

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2024 / 00108
Applicant	Leigh Adams – Adams Building Design
Proposal	Resource Development – New Dwelling
Location	53 Bent Street, Mathinna

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 12 April, 2025 **until 5pm Thursday 1 May, 2025.**


John Brown
GENERAL MANAGER

Proposed Residence at
53 Bent Street
Mathinna, TAS. 7214

Client :
Anthony Tennick

Building Areas			Drawing List	
Name	Area	Building Squares	Sheet #	Sheet Name
Deck	128.30 m²	13.80	1	Cover Page
Dwelling	118.41 m²	12.73	2	Overall Site Plan
	246.71 m²	26.53	3	Site Plan
			4	Site Drainage Plan
			5	Floor Plan
			6	Elevations (sheet 1)
			7	Elevations (sheet 2)
			8	3D Views
			9	3D Floor Plan

Site areas	
Name	Area
Site	333866.55 m²

Project Details		
Council		Break O Day Council
Zone		21 Agriculture
Planning Overlay		Bushfire Prone Areas
PID		6416947
Title Folio		02
Title Volume		103415
Climate Zone		7
WIND SPEED		TBC
SOIL CLASS		TBC
STAR RATING		TBC
BAL Rating		TBC
Corrosive Environment		N/A

Planning Approval	
Project No.	Drawing No.
010624	1 /9



Overall Site Plan

SITEWORKS

1. Site to be prepared in accordance with engineers or surveyors report if applicable.
2. Site to be excavated or filled to indicated levels.
3. Excavation and filling of the site to be in accordance with NCC Vol 2, H1D3 & Part 3.2 and AS2870.
4. Drainage works to be in accordance with NCC Vol 2, H2D2, Part 3.3 and AS3500.3.2
5. Surface drainage —finished ground to fall away from building for a minimum distance of 1000 at 1:20 minimum and to a point where ponding will not occur.
6. Downpipes to be connected into Council stormwater as soon as the roof is installed.
7. Install AG drain prior to footing excavation. See Drainage Plan for location.
8. Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.
9. Construction vehicles to be parked on the street only, to prevent transferring debris onto the Street.
10. Finished slab level to be:
 - 150mm above finished ground level.
 - 50mm above paved surfaces.
 - prevent ponding of water under suspended floors.

SITE SERVICES

Electricity, Gas, Telephone, Water, Stormwater & Sewer Services locations are to be determined on site & connected as per local authority requirements.

CONTOURS

Contours are indicitive only for the site. Refer Elevations for accurate representation of existing ground levels. The contours on this plan are to be used for the sole purpose of approvals & construction of this proposal & are to be used for no other future purpose.

BUILDING FOR BUSHFIRE

Construction work, where applicable is to comply with the requirements for BAL-12.5 refer to Part H7D4 Bushfire Areas of the National Construction Code of Australia Volume 2 and Australian Standard AS 3959-2018 Construction of buildings in bushfire-prone areas. The requirements for a bushfire hazard management area and firefighting water supply are to comply with the Bushfire report and Bushfire Hazard Management Plan Prior to the issuing of the Occupancy Permit.

VEHICULAR ACCESS

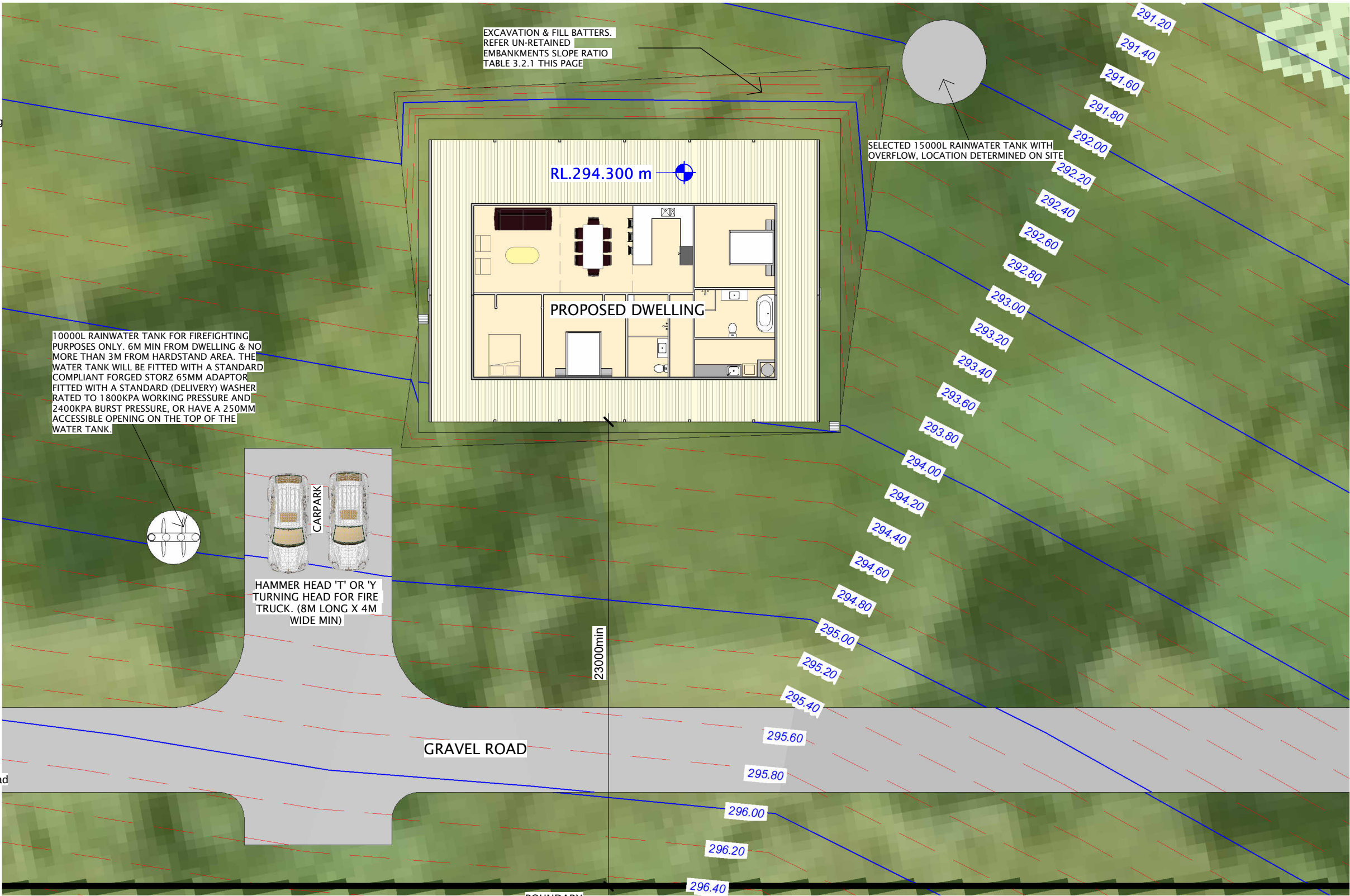
A Class 1 building in a designated bushfire prone area and the fire fighting water supply access point must be accessible by a private access road which is designed, constructed and maintained to a standard not less than a Modified 4C Access Road.
(a) is an all weather road which complies with the Australian Road Research Board "Unsealed Roads Manual Guidelines to Good Practice", 3rd Edition, March 2009 as a classification 4C Access Road and the following modified requirements:

(i) Single lane private access roads less than 6 m carriageway width must have 20 m long passing bays of 6 m carriageway width not more than 200m apart.

(ii) A private access road longer than 100 m must be provided with a driveway encircling the building, or a hammerhead "T" or "Y" turning head 4 m wide and 8 m long, or a trafficable circular turning area of 10 m radius.

(iii) Culverts and bridges must be designed for a minimum vehicle load of 20 tonnes.

(iv) Vegetation must be cleared for a height of 4 m, above the carriageway, and 2 m each side of the carriageway.



Site Plan

1 : 200

Soil class (see 4.2.2 for material description)	Site cut (excavation) (maximum embankment slope ratio, angle of site cut H:L ^{Note 1})	Compacted fill (maximum embankment slope ratio, angle of batter H:L ^{Note 1})
Stable rock (Class A)	8:1	3:3
Sand (Class A)	1:2	1:2
Firm clay (Class M-E)	1:1	1:2
Soft clay (Class M-E)	2:3	Not suitable



170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

2	12.09.24	Planning Approval
1	30.05.24	Concept # 1
No.	Date	Description

Planning Approval A3



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Project :
Proposed Residence at
53 Bent Street
Mathinna, TAS. 7214

Drawing Title :
Site Plan

Client :
Anthony Tennick

Scale : 1 : 200
Starting Date : 27.05.24
Plot Date : 18/03/2025
12:12:16 PM

Project No.
010624
Drawing No.
3 /9

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

PLUMBING NOTES

1. All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
2. Hot water from the HWC is to be tempered to 50°C.
3. Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
4. Drain all surface water away from footings in accordance with NCC PART 3.3.3 Surface Drainage.
5. The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
6. Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm)
7. New Sewer = DN100 pvc @ 1:60 falls min.
8. New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
9. Grated drains to be installed via a gas sealed pit.
10. STANDARD DRAIN SIZES
- TROUGH:

DN50
- SINK:

DN50
- WC:

DN100
- STORMWATER:

DN100
12. WATER PIPE SIZES
- COLD WATER:

DN 20 WITH DN16 BRANCHES
- HOT WATER:

DN 20 WITH DN 16 BRANCHES
13. HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
- BATH BASIN & SHOWER:

50deg C
- KITCHEN SINK & LAUNDRY:

60deg C
14. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES.

TASWATER NOTES:

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 / WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes

PLUMBING NOTES

REACTIVE SITES - where they penetrate through external footings, stormwater, sewer, Drain waste, & vent pipes are to be lagged & flexible connections are to be provided adjacent to the footings prior to connection to the drainage to comply with AS2870-1996 Section 5.5. Additional requirements for class H & E sites.

PLUMBING LEGEND

- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- NEW STORMWATER
- NEW DOWNPIPE S/W
- NEW SEWER
- NEW WATER
- NEW AG DRAIN

PLUMBING LEGEND

1. WC
2. URINAL
3. KITCHEN SINK
4. BASIN / VANITY
5. BATH
6. SHOWER
7. WASH TROUGH
8. WASHING MACHINE
9. DISHWASHER
- I.O. - INSPECTION OUTLET
- ORG - OVERFLOW RELEIF GULLY
- DP - DOWNPIPE
- EV - DN50 VENT TO AIR
- M - WATER METER

10000L RAINWATER TANK FOR FIREFIGHTING PURPOSES ONLY. 6M MIN FROM DWELLING & NO MORE THAN 3M FROM HARDSTAND AREA. THE WATER TANK WILL BE FITTED WITH A STANDARD COMPLIANT FORGED STORZ 65MM ADAPTOR FITTED WITH A STANDARD (DELIVERY) WASHER RATED TO 1800KPA WORKING PRESSURE AND 2400KPA BURST PRESSURE, OR HAVE A 250MM ACCESSIBLE OPENING ON THE TOP OF THE WATER TANK.

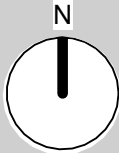
NOTE:
THIS PLAN IS PRELIMINARY & TO BE USED FOR DEVELOPMENT APPLICATION ONLY. CHANGES WILL BE MADE TO THIS LAYOUT IN CONSULTATION WITH THE WASTEWATER DESIGNER AT BA STAGE.

Building Areas.

Name	Area
Deck	128.30 m²
Dwelling	118.41 m²
	246.71 m²

2	12.09.24	Planning Approval
1	30.05.24	Concept # 1

No.	Date	Description
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Project :

Proposed Residence at
53 Bent Street
Mathinna, TAS. 7214

Client :

Anthony Tennick

Drawing Title :

Site Drainage Plan

Scale : 1 : 200

Starting Date : 27.05.24

Plot Date : 18/03/2025
12:12:16 PM

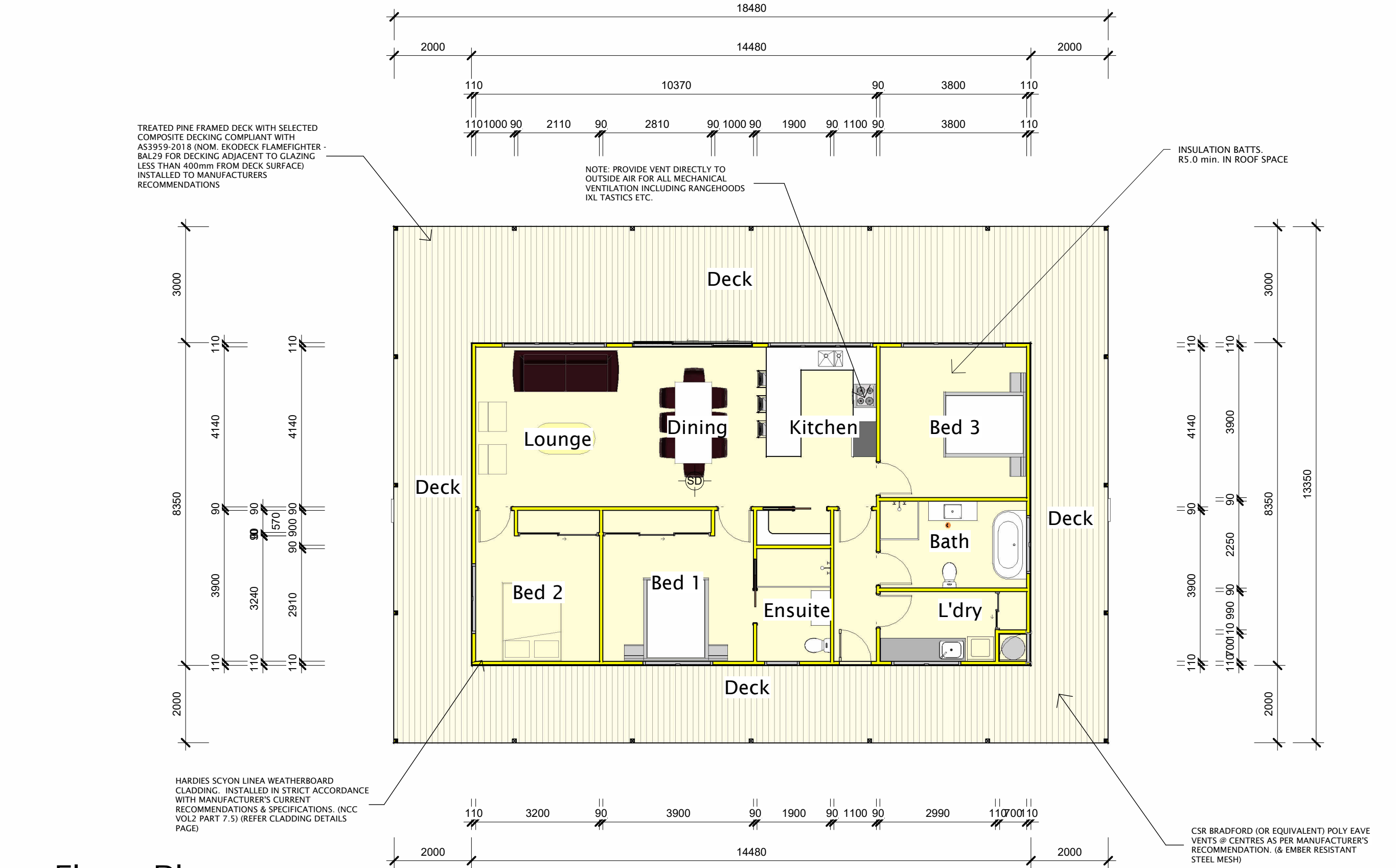
Project No.

010624

Drawing No.

4 /9

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Floor Plan

1 : 100



Planning Approval A3

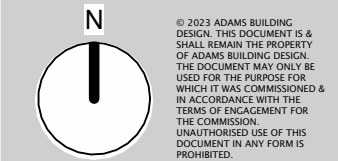
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Building Areas.

Name	Area
Deck	128.30 m ²
Dwelling	118.41 m ²
	246.71 m ²

2	12.09.24	Planning Approval
1	30.05.24	Concept # 1

No.	Date	Description
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Project :
Proposed Residence at
53 Bent Street
Mathinna, TAS. 7214

Client :
Anthony Tennick

Drawing Title :
Floor Plan

Scale : 1 : 100

Starting Date : 27.05.24

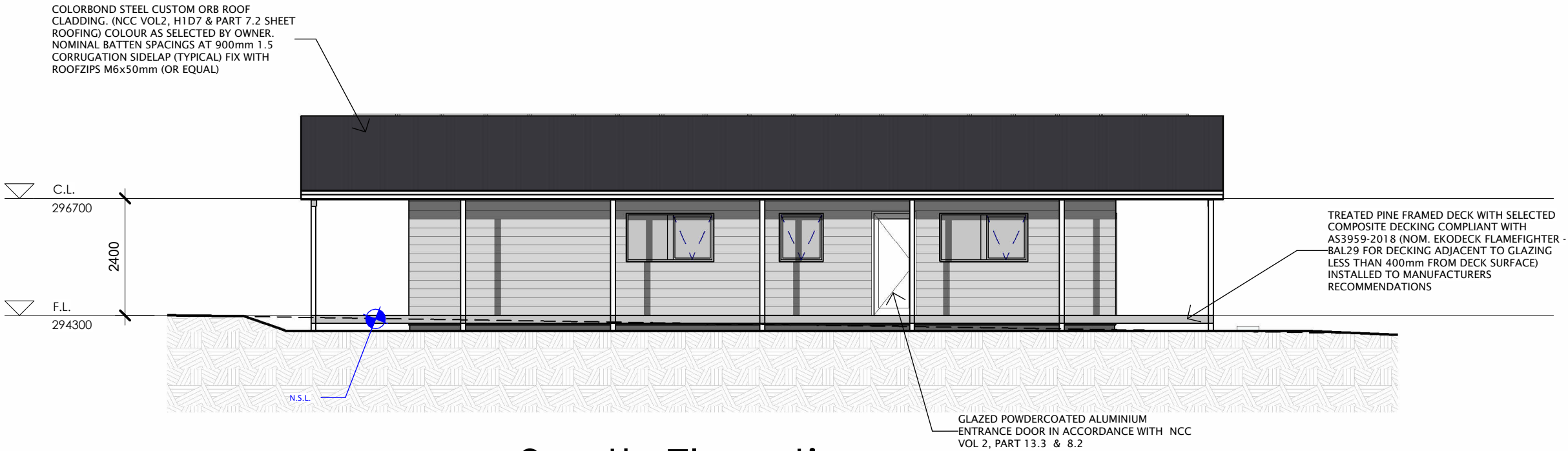
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Project No. Drawing No.

010624 5 /9

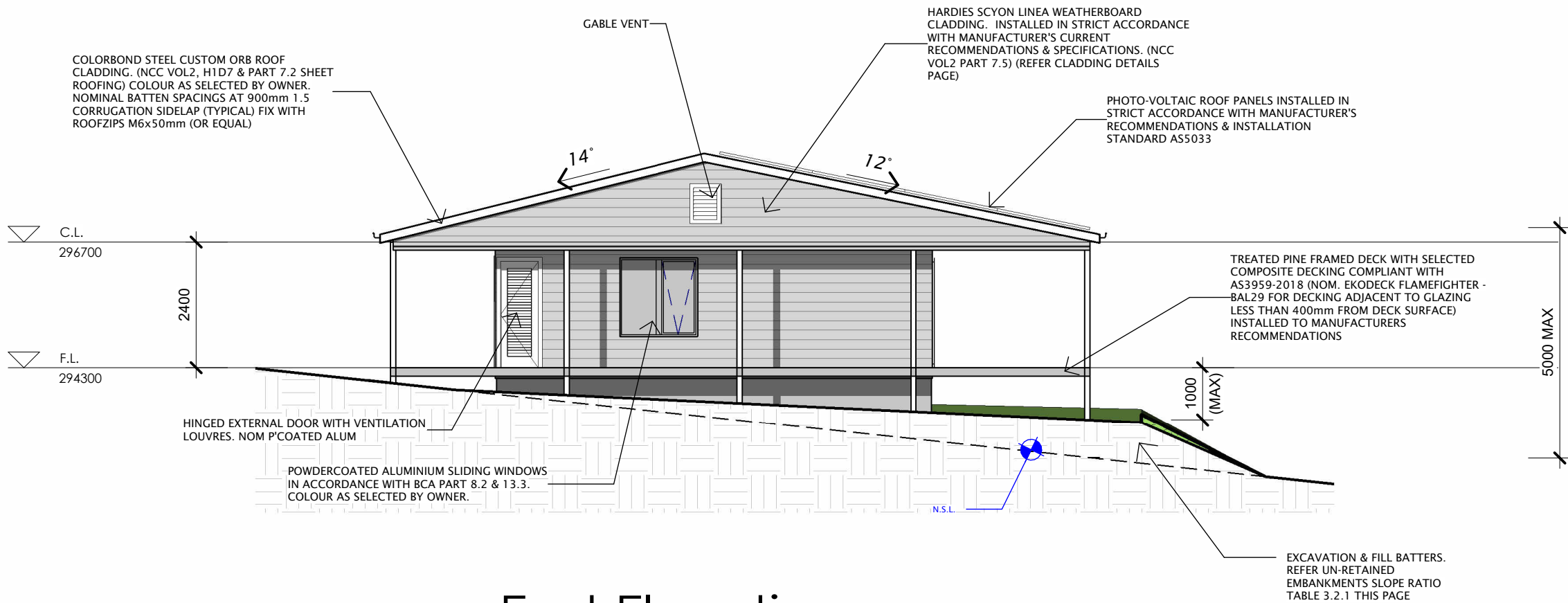
Building Areas		
Name	Area	Building Squares
Deck	128.30 m ²	13.80
Dwelling	118.41 m ²	12.73
	246.71 m ²	26.53

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



South Elevation.

1 : 100



East Elevation.

1 : 100

Planning Approval A3

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Project :

**Proposed Residence at
53 Bent Street
Mathinna, TAS. 7214**

Client :

Anthony Tennick

Drawing Title :

Elevations (sheet 1)

Scale : 1 : 100

Starting Date : 27.05.24

Plot Date : 18/03/2025
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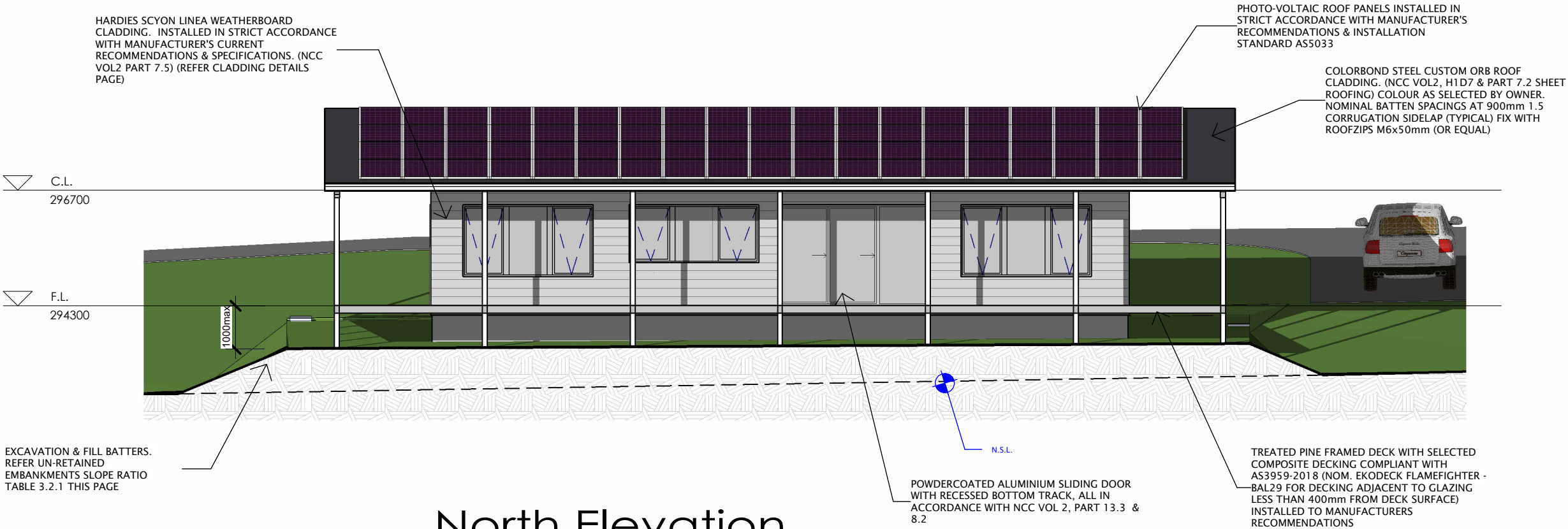
Project No.

010624

Drawing No.

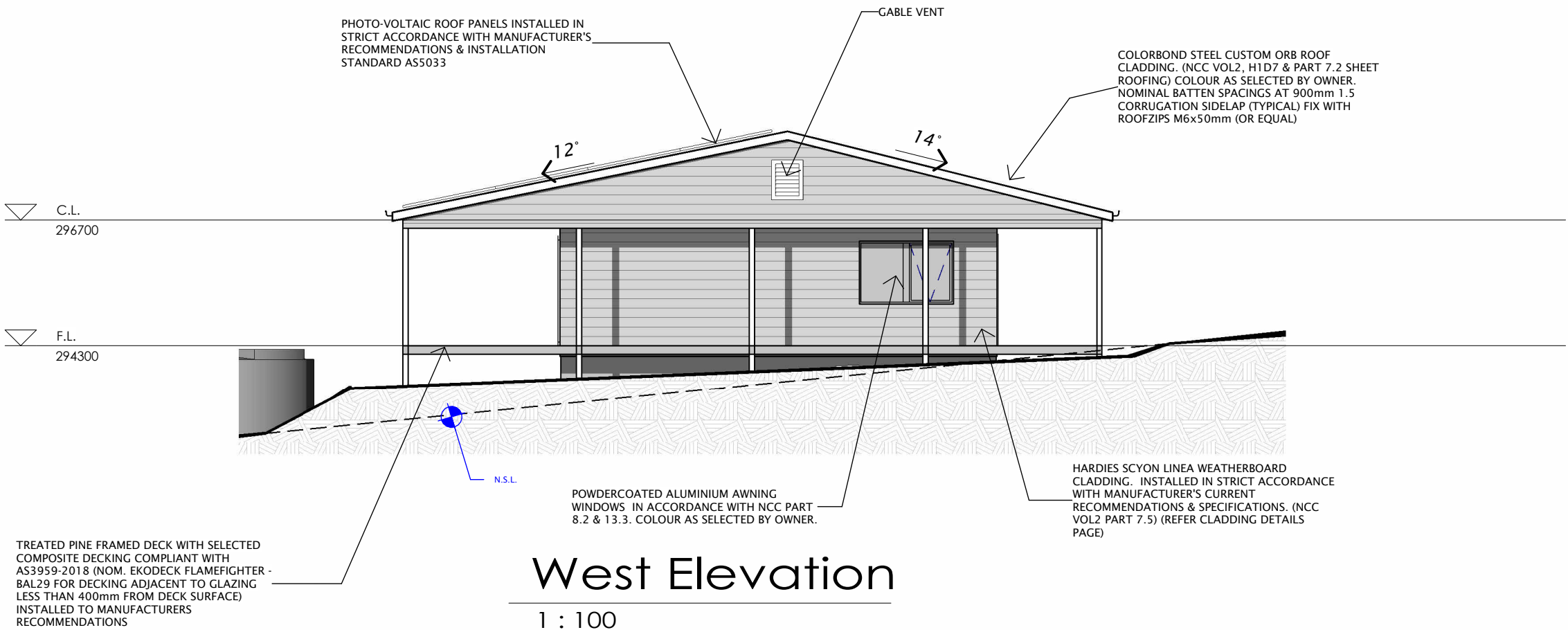
6 /9

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



North Elevation

1 : 100



West Elevation

1 : 100

Planning Approval A3

170 Abbott Street
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TAS 7250.

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Project :
**Proposed Residence at
53 Bent Street
Mathinna, TAS. 7214**

Client :
Anthony Tennick

Drawing Title :
Elevations (sheet 2)

Scale : 1 : 100

Starting Date : 27.05.24

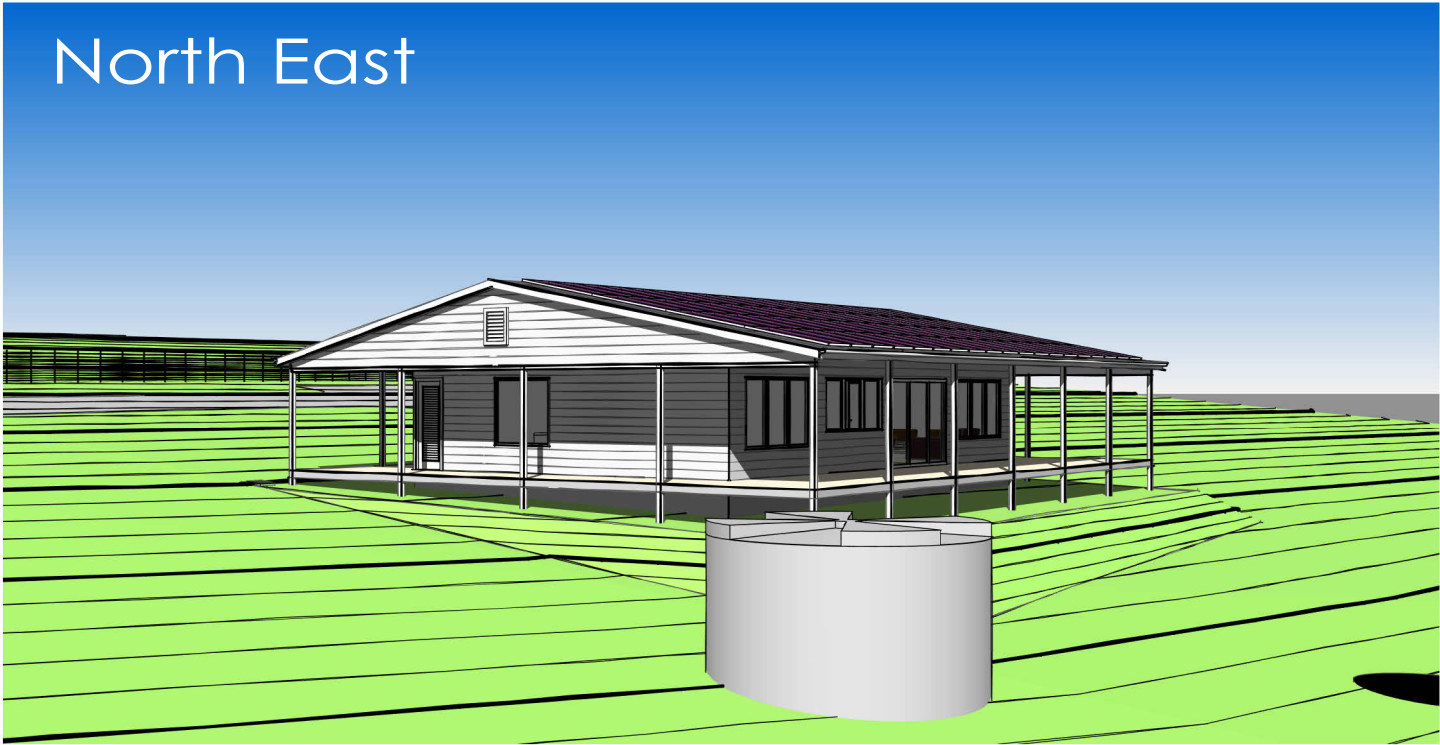
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Project No. **010624** Drawing No. **7 /9**

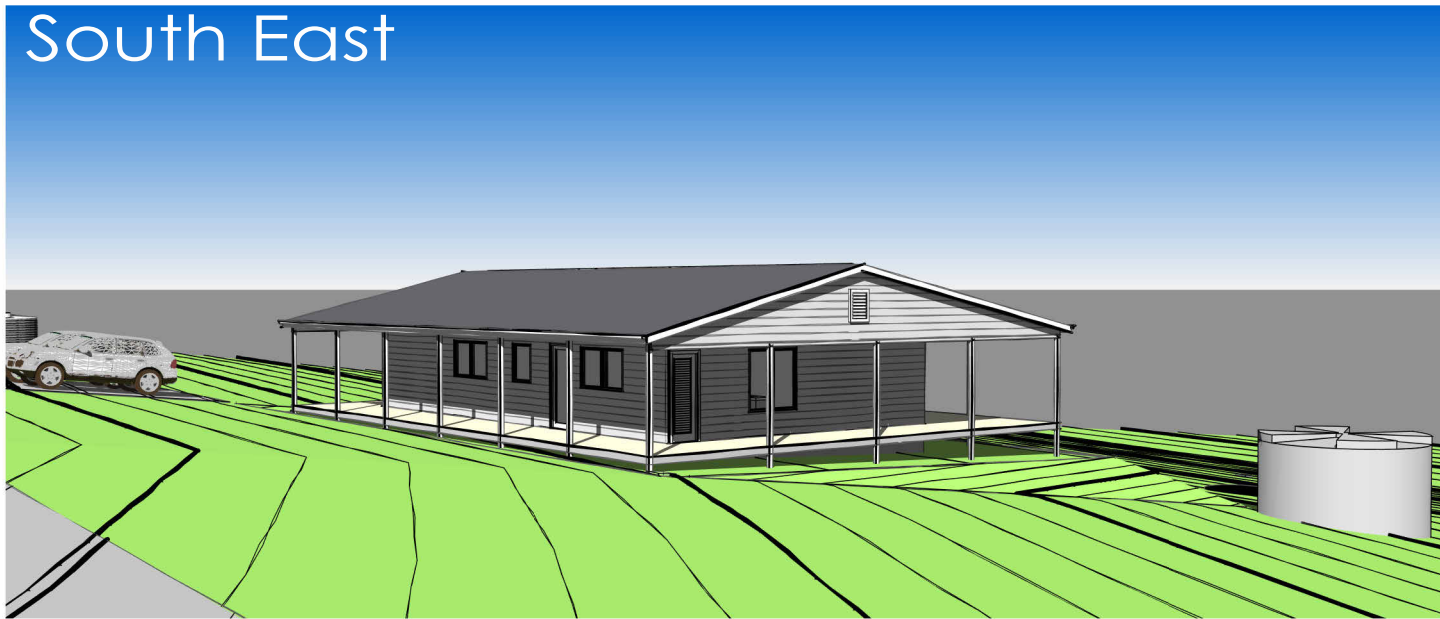
North West



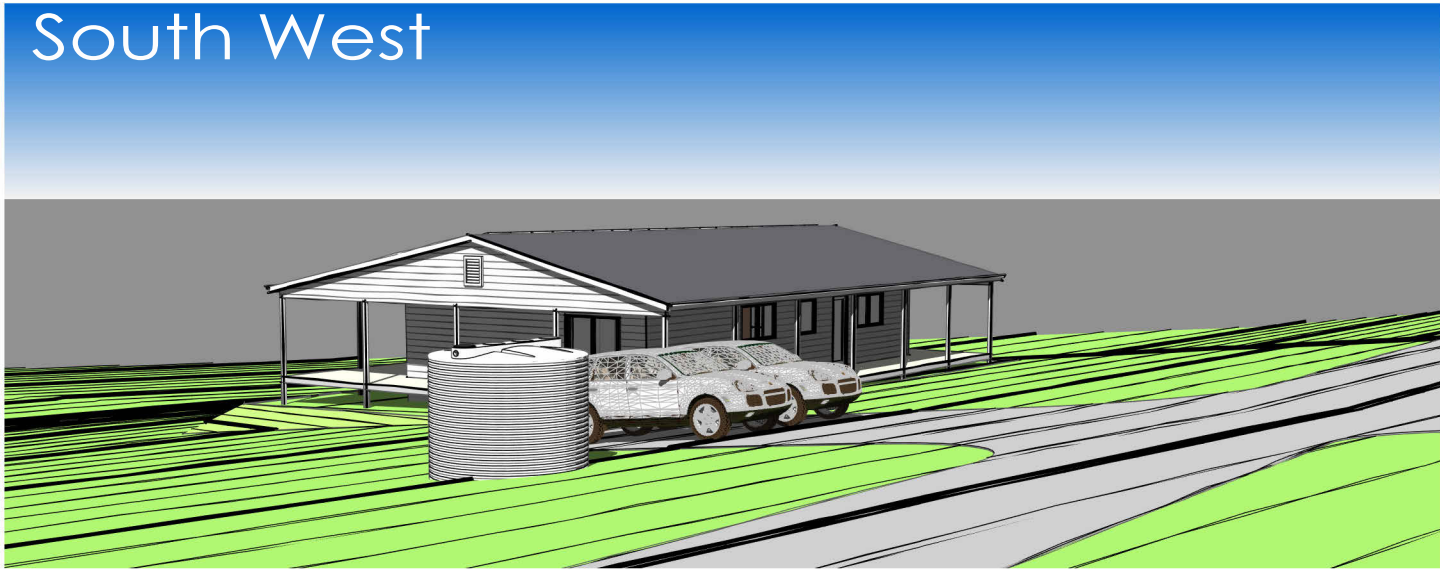
North East



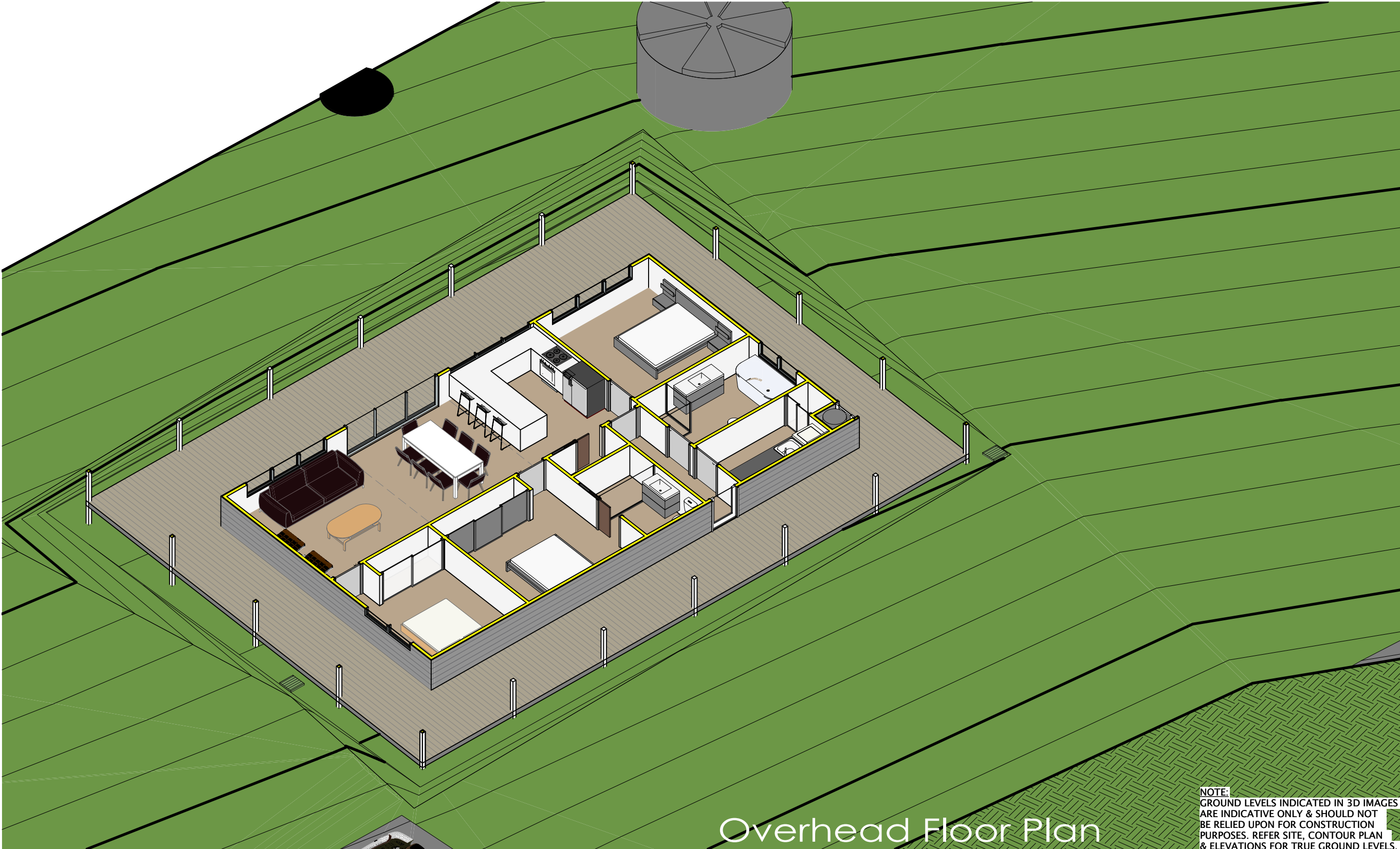
South East



South West



NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES
ARE INDICATIVE ONLY & SHOULD NOT
BE RELIED UPON FOR CONSTRUCTION
PURPOSES. REFER SITE, CONTOUR PLAN
& ELEVATIONS FOR TRUE GROUND LEVELS.



Planning Compliance Report

Tuesday, 18 March 2025

Addressing Tasmanian Planning Scheme

[Break O Day Council](#)

Proposed

[Residence at 53 Bent St, Mathinna, TAS. 7214](#)

Client

[Anthony Tennick](#)

Zone: [21.0 Agriculture](#)

Planning Overlay: [Bushfire Prone Areas](#)

Introduction

This report aims to demonstrate compliance with relevant planning standards for a proposed [Residence at 53 Bent St, Mathinna, TAS. 7214](#)

The report aims to take into consideration the intent, values, and objectives of the Tasmanian Planning Scheme, Break O Day Council, with amendments, and address all scheme standards applicable to this development. This report is based on proposed development works to be carried out, completed, and maintained by the applicant & owner. The proposed development relies on Performance Criteria to satisfy relevant planning standards and is to be read in conjunction with drawings submitted for the development.

Development Details

The proposed development comprises the construction of a [Residence at 53 Bent St, Mathinna, TAS. 7214](#)

Use Class: [resource development](#)

Building Areas		
Name	Area	Building Squares
Deck	128.30 m ²	13.80
Dwelling	118.41 m ²	12.73
	246.71 m ²	26.53

Site areas	
Name	Area
Site	333866.55 m ²

Applicable Planning Standards & Codes

The following zone standards and codes of the Tasmanian Planning Scheme, Break O Day Council are applicable to the proposed development:

[21.4 Development Standards for Buildings and Works](#)

[21.4.2 Setbacks](#)

All Zone standards & codes that are not applicable (N/A) or are compliant with the acceptable solutions have not been listed.

21.3 Use Standards

21.3.1 Discretionary use

Objective: That uses listed as Discretionary: (a) support agricultural use; and (b) protect land for agricultural use by minimising the conversion of land to non-agricultural use.	
Acceptable Solutions	Performance Criteria
A4 No Acceptable Solution.	P4 A Residential use listed as Discretionary must: (a) be required as part of an agricultural use, having regard to: (i) the scale of the agricultural use. (ii) the complexity of the agricultural use; (iii) the operational requirements of the agricultural use; (iv) the requirement for the occupier of the dwelling to attend to the agricultural use; and (v) proximity of the dwelling to the agricultural use; or

Response:

The proposed dwelling is required as part of the agricultural use having regard to:

- i) The agricultural use includes seventeen Angus breeding cattle
- ii) The agricultural use is relatively simple but is still in need of monitoring
- iii) The breeding cattle & bull need to be moved intermittently depending on available feed.
- iv) The breeding cattle require constant surveillance during the pregnancy period.
- v) The dwelling is in a location that enables effective surveillance most of the property.

21.4 Development Standards for Buildings and Works

21.4.2 Setbacks

Objective: That the siting of buildings minimises potential conflict with use on adjoining properties.	
Acceptable Solutions	Performance Criteria
A2 Buildings for a sensitive use must have a setback from all boundaries of: (a) not less than 200m; or (b) if the setback of an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building.	P4 Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use, having regard to: (a) the size, shape and topography of the site; (b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties; (c) the location of existing buildings on the site; (d) the existing and potential use of adjoining properties; (e) any proposed attenuation measures; and (f) any buffers created by natural or other features.

Response:

The proposed dwelling is setback 23m from the Southern boundary, which is shared with Tower Hill Rd, PID3386332 which is owned by Forestry Tasmania & is Zoned Rural. The setbacks are less than the 200M requirement in the acceptable solutions.

The proposed siting does not conflict or interfere with an agricultural use having regard to:

- a) The size & topography of the lot is compatible with reduced setbacks. The proposed house location is elevated which offers the best views of the property which allows the occupants to easily monitor the welfare of livestock.

- b) The prevailing setbacks of existing buildings for sensitive uses on nearby properties including those setbacks at 58, 62 & 86 Bent Street.
- c) The Existing Shed onsite is approximately 12m from the Southern boundary.
- d) The existing & potential use of adjoining properties is limited to forestry.
- e) Proposed attenuation measures – N/A
- f) Buffers created by natural or other features – N/A

21.4.3 Access for new dwellings

Objective: That new dwellings have appropriate vehicular access to a road maintained by a road authority.	
Acceptable Solutions	Performance Criteria
A1 New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.	P1 New dwellings must have legal access, by right of carriageway, to a road maintained by a road authority, that is appropriate having regard to: <ul style="list-style-type: none"> (a) the number of users of the access; (b) the length of the access; (c) the suitability of the access for use by the occupants of the dwelling; (d) the suitability of the access for emergency services vehicles; (e) the topography of the site; (f) the construction and maintenance of the access; (g) the construction, maintenance and usage of the road; and (h) any advice from the road authority.

Response:

The proposed dwelling has legal access by right of carriageway, to a road maintained by a road authority (Bent Street) that's appropriate having regard to:

- a) The number of users of the access is limited to the occupants of the proposed dwelling.
- b) The length of the access from Bent Street is 730M.
- c) The access is relatively level with good visibility & is suitable for use by the occupants.
- d) The access is relatively level with good visibility & passing bays at 200M centres so is suitable for access for emergency services vehicles.
- e) As above, the topography is relatively flat.
- f) The access is 4m wide minimum, constructed with compacted gravel & well maintained.
- g) Usage is limited to the occupants of the proposed dwelling, so maintenance involves some filling in of potholes & clearing of vegetation.
- h) N/A

CODES

C13.0 Bushfire-Prone Areas Code

Refer bushfire assessment at Building Approval Stage

Enquiries: Haki George
Phone: 03 6165 4253
Email: haki.george@parks.tas.gov.au
Our ref: 24/3276

24 February 2025

Mr Leigh Adams, Adams Building Design
170 Abbott Street
Newstead, 7250

Dear Mr Adams,

**LODGEMENT OF PLANNING APPLICATION
LEIGH ADAMS – ADAMS BUILDING DESIGN
NEW HOUSE
53 BENT STREET, MATHINNA**

This letter, issued pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993* (LUPAA), is to confirm that the Crown consents to the making of the enclosed Planning Permit Application, insofar as the proposed development relates to Crown land managed by the Department of Natural Resources and Environment Tasmania.

Crown consent is only given to the lodgement of this application. Any variation will require further consent from the Crown.

Please note, it is Departmental policy that all fire buffer areas (Hazard Management Areas and Fuel Modified Areas) are maintained wholly within freehold title boundaries and not on neighbouring Crown or Reserved land. Additionally, it is not the Parks and Wildlife Service's (PWS) practice for the Crown to enter into agreements under Part 5 of LUPAA in support of developments on private property.

It is also PWS practice that it will not approve any permanent private drainage infrastructure (stormwater or treated effluent) on Crown land unless connected to publically maintained infrastructure.

This letter does not constitute, nor imply, any approval to undertake works, or that any other approvals required under the *Crown Lands Act 1976* have been granted. If planning approval is given for the proposed development, the applicant will be required to obtain separate and distinct consent from the Crown before commencing any works on Crown land.

If you need more information regarding the above, please contact the officer nominated at the head of this correspondence.

Yours sincerely,



Jesse Walker
Unit Manager (Assessments)

Instrument of Revocation and Delegation

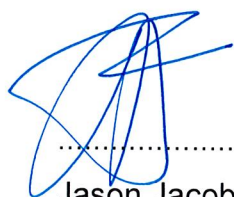
DELEGATION OF THE DIRECTOR-GENERAL OF LANDS' FUNCTIONS UNDER THE *LAND USE PLANNING AND APPROVALS ACT 1993*

I, JASON JACOBI, being and as the Director-General of Lands appointed under section 7 of the *Crown Lands Act 1976*, hereby revoke any previous delegation made pursuant to section 52(1E) of the *Land Use Planning and Approvals Act 1993* ("the Act") and, acting pursuant to section 52(1E) of the Act, I hereby delegate the functions described (by reference to the relevant provision of the Act and generally) in Schedule 1, to the persons respectively holding the offices of Deputy Secretary (Parks and Wildlife Service) (position number 700451), General Manager (Park Operations and Business Services) (position number 708581), Manager (Property Services) (position number 707556), Unit Manager (Operations) (position number 702124) and Unit Manager (Assessments) (position number 334958) in accordance with the functions delegated to me by the Minister administering the *Crown Lands Act 1976*, by instrument dated 9 November 2023.

SCHEDULE 1

Provision	Description of Functions
Section 52(1B)	Signing, and providing written permission for, applications for permits in relation to Crown land.

Dated at HOBART this 29 day of July, 2024



Jason Jacobi

DIRECTOR-GENERAL OF LANDS