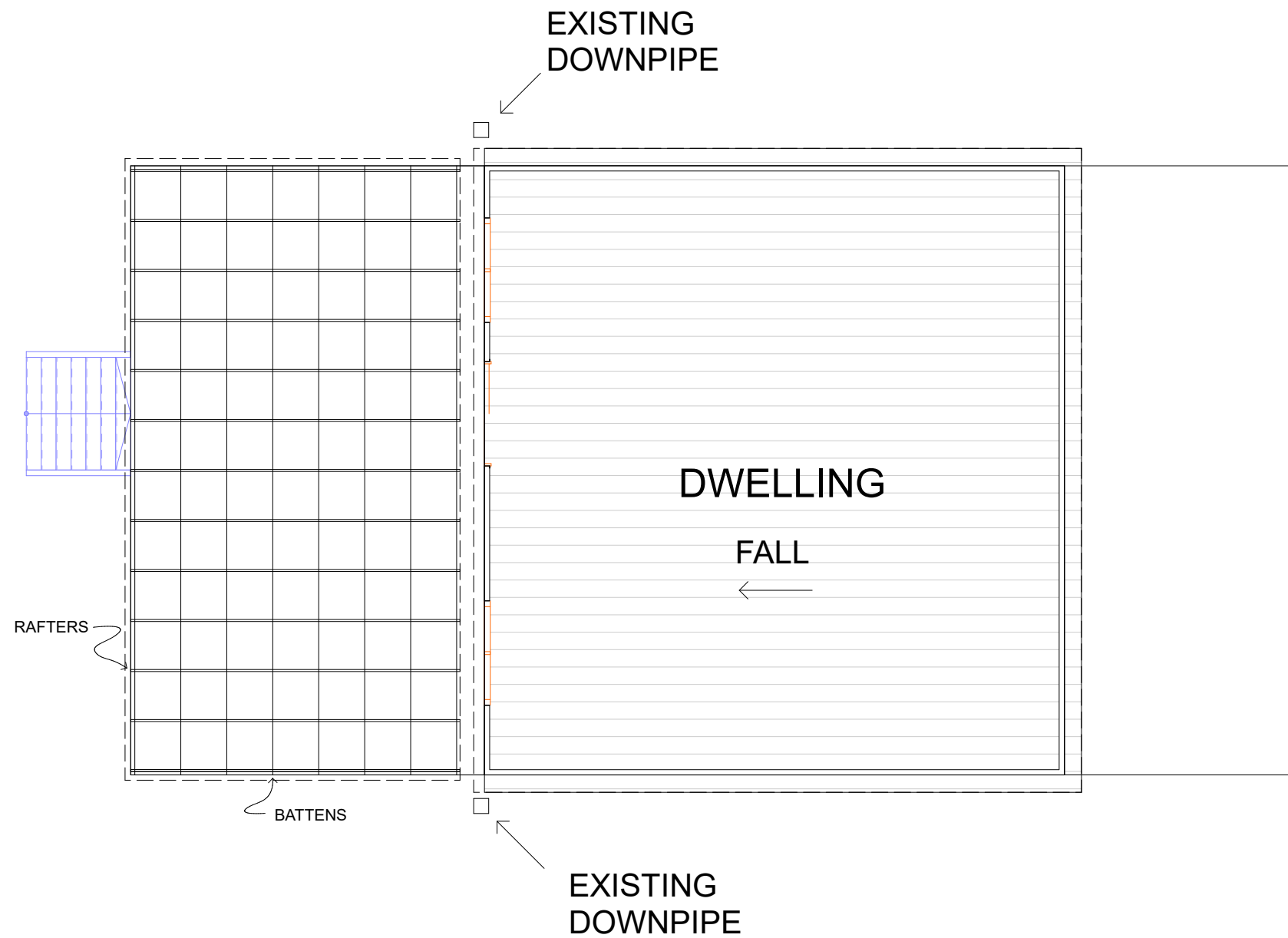
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DRAWING	SECTION AA
DATE	2/4/2025
DWG 737	SHEET 7
SCALE	1:50



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DRAWING	ROOF PLAN
DATE	2/4/2025
DWG 737	SHEET 8
SCALE	1:100

GENERAL SPECIFICATIONS

BEFORE COMMENCING ANY WORK, QUOTING ON OR ORDERING ANY MATERIALS VERIFY DIMENSIONS, SETBACKS AND ALL EXISTING AND PROPOSED LEVELS.

IF DURING THE SETOUT AND CONSTRUCTION OF THE WORKS ANY DISCREPANCIES ARISE IN THE DIMENSIONS OR LOGIC THE DESIGNER SHOULD BE CONTACTED FOR CLARIFICATION AND ADVICE BEFORE WORK CONTINUES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST "BUILDING REGULATIONS " AND "THE NCC 2022" AND AS 1684.4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR THE RELEVANT SITE WIND VELOCITY AND THE RELEVANT "AUSTRALIAN STANDARDS" FOR EACH ASPECT OF THE WORKS.

WHERE REQUIRED FOR BUILDING APPROVAL, THERE WILL ALSO BE A SOIL TEST AND STRUCTURAL DRAWINGS TO BE SUBMITTED AS PART OF THE THE BUILDING APPLICATION.

NOTE: DOOR AND WINDOW SIZES ARE NOMINAL ONLY/ OPENING SIZES ARE TO SUITE ACTUAL DOORS OR WINDOWS.

ENGINEERING

ARCHITECTURAL PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS WITH THE ENGINEERING DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL PLANS .

SITE WORKS AND GROUND LEVELS

EXCAVATION AND FILLING OF THE SITE TO BE IN ACCORDANCE WITH NCC 2022 PART 3.1 AND AS 2870 AND ANY SPECIAL DETAILS OR INSTRUCTIONS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE.

SURFACE DRAINAGE-ALL FINISHED GROUND TO FALL AWAY FROM BUILDING 1 IN 50 (1 IN 100 MINIMUM). FINISHED SLAB LEVELS ARE TO BE 150 mm MINIMUM ABOVE FINISHED GROUND LEVEL AND 100 mm ABOVE PATHS AND A MINIMUM OF 50 mm BELOW HARD SURFACE AREAS . GARAGE DOORWAY TO BE SHAPED TO TAKE WATER AWAY.

FOOTINGS AND SLABS

GENERALLY TO BE IN ACCORDANCE WITH AS 2870 . PREPARATION AND PLACEMENT OF CONCRETE AND REINFORCEMENT TO BE TO AS 2870 CONCRETE AND STEEL REINFORCEMENT TO BE IN ACCORDANCE WITH AS 2870 - 2011 AND AS 3500.

ALTERNATIVELY FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS

THE SITE CLASSIFICATION TO BE IN ACCORDANCE WITH AS 2870- 2011. REFER TO SOIL REPORT FOR SITE CLASSIFICATION , IF ANY SOFT GROUND OR GROUND DIFFERENT FROM THE SOIL REPORT IS FOUND DURING EXCAVATION IT SHOULD BE REPORTED TO THE BUILDING SURVEYOR FOR INSTRUCTIONS.

FLOORS

TO COMPLY WITH 3.12.1.5 AND AS 1668.2 - SEE PLANS AND ENGINEERS DRAWINGS FOR MEMBER SIZES, SPACING AND RELEVANT SPECIFICATIONS

FRAMING

TIMBER FRAMING TO BE IN ACCORDANCE WITH AS 1684.2 2021 MANUFACTURED TIMBER MEMBERS TO BE IN ACCORDANCE WITH MANUFACTURERS PRESCRIBED FRAMING MANUAL.

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH NCC 2021 PART 6.2 SUBFLOOR AREA IS TO FREE OF ORGANIC MATERIAL AND RUBBISH. PROVIDE VENT OPENINGS IN SUBSTRUCTURE WALLS AT A RATE OF 7300 mm 2/M OF WALL LENGTH, WITH VENTS NOT MOE THAN 600 mm FROM CORNERS.

UNDERSIDE OF FLOOR FRAMING MEMBERS TO HAVE A MINIMUM CLEARANCE OF 150 mm WITHIN 2000 mm OF THE EXTERNAL SUBFLOOR WALLS AND 400mm TO ALL OTHER AREAS -SEE NCC TABLE 3.4.1.2 SUBFLOOR VENTILATION CLEARANCE.

TIE DOWN AND BRACING OF TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH SECTION 8 OF AS 1684.2 AND, AS 4055 AND ANY ENGINEERS DRAWINGS AND SPECIFICATIONS

STRUCTURAL STEEL FRAMING TO BE IN CCORDANCE WITH AS 1250, AS 4100 AND STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS.

ROOF TRUSSES

TO BE DESIGNED BY TRUSS MANUFACTURER ON APPROVED OR ACCREDITED SOFTWARE AND AN ENGINEERS CERTIFICATE, IS TO BE SUPPLIED BY THE MANUFACTURER. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES

TRUSSES SHALL BE HANDLED, ERECTED, INSTALLED AND BRACED IN ACCORDANCE WITH AS 4440 AND MANUFACTURERS SPECIFICATIONS.

TIE TRUSSES TO TOP PLATE OF EXTERNAL WALLS WITH PRYDA'S UNITIE BRACKETS -FIX WITH 4/35X3.15mm GALVANIZED CONNECTOR NAILS TO EACH END

TRUSS -BOTTOM CORD TO BE TIED TO INTERNAL WALLS WITH PRYDA HITCH STABILIZES -FIX WITH 3/35X3.15mm CONNECTOR NAILS TO TRUSS CORD AND 3 TO TOP PLATE

PRYDA SPEED BRACING INSTALLATION AS TO TRUSS MANUFACTURERS BRACING LAYOUT PLAN -FIX WITH 2/35X3.15mm CONNECTOR NAILS PER TRUSS AND TO MANUFACTURERS SPECIFICATIONS

MANUFACTURERS SPECIFICATION TO TAKE PRECEDENCE OVER THE ABOVE RECOMMENDED TIE DOWN OPTIONS

METAL FURRING CHANNEL SCREW FIXED @ 450 CRS TO BOTTOM CORD OF ROOF TRUSSES

BUILDING FABRIC

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 13.2 BUILDING FABRIC INSULATION INSULATION FITTED TO FORM CONTINUOUS BARRIER TO ROOF, CEILINGS WALLS AND FLOORS .

REFLECTIVE BUILDING MEMBRANE INSTALLED TO FORM 20 mm AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING/CLADDING FITTED CLOSELY UP TO PENETRATIONS/OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED A MINIMUM OF 150 mm .

ROOF AND WALL CLADDING

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 7.2.8 AND : ROOF TILES AS 2049 AND AS 2050, METAL SHEET ROOFING AS 1562.1 , POLYCARB ROOF SHEETING AS/NZS 4256.1.2.3 AND AS 1562.3

GUTTERS AND DOWNPIPES, GENERALLY TO BE IN ACCORDANCE WITH THE NCC 3.5.2 AND AS/NZS 3500.3.2 AND THE PLUMBING CODE DOWNPIPES TO BE 90 mm DIA, OR 100 X 50 mm RECTANGULAR SECTION AT MAXIMUM 12,000mm CRS AND TO BE WITHIN 1200 mm OF A VALLEY WALL. CLADDING TO BE IN ACCORDANCE WITH THE NCC 2022 7.2.8 AND MANUFACTURERS SPECIFICATIONS .

GLAZING

GENERALLY BE IN ACCORDANCE WITH AS 1288 - CLASS 'A' SAFETY GLASS TO BATHROOM WINDOWS BELOW 2000 mm , EXTERNAL GLAZING IN ACCORDANCE WITH THE NCC PART 8.2, 8.3 & 8.4. WINDOWS ARE TO COMPLY WITH THE NCC WINDOW SAFETY EQUIREMENTS. REFER ALSO TO DOOR AND WINDOW SCHEDULE

MASONRY

GENERALLY MASONRY WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE NCC 2022 PART 5 AND AS 3700 UNREINFORCED MASONRY TO THE NCC 2022 5.4 MASONRY ACCESSORIES TO THE NCC 2022 NCC 2022 5.6 WEATHERPROOFING OF MASONRY TO THE NCC 2022 5.7

-SEE ENGINEERS DRAWINGS FOR SPECIFIC DETAILS AND POSITION OF CONTROL JOINTS.

INSULATION

TO MAINTAIN THICKNESS AND POSITION AFTER INSTALLATION INSURE CONTINUOUS COVER WITHOUT VOIDS EXCEPT AROUND SERVICES AND FITTINGS .

TYPICAL WALL FRAME

TO COMPLY WITH NCC 2022 PART 6 AND AS 1684. 200 mm HIGH BRICK VENEER WALLS 90X35 MGP IO PINE STUDS AND NOGGINGS, 90X35 MGP IO PINE TOP AND BOTTOM PLATES . BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS

10mm PLASTERBOARD TO WALLS AND CEILINGS INSULATION BATTS TO WALLS TO COMPLY WITH THE NCC 2022 13.2.3

ENERGY EFFICIENCY

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 PART 13 ENERGY EFFICIENCY TO COMPLY WITH THE CLIMATE ZONE AND STATES MINIMUM CURRENT STAR RATING REQUIREMENTS OR ABOVE.

SERVICES

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 13.7 HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH AS/NZS 3500

HEALTH AND AMENITY

GENERALLY IN ACCORDANCE WITH THE NCC 2022 SECTION 10

WET AREA WATERPROOFING

TO BE IN ACCORDANCE WITH AS 3740 AND WATERPROOFING OF SURFACES ADJACENT TO OPEN SHOWER, INCLUDING SHOWER OVER BATH, 1500 mm FROM A VERTICAL LINE PROJECTED FROM SHOWER ROSE TO A HEIGHT 1800 mm ABOVE FINISHED FLOOR

SHOWER AREA TO BE IN ACCORDANCE WITH THE NCC PART 10.2.2

WATERPROOFING TO COMPLY WITH NCC 10.2.6 WATERPROOFING SYSTEMS

FALL TO SHOWER WASTE TO BE 1:80 IN ACCORDANCE WITH AS 3740 4.4 AND NCC 10.2.12

WALL SURFACES ADJACENT TO PLUMING FIXTURES, BATHS ACT TO BE PROTECTED TO A HEIGHT OF 150 mm ABOVE FIXTURES, CEILING HEIGHTS TO BE IN ACCORDANCE WITH THE NCC 2022 PART H4

FACILITIES

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 10.4 REQUIRED FACILITIES IN ACCORDANCE WITH 3.8.3.2 SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH THE NCC 2022 3.8.3.3 . PROVISIONS OF NATURAL LIGHT TO BE IN ACCORDANCE WITH THE NCC 2022 10.5.1 WINDOWS/ ROOF LIGHTS TO PROVIDE LIGHT TRANSMISSION ARE EQUAL TO 10 % OF FLOOR AREA OF THE ROOM.

VENTILATION TO BE IN ACCORDANCE WITH THE NCC 2022 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FROM BATHROOM/WC TO BE VENTED OUTSIDE FOR STEAL ROOF ANT TO ROOF SPACE FOR TILE ROOF, NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5 % OF THE FLOOR AREA, IN ACCORDANCE WITH THE NCC 2022 10.6.2

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