32-34 Georges Bay Esplanade St Helens Tasmania 7216 T: 03 6376 7900 ABN 96 017 131 248



Development Applications

Notice is hereby given under Section 57(3) of the Land Use Planning & Approvals Act 1993 that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number DA 2025 / 00117 R Tsakirellis **Applicant**

Proposal Residential - Dwelling Alterations plus Addition of Workshop and Garage

Location 28 Legge Street, Falmouth

Plans and documents can be inspected at the Council Office by appointment, 32 - 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 27th September 2025 until 5pm Monday 13th October 2025.

John Brown **GENERAL MANAGER**

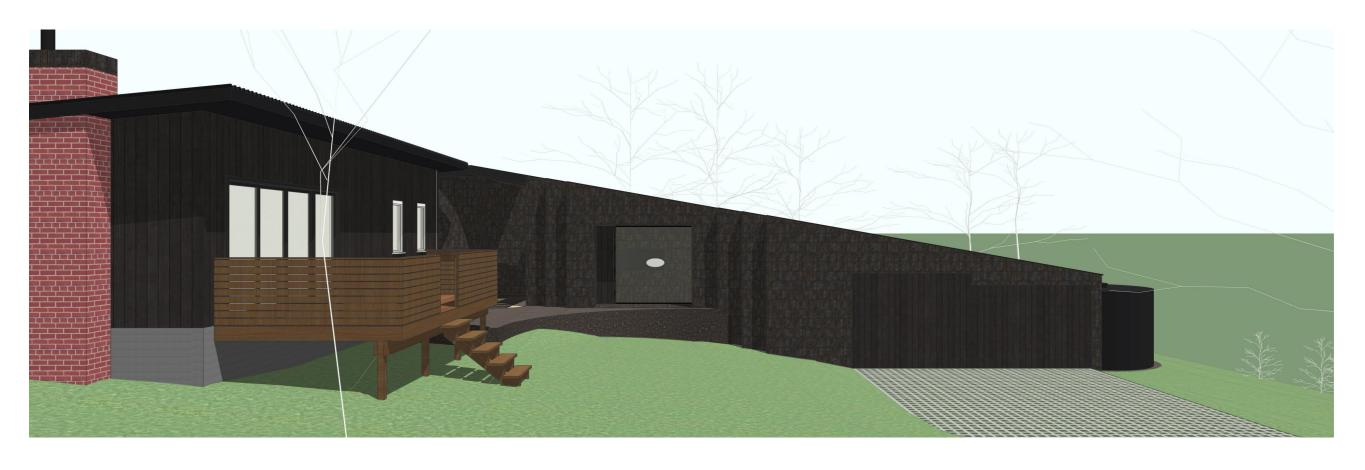
Falmouth Cottage Extension

DESIGN DEVELOPMENT

PREPARED BY ATELIER CHEN HUNG

FOR

S. Norton & R. Gates



ATEL -IER CHEN HUNG



Project Name: Falmouth Cottage Extension

Client: S. Norton & R. Gates

Address: 28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number: 24124B0

Drawing Title: 3D VIEWS

Drawing Number: D000

Scale: AS NOTED @ A3

Revision:

GENERAL NOTES

- 1. ALL CONSTRUCTION TO COMPLY WITH THE CURRENT NATIONAL CONSTRUCTION CODE VOLUME 2 (CLASS 1 BUILDINGS), APPLICABLE STATE BUILDING REGULATIONS AND SHALL COMPLY WITH AS.1428.1
- 2. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING FROM DRAWINGS. CONTACT ARCHITECT TO CONFIRM SCALED DIMENSIONS. DIMENSIONS ON EXISTING STRUCTURES ARE INDICATIVE ONLY, PLEASE CONFIRM ALL EXISTING DIMENSIONS ON SITE.
- 3. CONTACT ARCHITECT IMMEDIATELY SHOULD ANY ERRORS OF DIMENSION, SETOUT OR HEIGHT BECOME APPARENT
- 4. SECURE THE BUILDING SITE TO THE SATISFACTION OF THE WORKPLACE, HEALTH AND SAFETY ACT
- 5. INSTALL EROSION AND SEDIMENT CONTROL MEASURES TO THE SATISFACTION OF THE LOCAL AUTHORITY
- 6. SETOUT OF THE BUILDING WORKS IS TO BE UNDERTAKEN AND CERTIFIED BY A LICENSED SURVEYOR
- 7. CONSTRUCTION JOINTS MUST BE CONSTRUCTED TO MAINTAIN THE FIRE INTEGRITY OF THE WALL IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE C3.16
- 8. ALL EGRESS DOORS MUST SWING IN THE PATH OF TRAVEL AND BE OPENABLE WITHOUT A KEY FROM THE SIDE FACING A PERSON SEEKING EGRESS. ALL DOOR HARDWARE IS TO BE LOCATED BETWEEN 900MM AND 1200MM ABOVE FLOOR LEVEL
- 9. WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE WHILE CLEANING OR MAINTENANCE WORK IS BEING CARRIED OUT ANCHOR POINTS OR A WORK SYSTEM MAY BE REQUIRED TO PREVENT SUCH FALLS
- 10. STAIRS TO HAVE 1.0M MINIMUM CLEAR BETWEEN OBSTRUCTIONS
- 11. SUBFLOOR VENTILATION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE VOLUME 2
- 12. INSTALL SMOKE ALARMS IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE VOLUME 2
- 13. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660.1

CONCRETE AND MASONRY

- 14. WALL LININGS TO CONCRETE / BLOCKWORK ARE TO BE FIXED ON FURRING CHANNELS OR BATTENS U.N.O.
- 15. REFER TO SLAB SETOUT DRAWINGS FOR ALL CONCRETE & MASONRY SETOUTS, PLUS ADDITIONAL LEVELS & FALLS.
- 16. CARRY OUT ALL CONCRETE WORK IN ACCORDANCE WITH AS3600 AND NATSPEC CONCRETE STANDARDS.
- 17. UNLESS NOMINATED OTHERWISE, ALL INTERNAL CONCRETE & MASONRY WALLS ARE FULL HEIGHT TO UNDERSIDE OF SLAB OVER. WALL LININGS CONTINUE TO UNDERSIDE OF SLAB. ROOF SHEETING U.N.O
- 18. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ALL CORE FILLED & REINFORCED BLOCKWORK LOCATIONS & DETAILS
- 19. ALL MASONRY CONSTRUCTION IS TO COMPLY WITH AS 3700

FRAMING AND STEEL STRUCTURE

20. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL STEEL & HEAVY GUAGE METAL STUD FACED MEMBER SIZES & DETAILS

WINDOWS AND EXTERNAL GLAZING DOORS

21. ALL WINDOWS AND EXTERNAL GLAZING DOORS ARE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND RECOMMENDATION.

22. ALL PERIMETER FLASHING, DAMP PROOFING AND FRAME SUPPORT TO BE INSTALLED IN ACCORDANCE TO THE NATIONAL CONSTRUCTION CODE VOLUME 2 (CLASS 1 BUILDINGS), AS1288 AND AS2047

WATERPROOFING

23. ALL WET AREAS THROUGHOUT THE BUILDING MUST BE INSTALLED IN ACCORDANCE WITH AS3740 AND THE NATIONAL CONSTRUCTION CODE VOLUME 2 PART 3.8.1

- 24. DAMP PROOFING OF THE BUILDING IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE VOLUME 2 PART 3.8.4
- 25. WATERPROOF MEMBRANE INSTALLATION TO BE IN ACCORDANCE WITH AS4654.2

SERVICES

26. LIAISE WITH ALL SERVICE AUTHORITIES PRIOR TO THE DISCONNECTION AND CONNECTION OF EXISTING AND NEW SERVICES. CONFIRM THE ACTUAL LOCATION OF ALL UNDERGROUND MAINS SERVICES IN THE VICINITY OF THE CONSTRUCTION WORKS TO AVOID DAMAGE TO THIS INFRASTRUCTURE

27. FINAL LOCATIONS OF ALL SERVICES, BOTH UNDERGROUND AND IN-BUILDING, HAVE NOT BEEN DETERMINED INCLUDING WATER METERS, SWITCHBOARDS, PLUMBING STACKS AND THE LIKE. CONTRACTOR IS TO OBTAIN RELEVANT INFORMATION PRIOR TO CONSTRUCTION

NTFRNAI

28. ALL INTERNAL WALLS ARE DIMENSIONED TO THE FACE OF THE MAIN WALL STRUCTURE U.N.O

- 29. BUILDER TO ALLOW TO PACK OUT FULL HEIGHT AND FULL LENGTH WALLS TO LAP ONTO BATHTUB EDGE LIP OR TO FI USH WITH DEEP WINDOWS & DOORS REVEAL
- 30. ALL CEILING AND WALL JUNCTION TO BE SQUARE SET U.N.O.

EXTERNAL WORKS AND LANDSCAPING

- 32. PROTECT EXISTING SIGNIFICANT TREES, SHRUBS AND OTHER LANDSCAPE FEATURES ON SITE AS DIRECTED. SEEK APPROVAL FROM THE LOCAL AUTHORITY PRIOR TO THE REMOVAL OF ANY TREES. REFER LANDSCAPE ARCHITECT FOR IDENTIFICATION OF TREES TO BE PROTECTED DURING CONSTRUCTION
- 33. FALL ALL EXTERNAL GROUND SURFACE ADJACENT THE BUILDING 50MM IN THE FIRST METRE
- 34. ALL DRIVEWAY AND EXTERNAL WORKS / LANDSCAPING SHOWN ON ARCHITECTURAL DRAWINGS ARE INDICATIVE ONLY. REFER THE RELEVANT CONSULTANT'S DRAWINGS FOR INFORMATION ON THESE ELEMENTS OF THE DEVELOPMENT

PROJECT SPECIFIC NOTES

35.

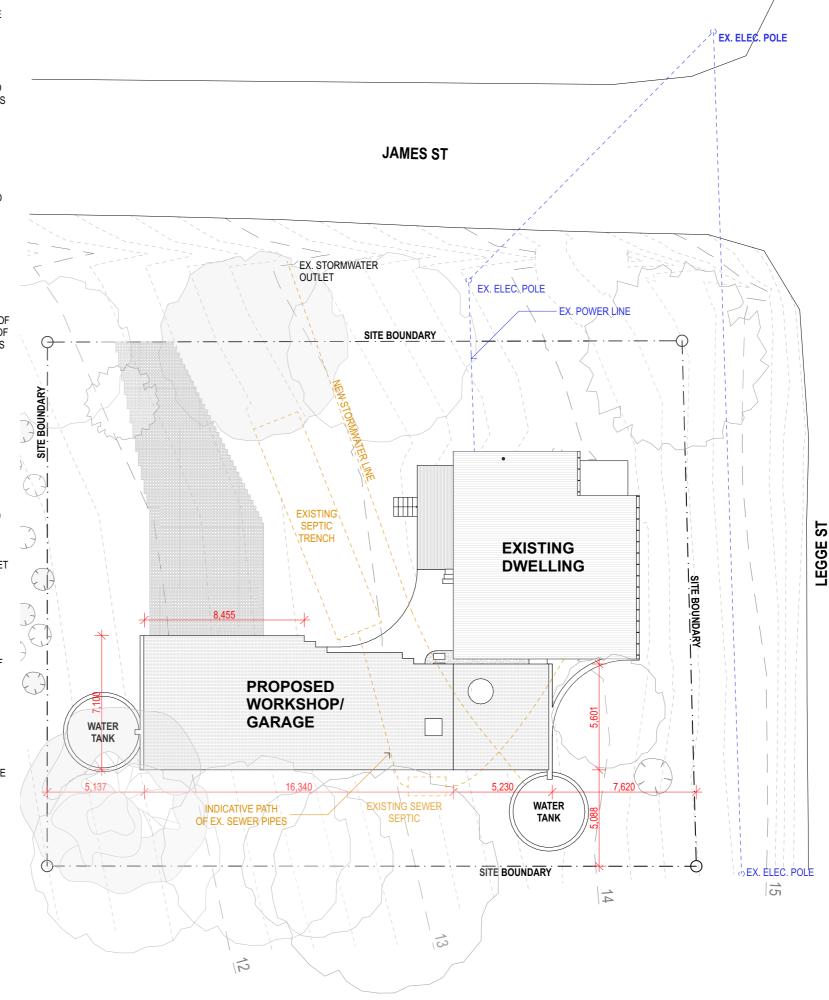
DEVELOPMENT SUMMARY

SITE INFORMATION

LOCAL COUNCIL BREAK O'DAY COUNCIL SITE AREA 942m²

BUILDING AREA

INTERNAL BUILDING AREA
PROPOSED
97m²
EXISTING
07m²
UNDERCOVER EXTERNAL AREA
SITE COVERAGE
EXISTING
12.3%



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 Revision
 Date
 Description

 01
 18/12/2024
 DD WIP REVIEW

 02
 15/3/2025
 DA/BA WIP ISSUE

Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215

Property Description:

C.T. 183959/1
Project Number:

24124B0
Drawing Title:

SITE PLAN

Drawing Number: D100

Scale: 1:200 @ A3

Revision:

O2 Date:



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28 LEGGE ST

FALMOUTH, TAS, 7215
Property Description:
C.T. 183959/1

C.T. 183959/1
Project Number:

24124BO

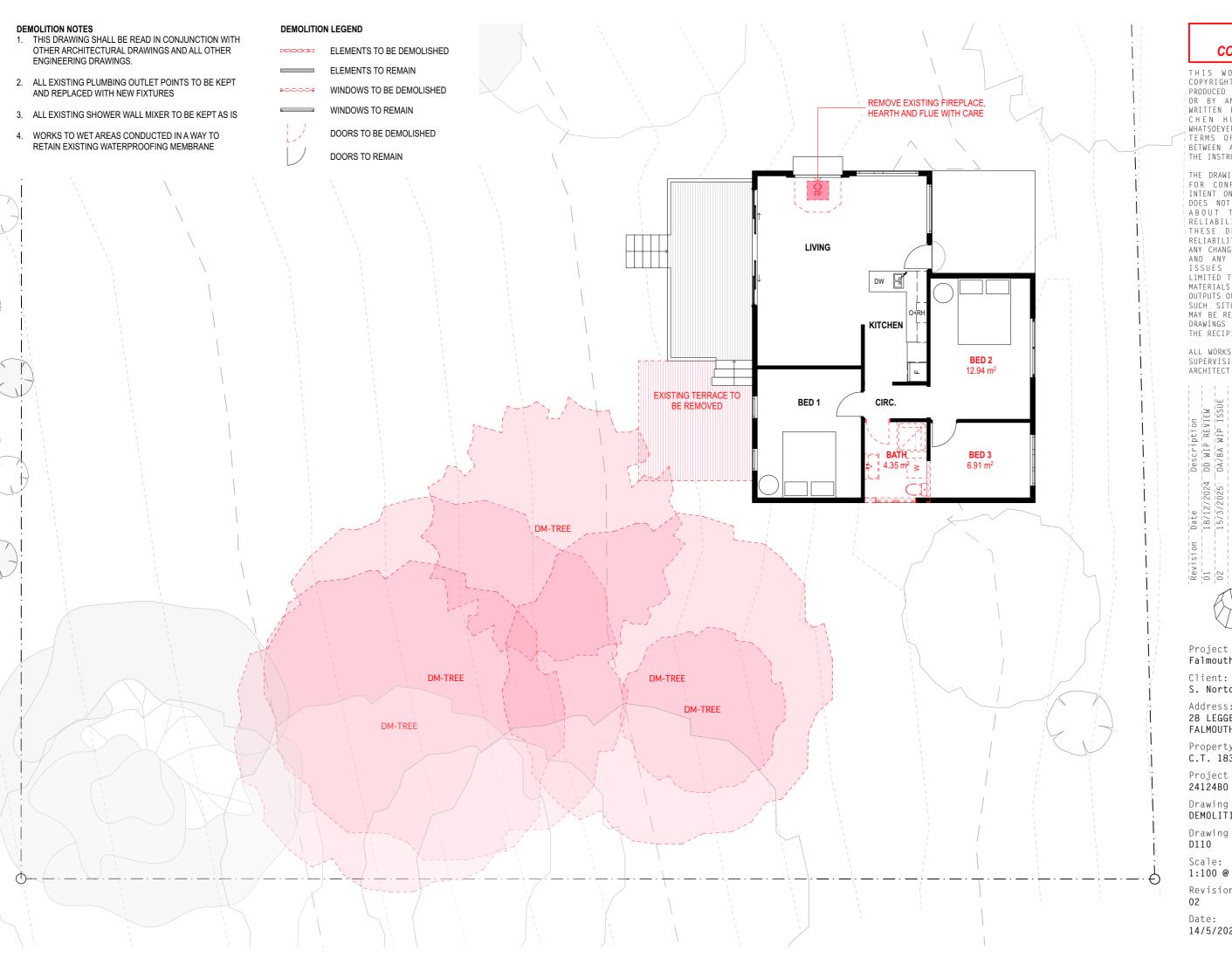
Drawing Title: LOCAL PLAN

Drawing Number:

D101

Scale: AS NOTED @ A3

Revision: **01**



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Description
DD WIP REVIEW
DA/BA WIP ISSUE Rev 01



Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number:

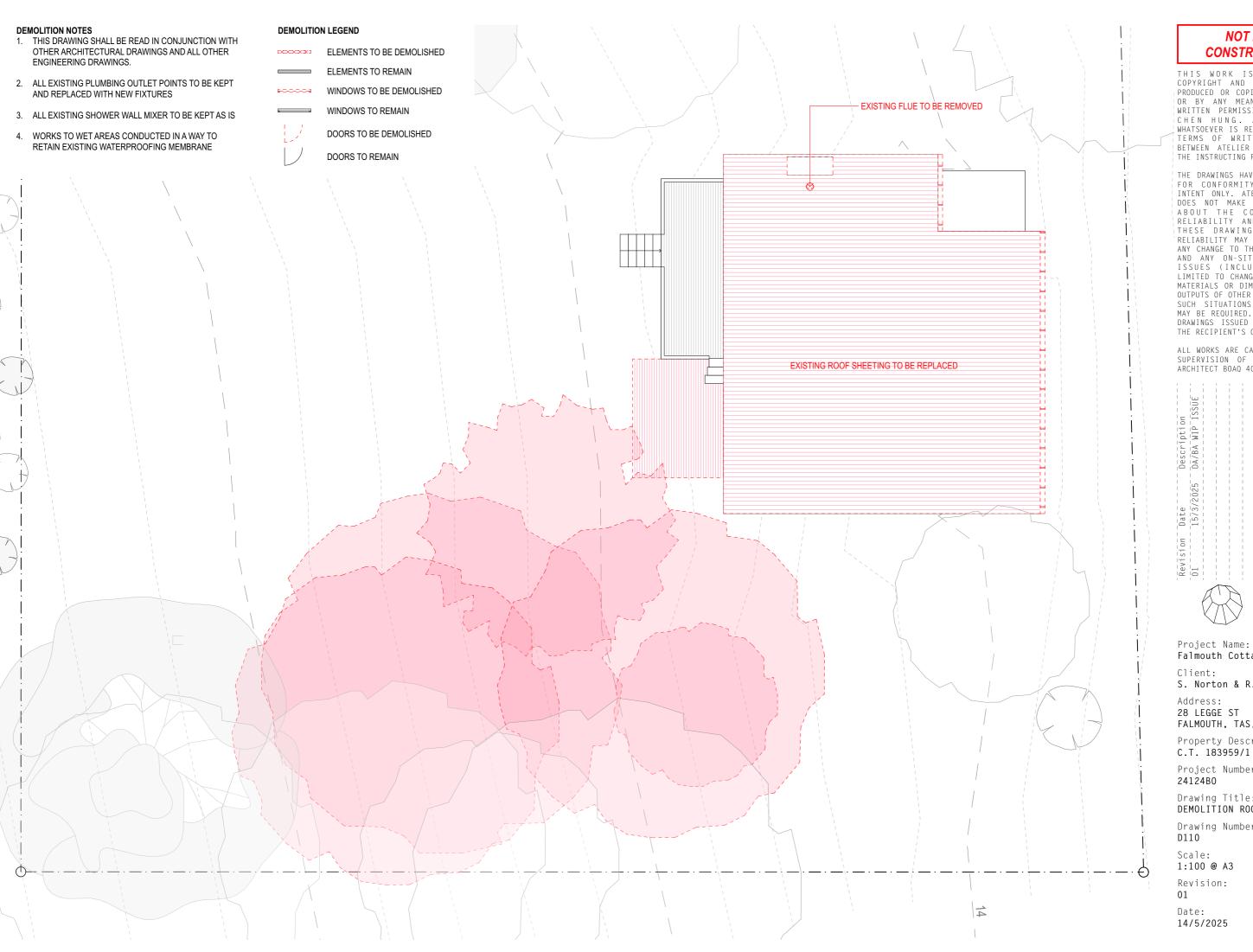
Drawing Title:

DEMOLITION PLAN

Drawing Number:

Scale: 1:100 @ A3

Revision:



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Project Name: Falmouth Cottage Extension

S. Norton & R. Gates

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description:

Project Number:

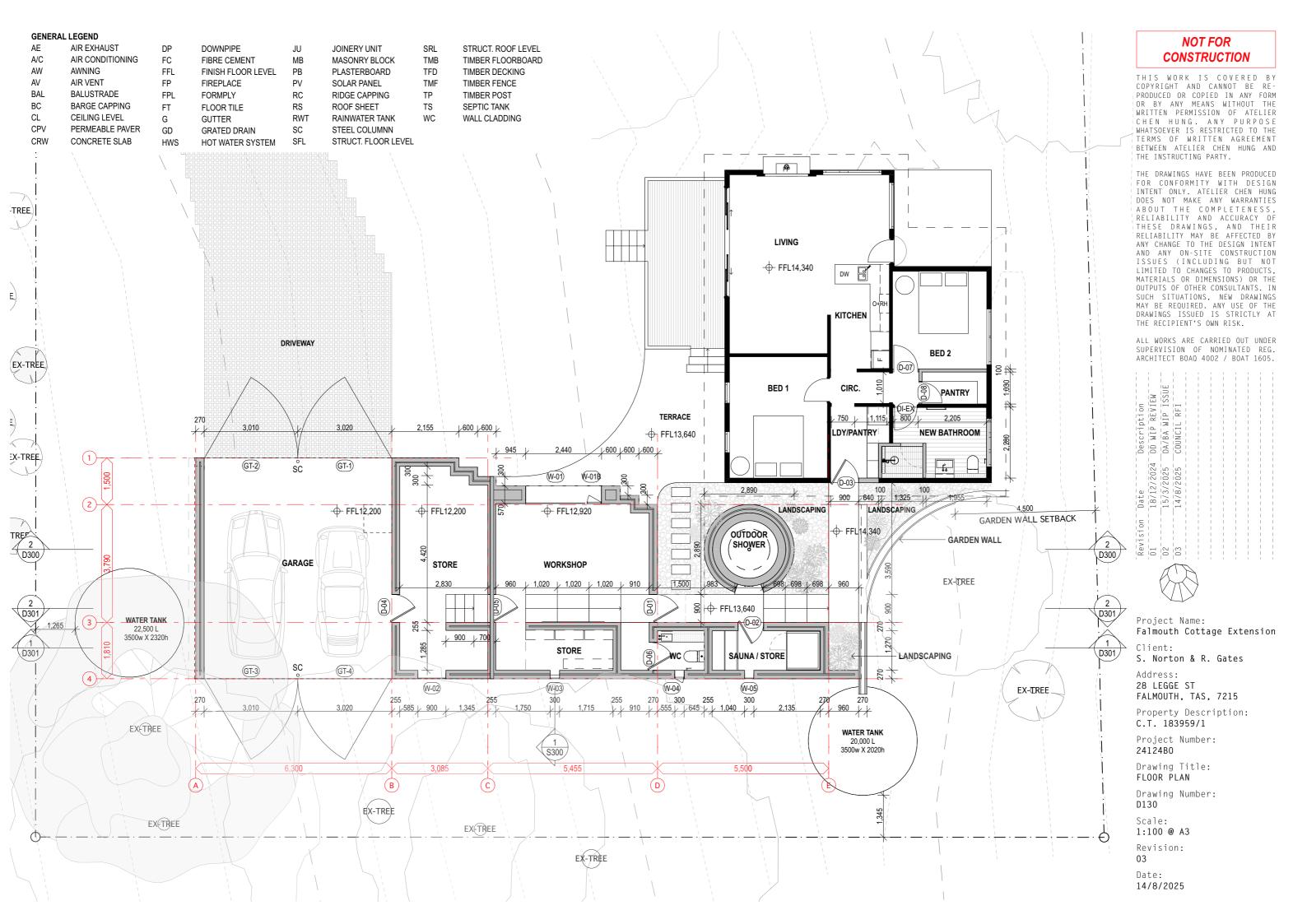
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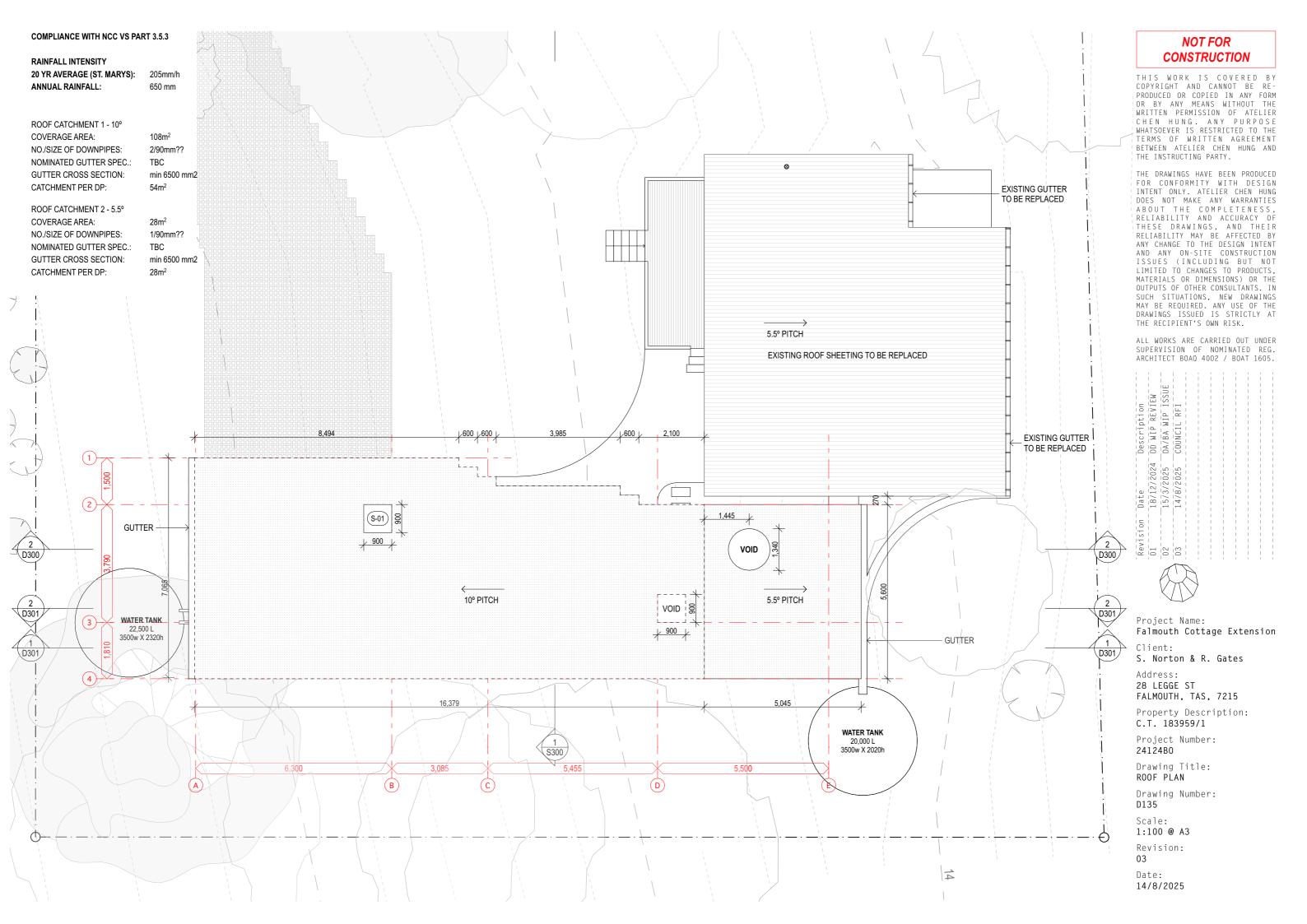
Drawing Title: DEMOLITION ROOF PLAN

Drawing Number:

Scale:

1:100 @ A3





INTERIOR FINISHES LEGEND ADJUSTABLE SHELF DW DISHWASHER OV OVEN TRH TOILET ROLL HOLDER BASIN MIXER FC FIBRE CEMENT SHEET PB PLASTERBOARD VB VANITY BASIN BW BASIN WASTE FPL **FORMPLY** PP PUSH PULL VC VANITY CABINET BT **BOTTLE TRAP** FS FIXED SHELF RF FRIDGE WC WALL CLADDING BTP RH RANGEHOOD WD WASHER/DRYER BENCH TOP FT FLOOR TILE CPV SH WCT PERMEABLE PAVER FW FLOOR WASTE SHOWER HEAD WATER CLOSET CRT CURTAIN HR HANGING RAIL SK SINK WL WALL LINING CONCRETE SLAB CRW MR MIRROR SM SINK MIXER WM WALL MIXER DH DOOR HANDLE MX SHOWER MIXER ST STOVETOP WT WALL TILE DRW DRAWER OS OPEN SHELF TR TOWEL RAIL A LIVING → FFL14,340 DW 🖥 KITCHEN DRIVEWAY CPV BED 2 BED 1 CIRC. PANTRY TERRACE **NEW BATHROOM** → FFL13,640 LDY/PANTRY TF-EX (1) (GT-2) GT-1 f. SC W-01B (W-01) CRW BR-1 LANDSCAPING → FFL12,200 → FFL12,200 → FFL12,920 → FFL14,340 OUTDOOR SHOWER **GARAGE** STORE WORKSHOP CRW CRW CRW CRW CRW (R) (F) → FFL13,640 WATER TANK 25.000 L STORE WC (SAUNA / STORE **LANDSCAPING** CRW CRW SC (GT-4) GT-3 W-02 W-03 W-04) (W-05)

5,455

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6,300

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215
Property Description:

C.T. 183959/1

Project Number:

24124B0

Drawing Title: FINISHES PLAN

Drawing Number:

D140

Scale: 1:100 @ A3

Revision:

02

WATER TANK

25.000 L

5,500

GENERAL LEGEND

CONCRETE SLAB

HWS

CRW

ΑE	AIR EXHAUST	DP	DOWNPIPE	JU	JOINERY UNIT	SRL	STRUCT. ROOF LEVEL
A/C	AIR CONDITIONING	FC	FIBRE CEMENT	MB	MASONRY BLOCK	TMB	TIMBER FLOORBOARD
AW	AWNING	FFL	FINISH FLOOR LEVEL	PB	PLASTERBOARD	TFD	TIMBER DECKING
AV	AIR VENT	FP	FIREPLACE	PV	SOLAR PANEL	TMF	TIMBER FENCE
BAL	BALUSTRADE	FPL	FORMPLY	RC	RIDGE CAPPING	TP	TIMBER POST
BC	BARGE CAPPING	FT	FLOOR TILE	RS	ROOF SHEET	TS	SEPTIC TANK
CL	CEILING LEVEL	G	GUTTER	RWT	RAINWATER TANK	WC	WALL CLADDING
CPV	PERMEABLE PAVER	GD	GRATED DRAIN	SC	STEEL COLUMNN		

SFL

STRUCT. FLOOR LEVEL

HOT WATER SYSTEM

LIVING EX RAKED **KITCHEN** EX BED 2 EX CIRC. PANTRY EX EX BED 1 EX LDY/PANTRY **NEW BATHROOM** EX EX - tbc SHOWER PΑ (2) 1,340 **RAKED RAKED RAKED** RAKED OUTDOOR SHOWER WORKSHOP **GARAGE** STORE FPL FPL (3) STORE WC SAUNA / STORE FPL FPL 4 S300 / 6,300 5 455 5 500 (D)

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.

2. REFER TO FINISHES, FIXTURES AND EQUIPMENT SCHEDULE.

- 3. CH LEVELS NOTED ON THE RCP ARE TO BE SET OUT FROM THE FFL OF THE RELEVANT STORY. ARCHITECT TO CONFIRM ON SITE.
- 4. ALL A/C SYSTEM LAYOUTS SHOWN ON THE PLANS ARE INDICATIVE ONLY AND ARE TO BE REVIEWED AND CONFIRMED BY THE CONTRACTOR'S SUBCONTRACTOR.

CH LEVELS NOTED ON PLANS ARE TO BE SET OUT FROM THE FFL OF THE RELEVANT STORY, ARCHITECT TO CONFIRM ON SITE.

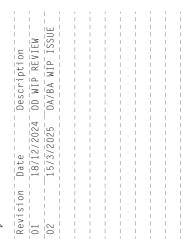
ALL DUCTED AND SPLIT A/C SYSTEM LAYOUTS SHOWN ON THE PLANS ARE TO BE REVIEWED AND CONFIRMED BY THE CONTRACTOR'S SUBCONTRACTOR.

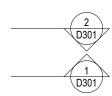
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Client:

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S. Norton & R. Gates

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number: 24124B0

Drawing Title:

GROUND LEVEL RCP Drawing Number:

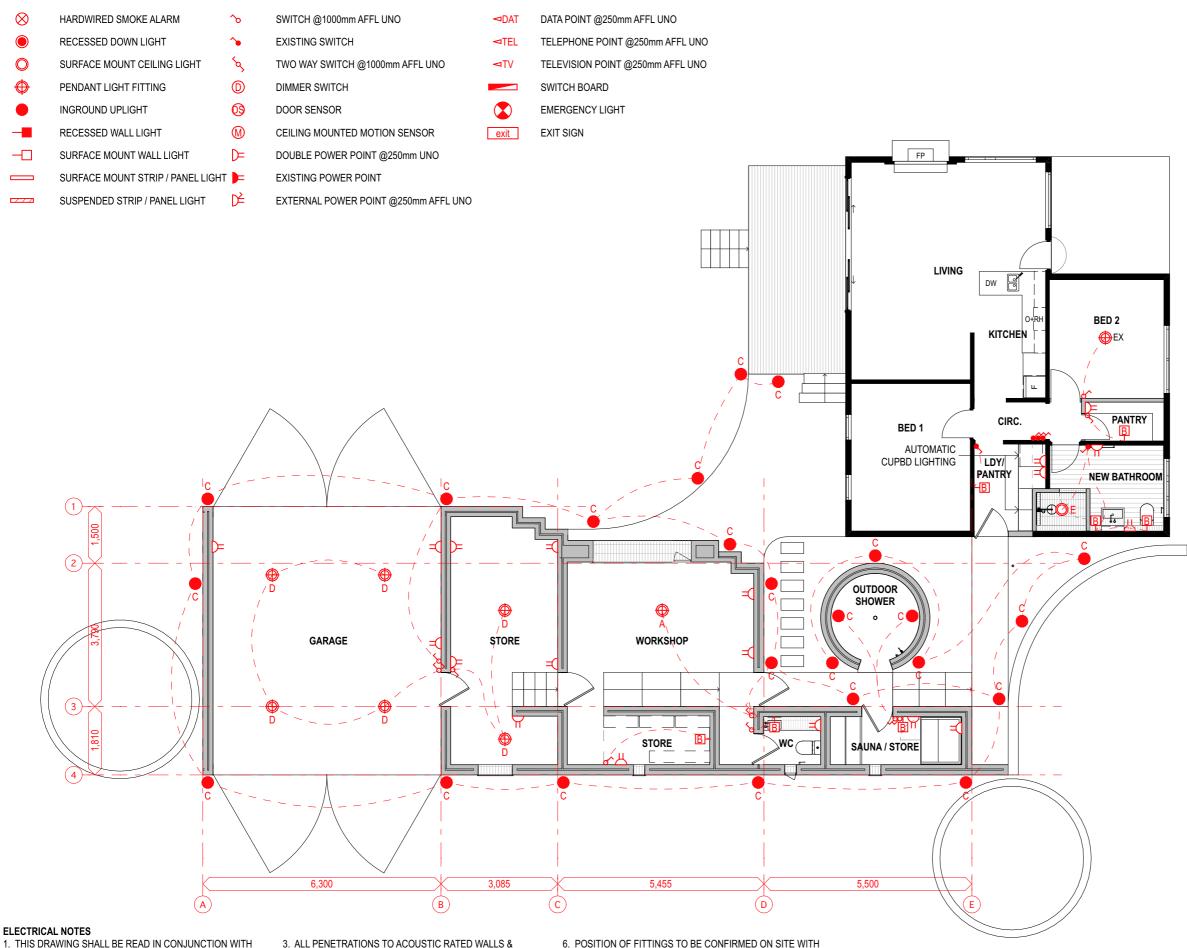
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Scale: 1:100 @ A3

Revision: 02

Date:

ELECTRICAL LEGEND



THE ARCHITECT PRIOR TO INSTALLATION.

- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.
- 2. THE ELECTRICAL FITTINGS AND EQUIPMENTS SHOWN ON THE DRAWINGS ARE NOT TO SCALE AND LOCATIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED ON SITE PRIOR TO INSTALLATION.
- CEILINGS TO BE SEALED TO MAINTAIN ACOUSTIC RATING
- 4. MAINTAIN EXISTING AND INSTALL NEW SMOKE ALARMS IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE.
- 5. REFER TO RELEVANT INTERIOR DRAWINGS FOR OUTLETS FITTED INSIDE THE JOINERY.

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ALL WORKS ARE CARRIED OUT UNDER SUPERVISION OF NOMINATED REG. ARCHITECT BOAQ 4002 / BOAT 1605.

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number:

24124B0

Drawing Title: GROUND LEVEL ELECTRICAL

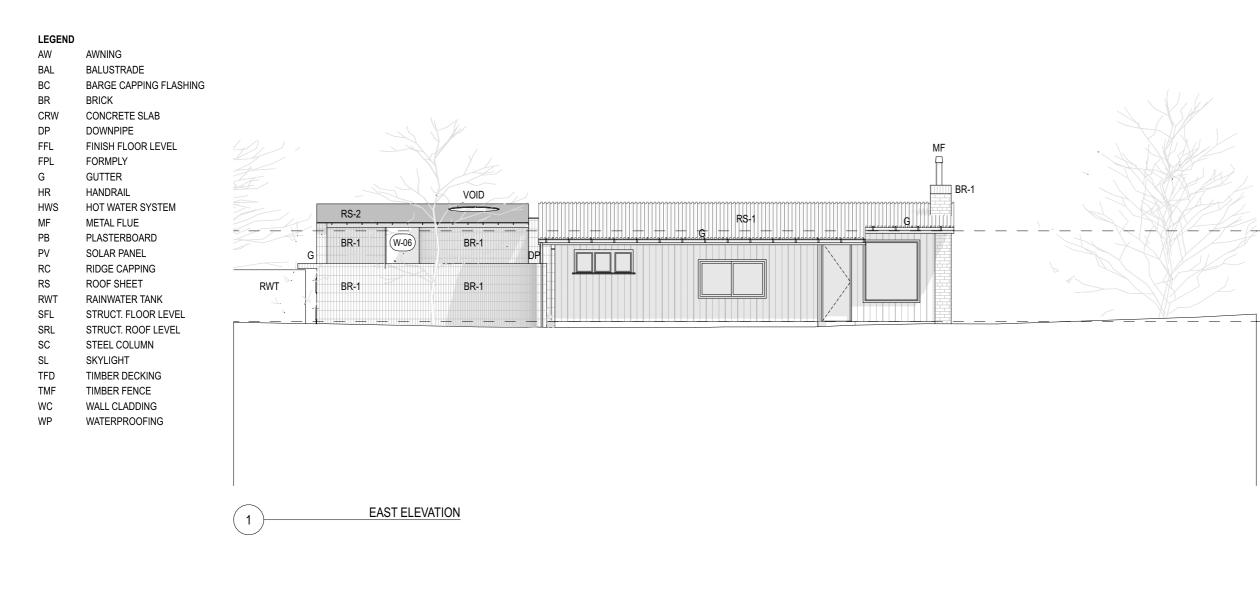
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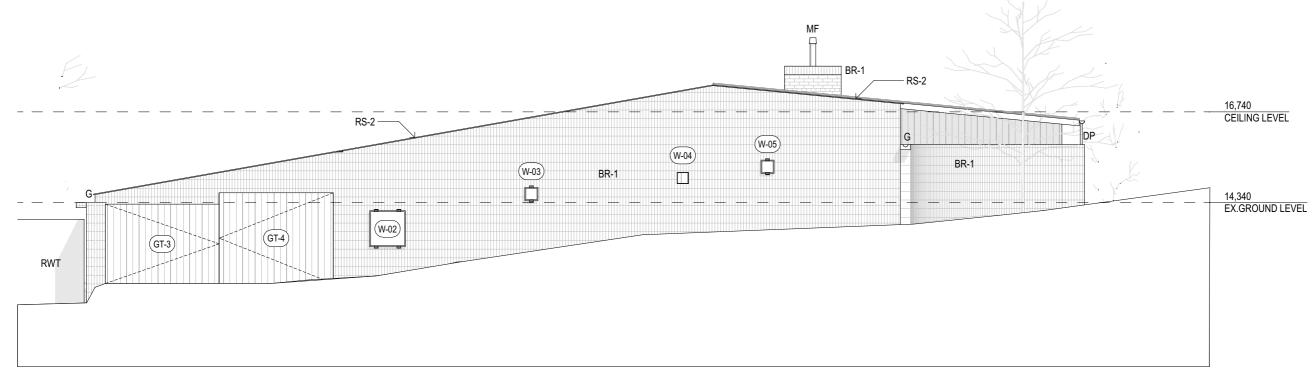
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Revision:

Date: 14/5/2025

02





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16,740 CEILING LEVEL

14,340 EX.GROUND LEVEL THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215
Property Description:

C.T. 183959/1

Project Number: 24124B0

Drawing Title: ELEVATIONS

Drawing Number:

Drawing Num

Scale: 1:100 @ A3

Revision: 02

Date: 14/5/2025

2

SOUTH ELEVATION



AW **AWNING** BAL BALUSTRADE

BC BARGE CAPPING FLASHING

FINISH FLOOR LEVEL

BR **BRICK**

CRW CONCRETE SLAB DP DOWNPIPE FFL

FPL FORMPLY

G **GUTTER** HR HANDRAIL

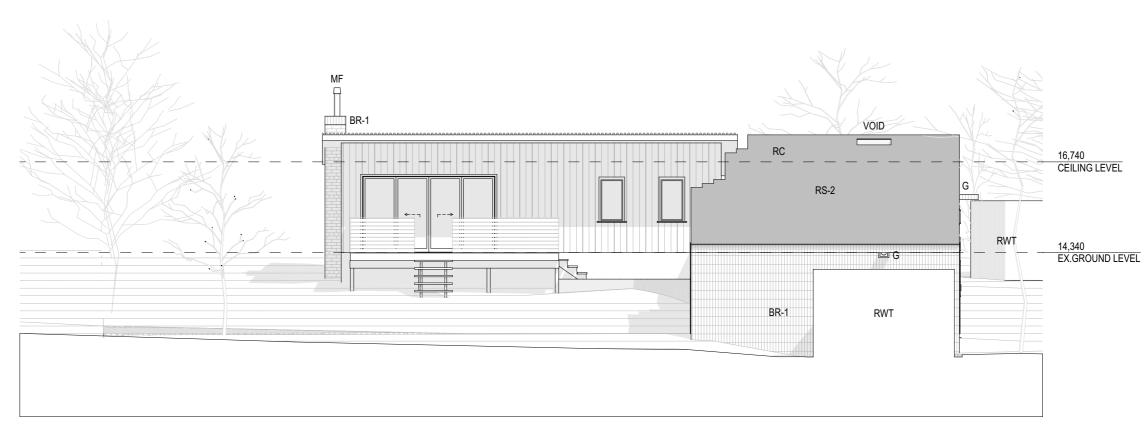
HWS HOT WATER SYSTEM

MF METAL FLUE PB PLASTERBOARD PVSOLAR PANEL RC RIDGE CAPPING RS **ROOF SHEET** RWT RAINWATER TANK SFL STRUCT. FLOOR LEVEL

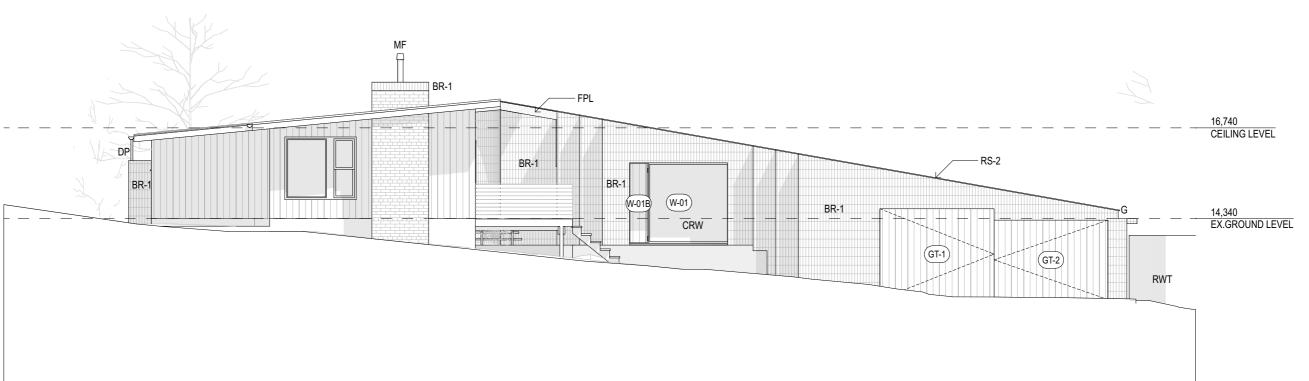
SRL STRUCT. ROOF LEVEL SC STEEL COLUMN SL SKYLIGHT

TFD TIMBER DECKING TMF TIMBER FENCE WALL CLADDING WC

WP WATERPROOFING



WEST ELEVATION



NORTH ELEVATION 2

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address:

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description:

C.T. 183959/1

Project Number: 24124B0

Drawing Title: ELEVATIONS

Drawing Number: D201

Scale:

1:100 @ A3

Revision: 02

Date:

LEGEND

AW **AWNING** BAL BALUSTRADE

BC BARGE CAPPING FLASHING

BR **BRICK**

CRW CONCRETE SLAB DP DOWNPIPE FFL

FINISH FLOOR LEVEL FPL **FORMPLY**

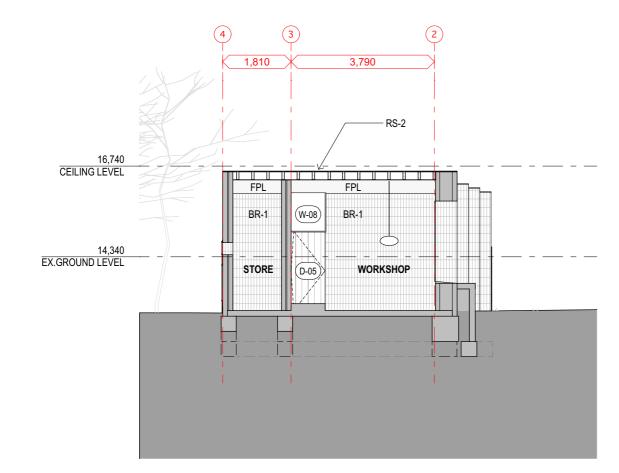
GUTTER G HANDRAIL HR

HWS HOT WATER SYSTEM

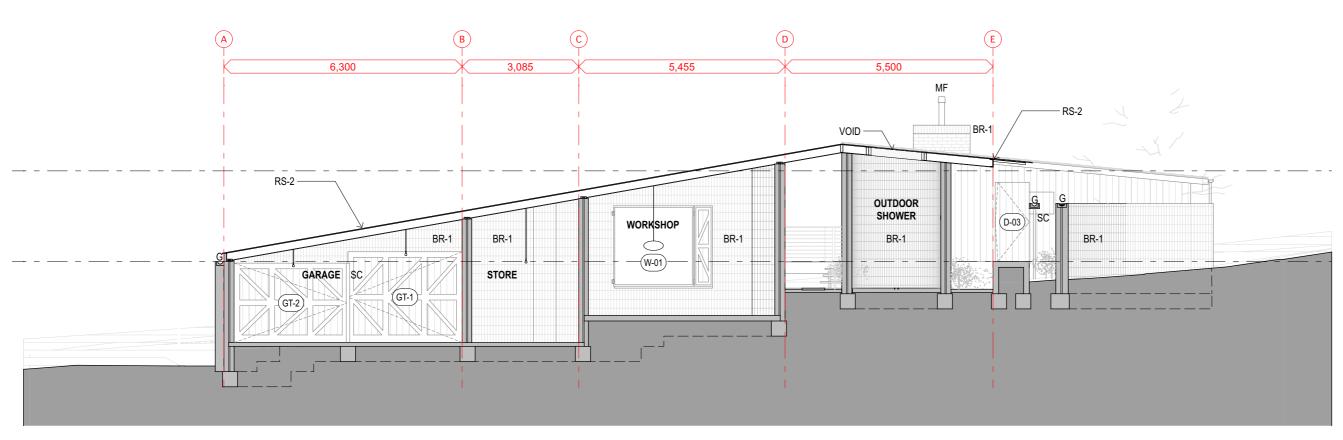
MF METAL FLUE PB PLASTERBOARD PVSOLAR PANEL RC RIDGE CAPPING RS **ROOF SHEET**

RWT RAINWATER TANK SFL STRUCT. FLOOR LEVEL SRL STRUCT. ROOF LEVEL

SC STEEL COLUMN SL SKYLIGHT TFD TIMBER DECKING TMF TIMBER FENCE WALL CLADDING WC WP WATERPROOFING



SECTION A



SECTION B

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Property Description:

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215

C.T. 183959/1

Project Number: 24124B0

Drawing Title: SECTIONS

Drawing Number: D300

Scale: 1:100 @ A3

Revision:

02

LEGEND

AW **AWNING** BAL BALUSTRADE

BC BARGE CAPPING FLASHING

BR **BRICK**

CRW CONCRETE SLAB DP DOWNPIPE

FFL FINISH FLOOR LEVEL FPL **FORMPLY**

GUTTER G HR HANDRAIL

HWS HOT WATER SYSTEM

MF METAL FLUE PB PLASTERBOARD PVSOLAR PANEL RC RIDGE CAPPING RS **ROOF SHEET** RWT RAINWATER TANK

SRL STRUCT. ROOF LEVEL SC STEEL COLUMN SL SKYLIGHT

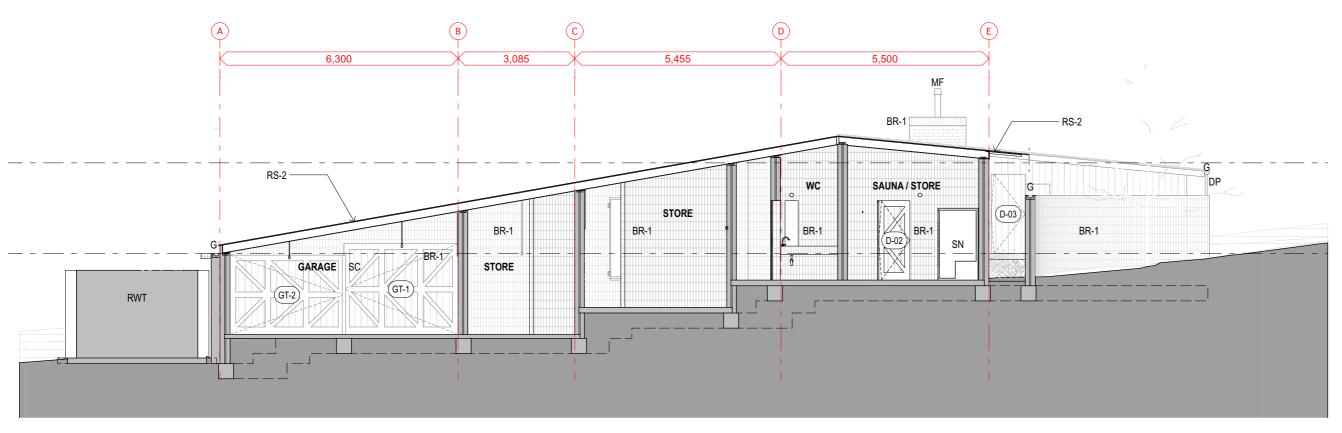
STRUCT. FLOOR LEVEL

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TFD TIMBER DECKING TMF TIMBER FENCE WC WALL CLADDING WP WATERPROOFING

(D) \bigcirc A 5,500 5,455 3,085 6,300 RS-2 - VOID - RS-2 WORKSHOP RWT BR-1 BR-1 (D-02) STORE SC GARAGE (W-02) (GT-4) (GT-3) RWT

SECTION C



SECTION D

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215 Property Description:

C.T. 183959/1

Project Number: 24124B0

Drawing Title: SECTIONS

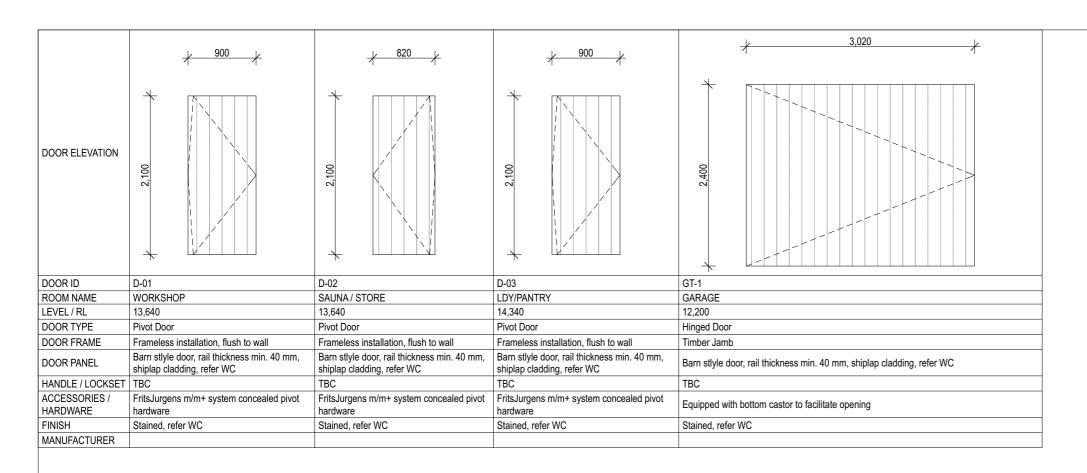
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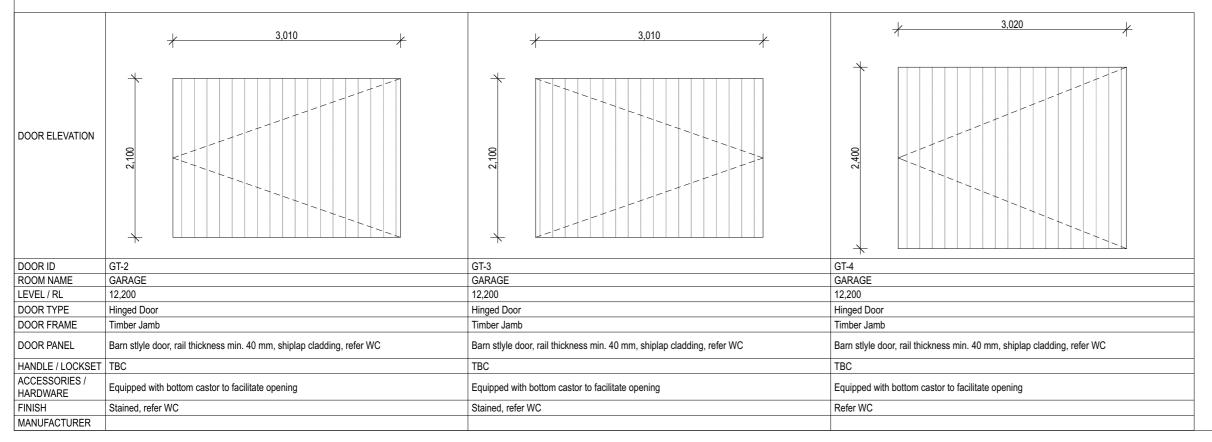
Scale: 1:100 @ A3

Revision:

02

Date:





DOORS & WINDOWS NOTES

- 1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.
- 2. DOORS & WINDOWS ARE TO COMPLY WITH THE APPLICABLE CLAUSES OF CURRENT EDITIONS OF THE FOLLOWING BUILDING STANDARDS: AS1288 GLASS IN BUILDINGS AS 2047 WINDOWS IN BUILDINGS AS3715 METAL FINISHING AS4145.2 MECHANICAL LOCKSETS OF DOORS & WINDOWS
- 3. ALL EXTERNAL DOORS TO INCLUDE WEATHER SEALS TO ALL SIDES 6. DIMENSIONS OF INTERIOR DOORS ARE TO FRAME 9. WHERE NOTED, SECURITY SCREEN TO BE
- 4. PROVIDE PLY PANEL TO CAVITY FRAME OF CAVITY SLIDERS WHERE REQUIRED FOR INSTALLATION OF FIXTURES AND TILING. PROVIDE 3-CELL ALUMINIUM SPLIT JAMB WHERE REQUIRED FOR **ELECTRICAL FITTINGS**
- 5. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO **FARRICATION**
- SIZES, UNLESS NOTED OTHERWISE
- 7. ALL DOORS KEYED ALIKE, UNLESS NOTED OTHERWISE
- 8. VISIBILITY MARKINGS FOR FULL HEIGHT GLASS AS REQUIRED BY AS1288 AT 900 ABOVE FLOOR LEVEL IN STICKERS ONLY

STAINLESS STEEL WOVEN WIRE MESH SECURITY SCREEN, FRAME COLOUR: TO MATCH WINDOW

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address:

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description:

C.T. 183959/1

Project Number:

24124B0

Drawing Title: EXT. DOORS SCHEDULE

Drawing Number: C440

Scale: AS NOTED @ A3

Revision:

02

Date:

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DOOR ELEVATION	2,100	2,100	2,100	2,100	2,100
DOOR ID	D-04	D-05	D-06	D-07	D-08
ROOM NAME	STORE	WORKSHOP	WORKSHOP		
LEVEL / RL	12,200	12,920	13,640	14,355	14,355
DOOR TYPE	Pivot Door	Pivot Door		Hinged Door	Hinged Door
DOOR FRAME	Frameless installation, flush to wall	Frameless installation, flush to wall	Frameless installation, flush to wall	Timber Jamb	Timber Jamb
DOOR PANEL	Barn stlyle door, rail thickness min. 40 mm, shiplap cladding, refer WC	Barn stlyle door, rail thickness min. 40 mm, shiplap cladding, refer WC	Barn stlyle door, rail thickness min. 40 mm, shiplap cladding, refer WC	Hollow core MDF	Hollow core MDF
HANDLE / LOCKSET	TBC	TBC	TBC	to match existing	to match existing
ACCESSORIES / HARDWARE	FritsJurgens m/m+ system concealed pivot hardware	FritsJurgens m/m+ system concealed pivot hardware	FritsJurgens m/m+ system concealed pivot hardware	to match existing	to match existing
FINISH	Stained, refer WC	Stained, refer WC	Stained, refer WC	painted to match existing	painted to match existing
MANUFACTURER				-	-

DOORS & WINDOWS NOTES

- 1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.
- 2. DOORS & WINDOWS ARE TO COMPLY WITH THE APPLICABLE CLAUSES OF CURRENT EDITIONS OF THE FOLLOWING BUILDING STANDARDS: AS1288 GLASS IN BUILDINGS AS 2047 WINDOWS IN BUILDINGS AS3715 METAL FINISHING AS4145.2 MECHANICAL LOCKSETS OF DOORS & WINDOWS
- 3. ALL EXTERNAL DOORS TO INCLUDE WEATHER SEALS TO ALL SIDES 6. DIMENSIONS OF INTERIOR DOORS ARE TO FRAME 9. WHERE NOTED, SECURITY SCREEN TO BE
- 4. PROVIDE PLY PANEL TO CAVITY FRAME OF CAVITY SLIDERS WHERE REQUIRED FOR INSTALLATION OF FIXTURES AND TILING. PROVIDE 3-CELL ALUMINIUM SPLIT JAMB WHERE REQUIRED FOR ELECTRICAL FITTINGS
- 5. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO **FABRICATION**
- SIZES, UNLESS NOTED OTHERWISE
- 7. ALL DOORS KEYED ALIKE, UNLESS NOTED OTHERWISE
- 8. VISIBILITY MARKINGS FOR FULL HEIGHT GLASS AS REQUIRED BY AS1288 AT 900 ABOVE FLOOR LEVEL IN STICKERS ONLY

STAINLESS STEEL WOVEN WIRE MESH SECURITY SCREEN, FRAME COLOUR: TO MATCH WINDOW

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address:

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number:

24124B0

Drawing Title: INT. DOORS SCHEDULE

Drawing Number:

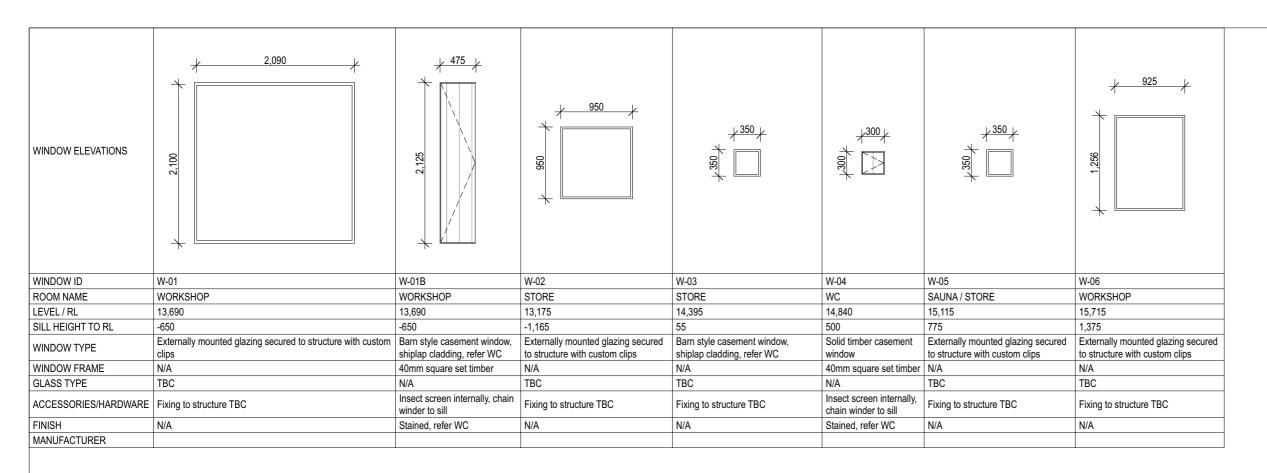
C441

Scale:

AS NOTED @ A3

Revision: 02

Date:



WINDOW ELEVATIONS	950	950
WINDOW ID	W-07	W-08
ROOM NAME	GARAGE	WORKSHOP
LEVEL / RL	14,275	14,995
SILL HEIGHT TO RL	-65	655
WINDOW TYPE	Externally mounted glazing secured to structure with custom clips	Externally mounted glazing secured to structure with custom clips
WINDOW FRAME	N/A	N/A
GLASS TYPE	TBC	TBC
ACCESSORIES/HARDWARE	Fixing to structure TBC	Fixing to structure TBC
FINISH	N/A	N/A
MANUFACTURER		

DOORS & WINDOWS NOTES

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- 2. DOORS & WINDOWS ARE TO COMPLY WITH THE APPLICABLE CLAUSES OF CURRENT EDITIONS OF THE FOLLOWING BUILDING STANDARDS:
 AS1288 GLASS IN BUILDINGS
 AS 2047 WINDOWS IN BUILDINGS
 AS3715 METAL FINISHING
 AS4145.2 MECHANICAL LOCKSETS OF DOORS & WINDOWS
- 3. ALL EXTERNAL DOORS TO INCLUDE WEATHER SEALS TO ALL SIDES 6. DIMENSIONS OF INTERIOR DOORS ARE TO FRAME 9. WHERE NOTED, SECURITY SCREEN TO BE
- 4. PROVIDE PLY PANEL TO CAVITY FRAME OF CAVITY SLIDERS WHERE REQUIRED FOR INSTALLATION OF FIXTURES AND TILING. PROVIDE 3-CELL ALUMINIUM SPLIT JAMB WHERE REQUIRED FOR ELECTRICAL FITTINGS
- 5. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO FARRICATION
- 6. DIMENSIONS OF INTERIOR DOORS ARE TO FRAN SIZES, UNLESS NOTED OTHERWISE
- 7. ALL DOORS KEYED ALIKE, UNLESS NOTED OTHERWISE
- 8. VISIBILITY MARKINGS FOR FULL HEIGHT GLASS AS REQUIRED BY AS1288 AT 900 ABOVE FLOOR LEVEL IN STICKERS ONLY

9. WHERE NOTED, SECURITY SCREEN TO BE STAINLESS STEEL WOVEN WIRE MESH SECURITY SCREEN, FRAME COLOUR: TO MATCH WINDOW

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Project Name:

Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address:

28 LEGGE ST

FALMOUTH, TAS, 7215

Property Description:

C.T. 183959/1

Project Number:

24124B0

Drawing Title: WINDOWS SCHEDULE

WINDOWS SCHEDUL

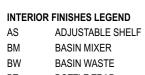
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Scale:

AS NOTED @ A3

Revision:

02



BW BASIN WASTE
BT BOTTLE TRAP
BTP BENCH TOP
CPV PERMEABLE PAVER

CRT CURTAIN
CRW CONCRETE SLAB

DH DOOR HANDLE
DRW DRAWER
DW DISHWASHER

FC FIBRE CEMENT SHEET

FPL FORMPLY

FS FIXED SHELF FT FLOOR TILE

FW FLOOR WASTE HR HANGING RAIL MR MIRROR

MX SHOWER MIXER
OS OPEN SHELF

OV OVEN

PB PLASTERBOARD
PP PUSH PULL
PE EPIDCE

RF FRIDGE RH RANGEHOOD SH SHOWER HEAD

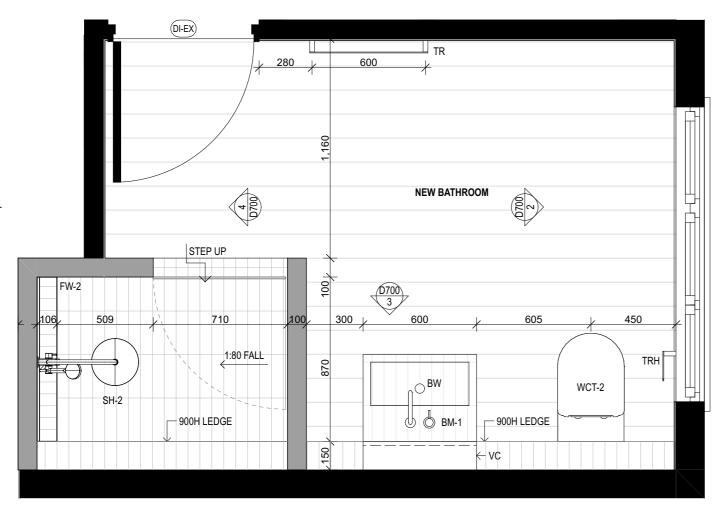
SK SINK
SM SINK MIXER
ST STOVETOP

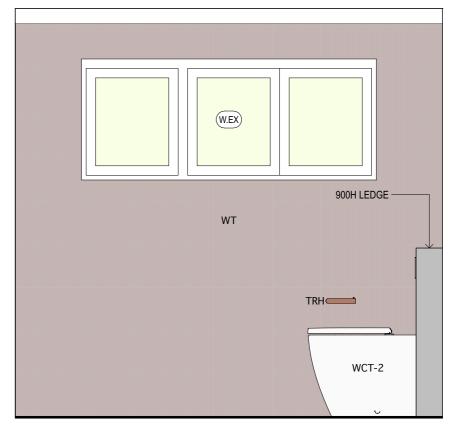
TR TOWEL RAIL
TRH TOILET ROLL HOLDER

VB VANITY BASIN
VC VANITY CABINET
WC WALL CLADDING

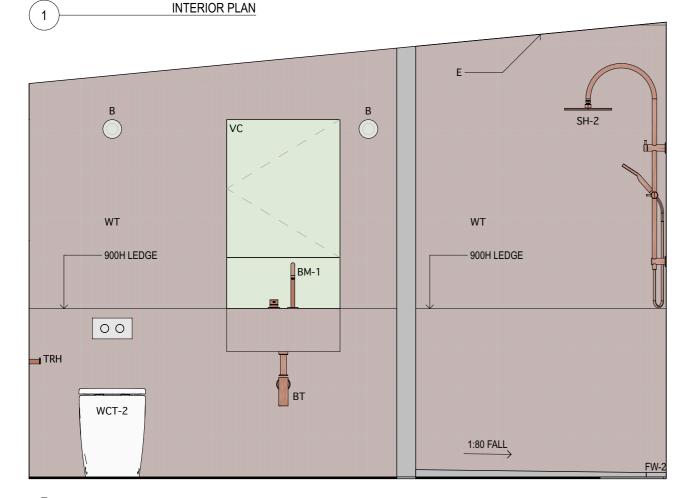
WD WASHER/DRYER WCT WATER CLOSET

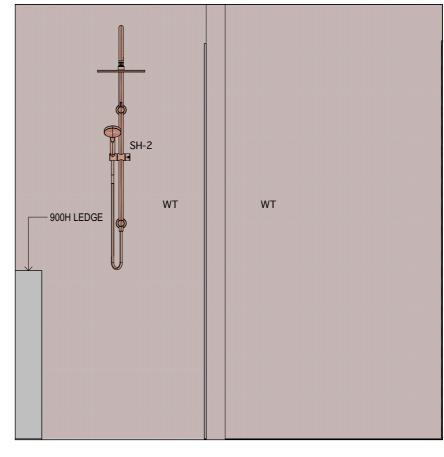
WL WALL LINING
WM WALL MIXER
....





BATH ELEVATION





BATH ELEVATION

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number: 24124B0

Drawing Title:

NEW BATHROOM FITOUT

Drawing Number: D700

Scale:
AS NOTED @ A3

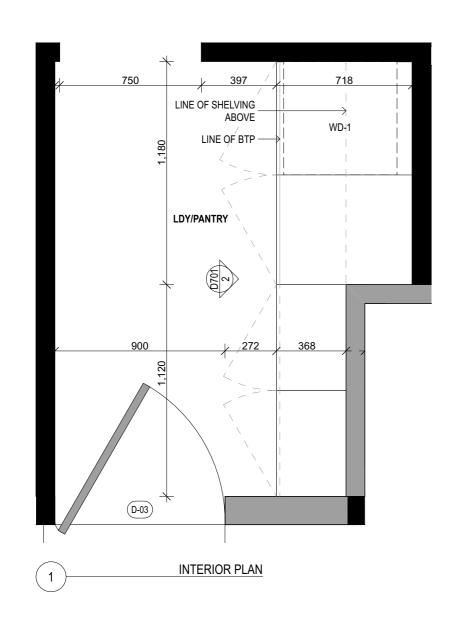
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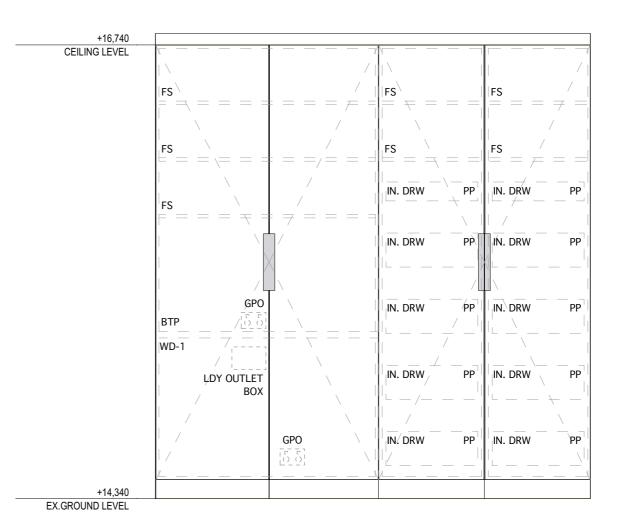
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Date: 14/5/2025

BATH ELEVATION

AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		





LAUNDRY ELEVATION

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address:

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number:

24124B0

Drawing Title: NEW LAUNDRY FITOUT

Drawing Number:

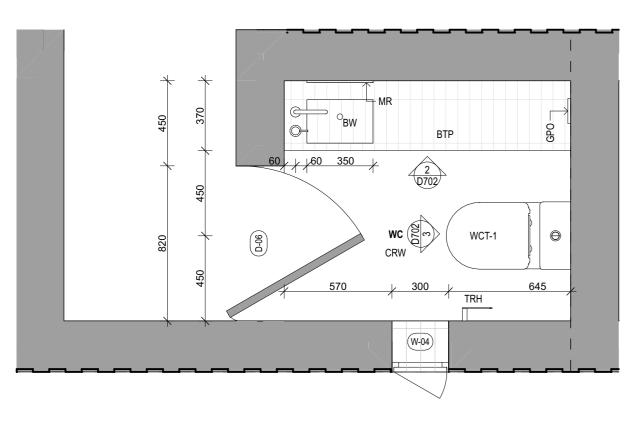
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Scale: AS NOTED @ A3

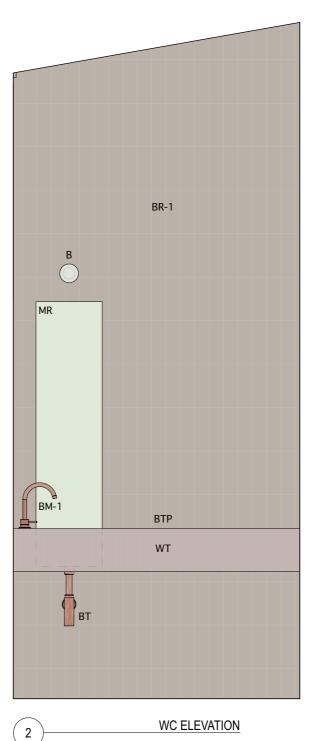
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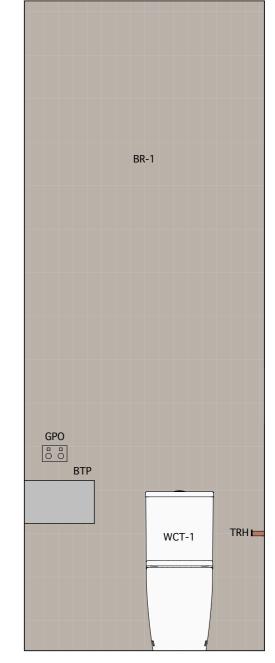
02

AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		









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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

28 LEGGE ST FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number:

24124B0

Drawing Title: WC

MC

Drawing Number: D702

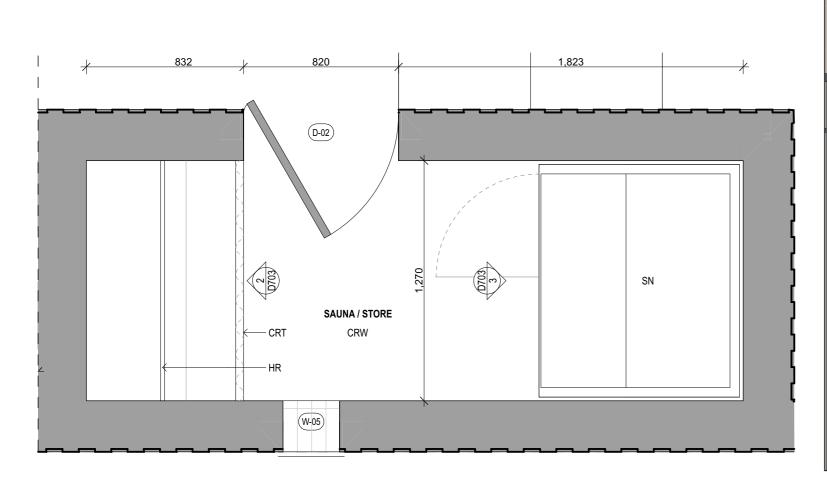
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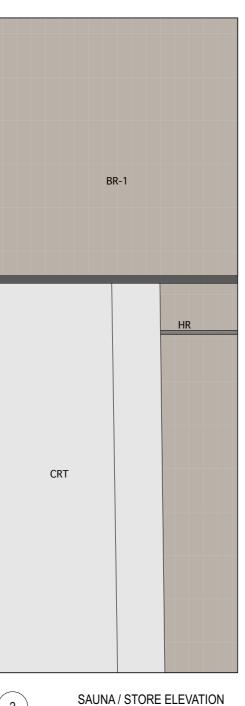
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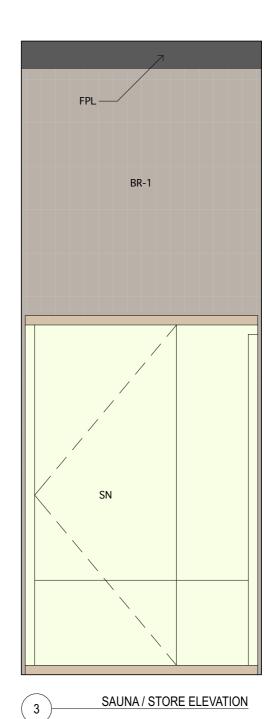
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BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		



INTERIOR PLAN



2



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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215 Property Description:

C.T. 183959/1 Project Number:

24124B0

Drawing Title: SAUNA / STORE

Drawing Number:

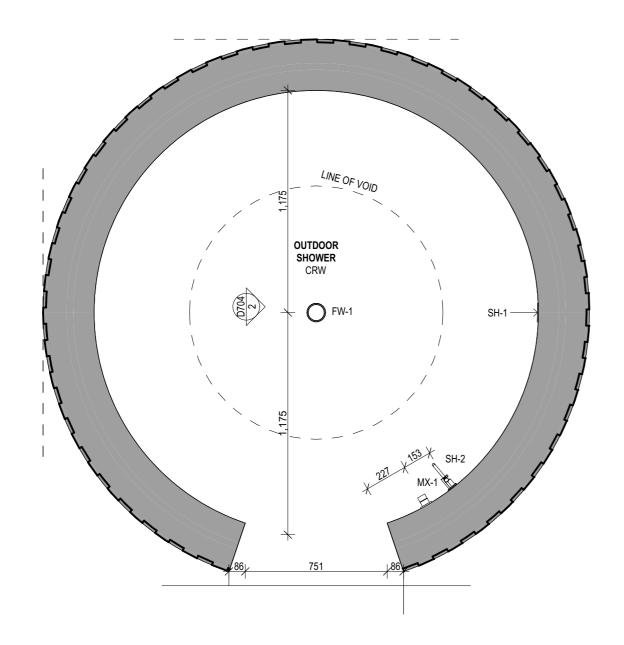
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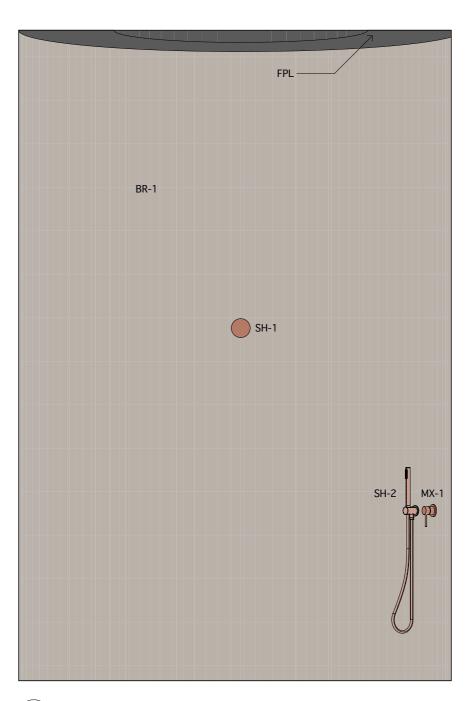
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BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
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CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		



INTERIOR PLAN



OUTDOOR SHOWER 2

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Project Name: Falmouth Cottage Extension

Client:

S. Norton & R. Gates

Address: 28 LEGGE ST

FALMOUTH, TAS, 7215

Property Description: C.T. 183959/1

Project Number: 24124B0

Drawing Title:

OUTDOOR SHOWER

Drawing Number: D704

Scale:

AS NOTED @ A3

Revision: 02

Date:

15 September 2025

Break O'Day Council

Address: 28 Legge Street, Falmouth

RE: Response to Request for Further Information

DA 117/2025 – Dwelling Alterations plus Addition of Workshop & Garage, 28 Legge Street, Falmouth

Dear Mr McKinlay,

I refer to Council's correspondence dated 6 August 2025 requesting further information in relation to the above application. Please find below our response to Items 3, 4 and 5, addressing the relevant provisions of the Tasmanian Planning Scheme – State Planning Provisions.

Item 3 – Rainwater Tanks (Clause 10.4.3 Setbacks)

Clause 4.6.13 – Rain-Water Tanks (Exemptions)

Exemption

A rain-water tank is exempt if:

- (a) attached, or located, to the side or rear of a building;
- (b) not more than 45kL in capacity;
- (c) not on a stand with a height of more than 1.2m above existing ground level; and
- (d) has a setback not less than the Acceptable Solution for the relevant zone, unless the Local Historic Heritage Code applies and requires a permit.

Response

The proposal satisfies all elements of Clause 4.6.13 as follows:

• Location: Both tanks are located to the side/rear of the dwelling, ensuring they are not visible as dominant features of the streetscape.





- Capacity: Tank 1 (20,000L) and Tank 2 (22,500L) provide a total capacity of 42,500L, which is less than the 45kL exemption threshold.
- Height: Each tank is proposed at a maximum height of 2.32m and not on a stand exceeding 1.2m, ensuring compliance with the exemption requirement.
- Setbacks: As both tanks have a height under 2.4m, they fall within the Acceptable Solution A2 of Clause 10.4.3 (side/rear setbacks not applying to outbuildings under 2.4m in height). This confirms compliance with the required setbacks for the purposes of the exemption.

Performance Criteria P2 requires that the siting of development not cause an unreasonable loss of amenity to adjoining properties, having regard to site topography, setbacks, building bulk and height, private open space, and existing character.

The proposed rainwater tanks are low in scale, located to the side and rear of the dwelling, and partially screened by existing vegetation and built form. They will not overshadow or visually dominate adjoining dwellings or private open space, and their appearance is consistent with established residential character.

Accordingly, the proposal meets P2 of Clause 10.4.3, as no unreasonable amenity impact will result.

Item 4 – Garden Wall (Clause 10.4.5 Frontage Fences)

Performance Criteria P1 requires that fences or free-standing walls within 4.5m of a frontage provide privacy and security while allowing passive surveillance, and be consistent with the character of fencing in the street.

The proposed garden wall is modest in height, designed with visual permeability, and provides a landscaped edge that complements the dwelling. The design maintains surveillance opportunities to the street, while contributing positively to streetscape character and aligning with existing low-scale fencing in the locality.



The wall therefore satisfies P1 of Clause 10.4.5.

Item 5 – Driveway Surface (Clause C2.6.1 Construction of Parking Areas)

Performance Criteria P1 requires that all parking, access ways, manoeuvring and circulation spaces be readily identifiable and constructed so that they are useable in all weather conditions, having regard to site topography, drainage, sediment/dust control, and the nature of the surfacing.

Response

The proposed driveway will be finished using permeable pavers (see attached specifications). This treatment provides:

- A durable, all-weather surface capable of accommodating regular residential traffic.
- Integrated stormwater management, with the permeable surface allowing infiltration and reducing runoff into the street drainage system.
- Effective control of sediment and dust, minimising the likelihood of material being transported onto the road or public places.
- A finish that is visually appropriate and consistent with high-quality residential design outcomes.

Conclusion

The use of permeable pavers satisfies P1 of Clause C2.6.1, as the driveway is constructed to an appropriate standard, ensures ongoing functionality in all weather, and contributes positively to on-site stormwater management.

Conclusion

The above responses demonstrate that the proposed dwelling and associated works comply with the performance criteria of Clauses 10.4.3, 10.4.5 and C2.6.1 of the Tasmanian Planning Scheme. The development will not result in any unreasonable loss of amenity and is consistent with the objectives of the Scheme.



We trust this information addresses Council's request and look forward to your confirmation that the application may now proceed. Please do not hesitate to contact me should you require any further clarification.

We appreciate your consideration of this submission and welcome the opportunity to discuss this matter further. Please do not hesitate to contact us should further information be required.

Yours Faithfully,

Raphael Tsakirellis

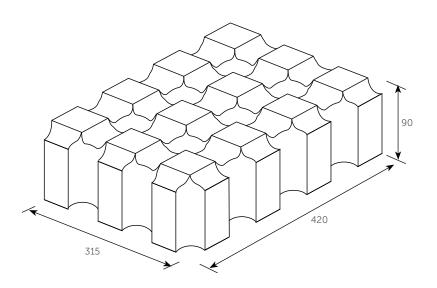
Director

VicUrban Town Planning PTY LTD

DATA SHEET

Turfgrid™

PRODUCT DIMENSIONS



PRODUCT SPECIFICATIONS

Turfgrid™	420mm x 315mm x 90mm
Average Product Weight	16.5kg
Average No. per Tonne	55
Average No. per m²	7.5
Average No. per Pallet	90
Paver Type	С
Origin of Manufacture	VIC

NOTE:

Product dimensions are nominal.

All dimensions are in millimeters

Description	Results	Test Method / Standard
Mean Abrasion index	7	AS/NZS 4456.9:2003
Characteristic Breaking Load	6kN	AS/NZS 4456.5 : 2003
Resistance to Salt attack	Exposure Category	AS/NZS 4456.10: 2003
Unsealed Slip Resistance	P5	AS/NZS 4586 : App.A

For more information visit: adbrimasonry.com.au or call 1300 365 565



