

Development Applications

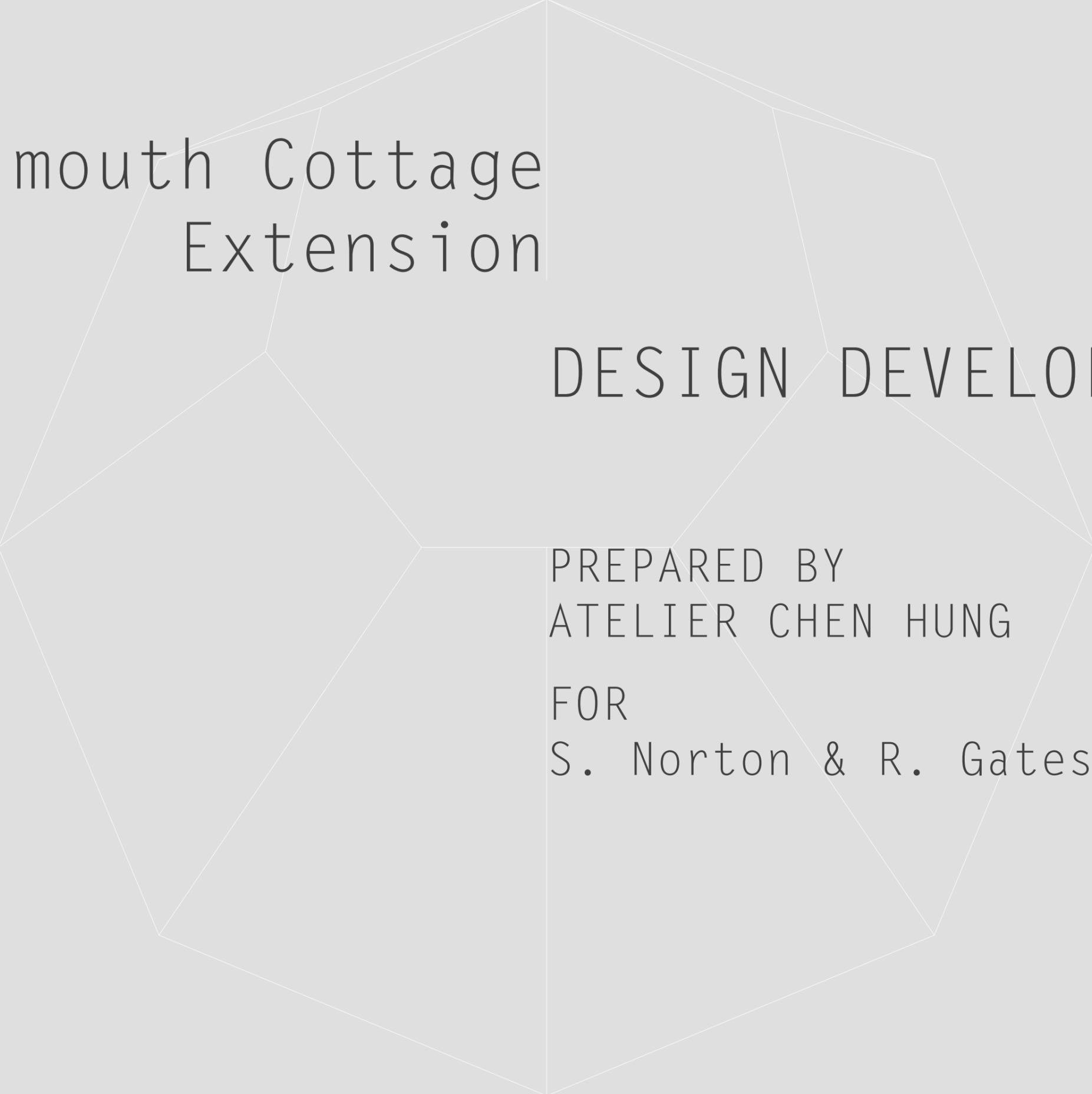
Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00117
Applicant	R Tsakirellis
Proposal	Residential - Dwelling Alterations plus Addition of Workshop and Garage
Location	28 Legge Street, Falmouth

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 27th September 2025 **until 5pm Monday 13th October 2025.**

John Brown
GENERAL MANAGER



Falmouth Cottage
Extension

DESIGN DEVELOPMENT

PREPARED BY
ATELIER CHEN HUNG

FOR
S. Norton & R. Gates



ATEL
-IER
CHEN
HUNG



Project Name:
Falmouth Cottage Extension
Client:
S. Norton & R. Gates
Address:
28 LEGGE ST
FALMOUTH, TAS, 7215
Property Description:
C.T. 183959/1
Project Number:
2412480
Drawing Title:
3D VIEWS
Drawing Number:
D000
Scale:
AS NOTED @ A3
Revision:

Date:
14/5/2025

1. ALL CONSTRUCTION TO COMPLY WITH THE CURRENT NATIONAL CONSTRUCTION CODE VOLUME 2 (CLASS 1 BUILDINGS), APPLICABLE STATE BUILDING REGULATIONS AND SHALL COMPLY WITH AS.1428.1

3. CONTACT ARCHITECT IMMEDIATELY SHOULD ANY ERRORS OF DIMENSION, SETOUT OR HEIGHT BECOME APPARENT

5. INSTALL EROSION AND SEDIMENT CONTROL MEASURES TO THE SATISFACTION OF THE LOCAL AUTHORITY

7. CONSTRUCTION JOINTS MUST BE CONSTRUCTED TO MAINTAIN THE FIRE INTEGRITY OF THE WALL IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE C3.16

9. WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE WHILE CLEANING OR MAINTENANCE WORK IS BEING CARRIED OUT ANCHOR POINTS OR A WORK SYSTEM MAY BE REQUIRED TO PREVENT SUCH FALLS

11. SUBFLOOR VENTILATION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE VOLUME 2

13. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660.1

15. REFER TO SLAB SETOUT DRAWINGS FOR ALL CONCRETE & MASONRY SETOUTS, PLUS ADDITIONAL LEVELS & FALLS.

17. UNLESS NOMINATED OTHERWISE, ALL INTERNAL CONCRETE & MASONRY WALLS ARE FULL HEIGHT TO UNDERSIDE OF SLAB OVER. WALL LININGS CONTINUE TO UNDERSIDE OF SLAB, ROOF SHEETING U.N.O

19. ALL MASONRY CONSTRUCTION IS TO COMPLY WITH AS.3700

21. ALL WINDOWS AND EXTERNAL GLAZING DOORS ARE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND RECOMMENDATION.

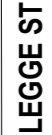
23. ALL WET AREAS THROUGHOUT THE BUILDING MUST BE INSTALLED IN ACCORDANCE WITH AS3740 AND THE NATIONAL CONSTRUCTION CODE VOLUME 2 PART 3.8.1

25. WATERPROOF MEMBRANE INSTALLATION TO BE IN ACCORDANCE WITH AS4654.2

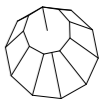
30. ALL CEILING AND WALL JUNCTION TO BE SQUARE SET
U.N.O

34. ALL DRIVEWAY AND EXTERNAL WORKS / LANDSCAPING SHOWN ON ARCHITECTURAL DRAWINGS ARE INDICATIVE ONLY. REFER THE RELEVANT CONSULTANT'S DRAWINGS FOR INFORMATION ON THESE ELEMENTS OF THE DEVELOPMENT

INTERNAL BUILDING AREA	164m²
<i>PROPOSED</i>	97m ²
<i>EXISTING</i>	67m ²
UNDERCOVER EXTERNAL AREA	20m ²
SITE COVERAGE	20.44%
<i>EXISTING</i>	12.3%



Revision	Date	Description
01	18/12/2024	DD WIP REVIEW
02	15/3/2025	DA/BA WIP ISSUE



Date:
14/5/2025



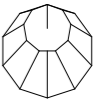
**NOT FOR
CONSTRUCTION**

THIS WORK IS COVERED BY COPYRIGHT AND CANNOT BE RE-PRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF ATELIER CHEN HUNG. ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF WRITTEN AGREEMENT BETWEEN ATELIER CHEN HUNG AND THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER SUPERVISION OF NOMINATED REG. ARCHITECT BOAQ 4002 / BOAT 1605.

Revision	Date	Description
01	18/12/2024	DD WIP REVIEW



Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
2412480

Drawing Title:
LOCAL PLAN

Drawing Number:
D101

Scale:
AS NOTED @ A3

Revision:
01

Date:
14/5/2025

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.
2. ALL EXISTING PLUMBING OUTLET POINTS TO BE KEPT AND REPLACED WITH NEW FIXTURES
3. ALL EXISTING SHOWER WALL MIXER TO BE KEPT AS IS
4. WORKS TO WET AREAS CONDUCTED IN A WAY TO RETAIN EXISTING WATERPROOFING MEMBRANE

	ELEMENTS TO BE DEMOLISHED
	ELEMENTS TO REMAIN
	WINDOWS TO BE DEMOLISHED
	WINDOWS TO REMAIN
	DOORS TO BE DEMOLISHED
	DOORS TO REMAIN

DW 

CIRC.

BATH
4.35 m²

BED 3
6.91 m²

DM-TREE

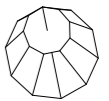
DM-TREE

DM-TREE

**NOT FOR
CONSTRUCTION**

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

Revision	Date	Description
01	18/12/2024	DD WIP REVIEW
02	15/3/2025	DA/BA WIP ISSUE



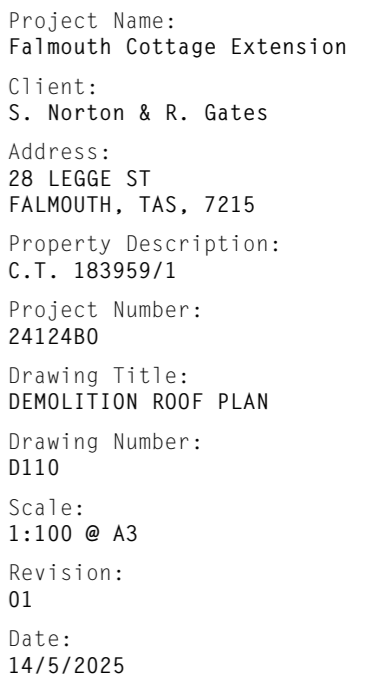
Date:
14/5/2025

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.
2. ALL EXISTING PLUMBING OUTLET POINTS TO BE KEPT AND REPLACED WITH NEW FIXTURES
3. ALL EXISTING SHOWER WALL MIXER TO BE KEPT AS IS
4. WORKS TO WET AREAS CONDUCTED IN A WAY TO RETAIN EXISTING WATERPROOFING MEMBRANE

	ELEMENTS TO BE DEMOLISHED
	ELEMENTS TO REMAIN
	WINDOWS TO BE DEMOLISHED
	WINDOWS TO REMAIN
	DOORS TO BE DEMOLISHED
	DOORS TO REMAIN

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

GENERAL LEGEND					
AE	AIR EXHAUST	DP	DOWNPIPE	JU	JOINERY UNIT
AVC	AIR CONDITIONING	FC	FIBRE CEMENT	MB	MASONRY BLOCK
AW	AWNING	FFL	FINISH FLOOR LEVEL	PB	PLASTERBOARD
AV	AIR VENT	FP	FIREPLACE	PV	SOLAR PANEL
BAL	BALUSTRADE	FPL	FORMPLY	RC	RIDGE CAPPING
BC	BARGE CAPPING	FT	FLOOR TILE	RS	ROOF SHEET
CL	CEILING LEVEL	G	GUTTER	RWT	RAINWATER TANK
CPV	PERMEABLE PAVER	GD	GRATED DRAIN	SC	STEEL COLUMN
CRW	CONCRETE SLAB	HWS	HOT WATER SYSTEM	SFL	STRUCT. FLOOR LEVEL

NOT FOR
CONSTRUCTION

THIS WORK IS COVERED BY COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF ATELIER CHEN HUNG. ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF WRITTEN AGREEMENT BETWEEN ATELIER CHEN HUNG AND THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER SUPERVISION OF NOMINATED REG. ARCHITECT BOAQ 4002 / BOAT 1605.

Revision	Date	Description
01	18/12/2024	DD WIP REVIEW
02	15/3/2025	DA/BA WIP ISSUE
03	14/8/2025	COUNCIL RFI

Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
2412480

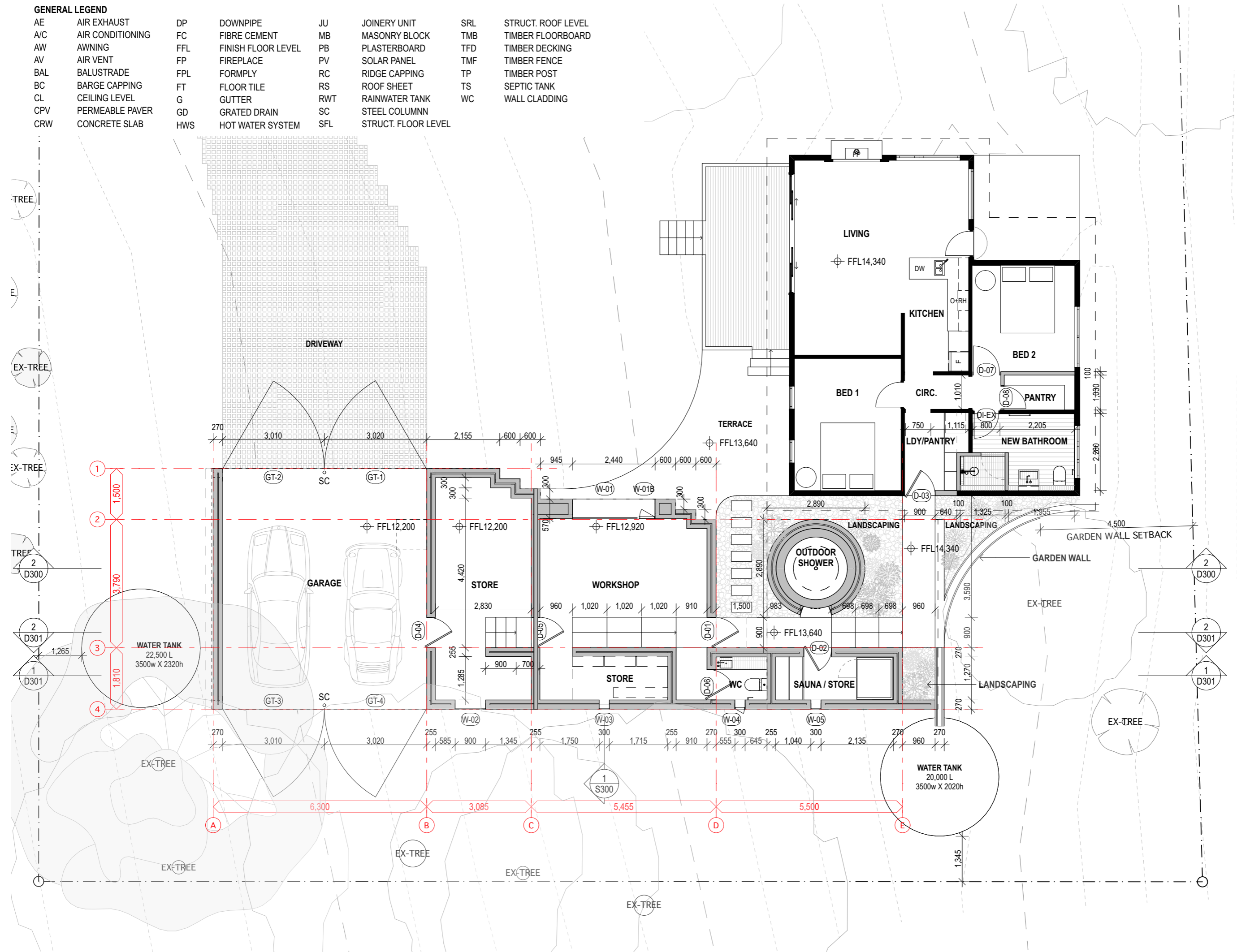
Drawing Title:
FLOOR PLAN

Drawing Number:
D130

Scale:
1:100 @ A3

Revision:
03

Date:
14/8/2025

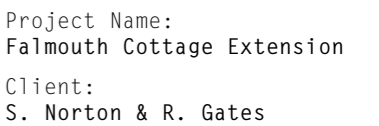


RAINFALL INTENSITY
20 YR AVERAGE (ST. MARYS): 205mm/h
ANNUAL RAINFALL: 650 mm

ROOF CATCHMENT 2 - 5.5°	
COVERAGE AREA:	28m²
NO./SIZE OF DOWNPIPES:	1/90mm??
NOMINATED GUTTER SPEC.:	TBC
GUTTER CROSS SECTION:	min 6500 mm2
CATCHMENT PER DP:	28m²

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

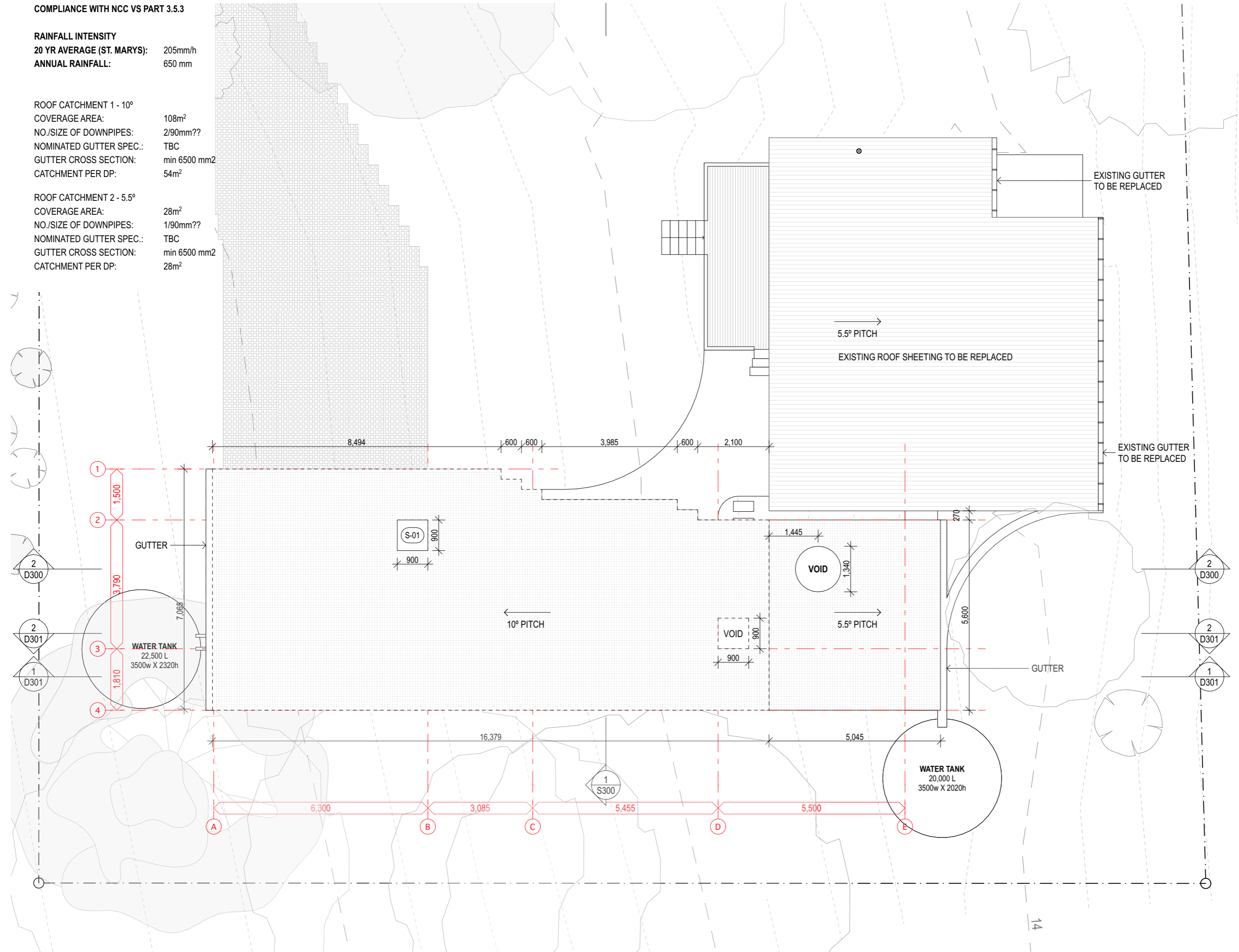
Property Description:
C.T. 183959/1

Drawing Title:
ROOF PLAN

Scale:
1:100 @ A3

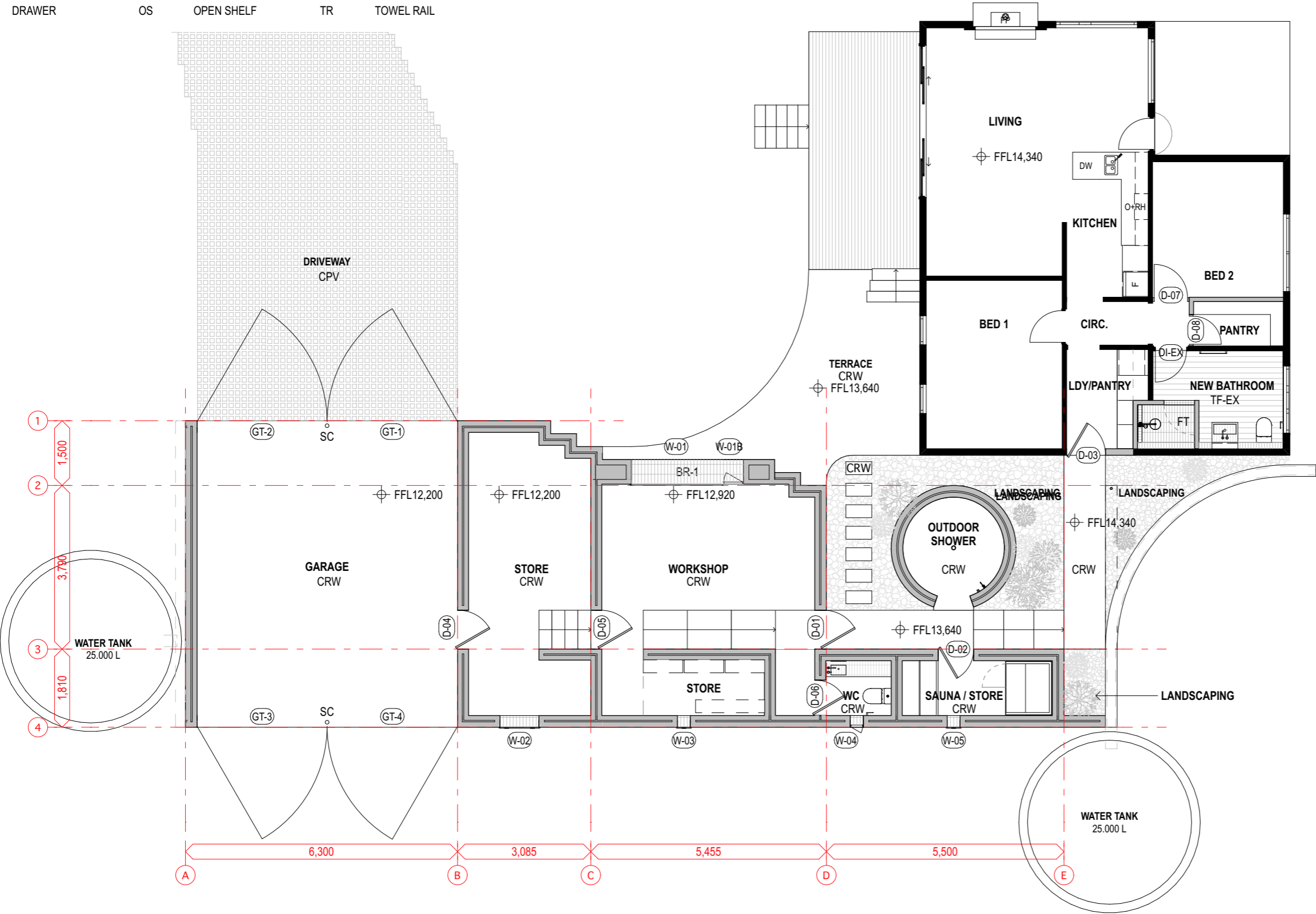
Revision:
03

Date:
14/8/2025



INTERIOR FINISHES LEGEND

AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		



NOT FOR
CONSTRUCTION

THIS WORK IS COVERED BY COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF ATELIER CHEN HUNG. ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF WRITTEN AGREEMENT BETWEEN ATELIER CHEN HUNG AND THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER SUPERVISION OF NOMINATED REG. ARCHITECT BOAQ 4002 / BOAT 1605.

Revision	Date	Description
01	18/12/2024	DD WIP REVIEW
02	15/3/2025	DA/BA WIP ISSUE



Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
2412480

Drawing Title:
FINISHES PLAN

Drawing Number:
D140

Scale:
1:100 @ A3

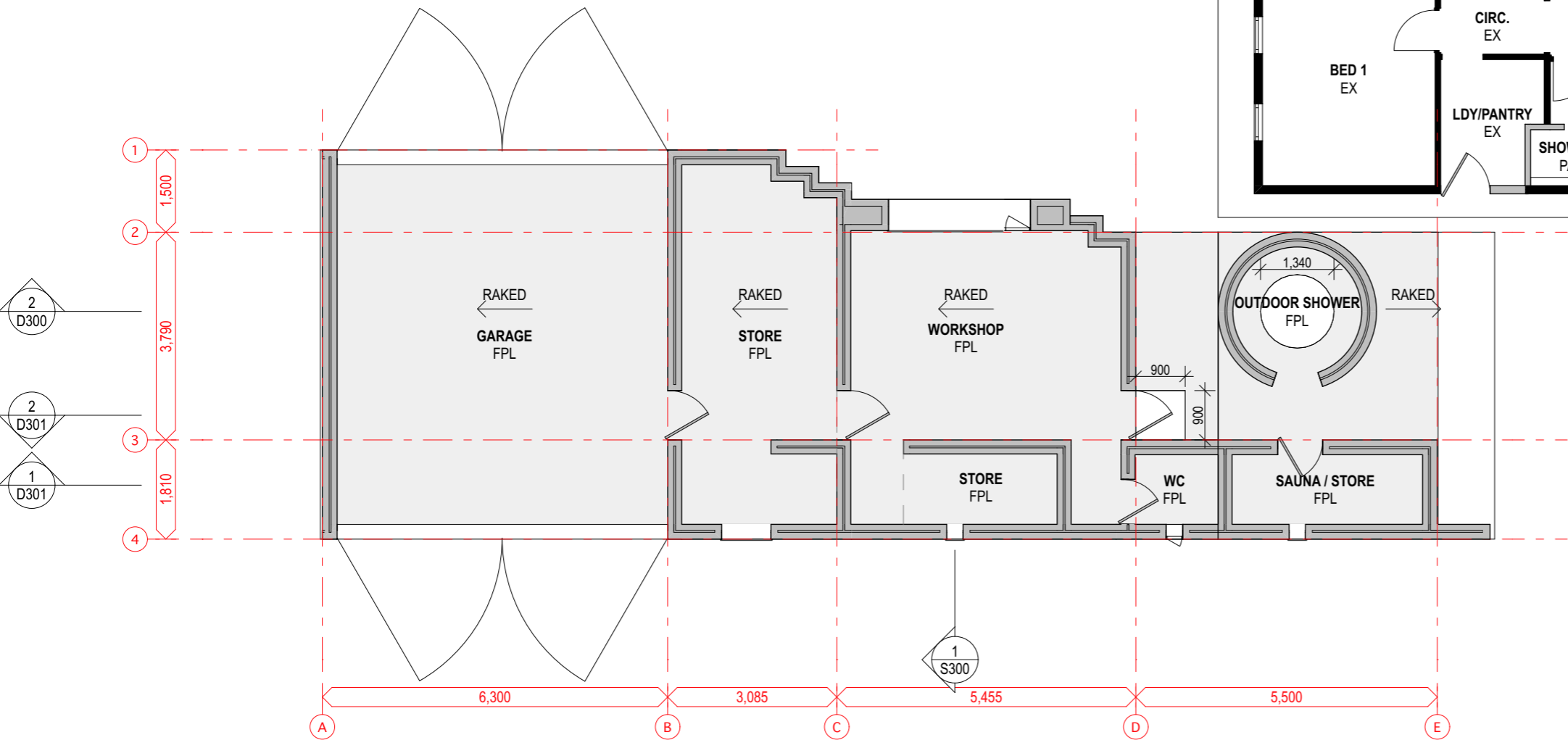
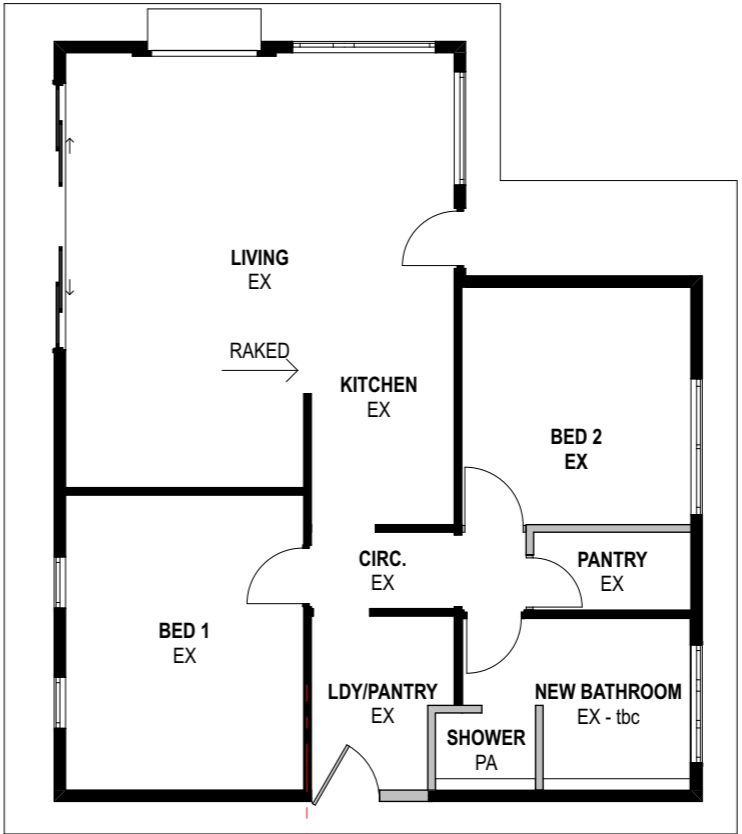
Revision:
02

Date:
14/5/2025

AE	AIR EXHAUST	DP	DOWNPIPE	JU	JOINERY UNIT
A/C	AIR CONDITIONING	FC	FIBRE CEMENT	MB	MASONRY BLOCK
AW	AWNING	FFL	FINISH FLOOR LEVEL	PB	PLASTERBOARD
AV	AIR VENT	FP	FIREPLACE	PV	SOLAR PANEL
BAL	BALUSTRADE	FPL	FORMPLY	RC	RIDGE CAPPING
BC	BARGE CAPPING	FT	FLOOR TILE	RS	ROOF SHEET
CL	CEILING LEVEL	G	GUTTER	RWT	RAINWATER TANK
CPV	PERMEABLE PAVER	GD	GRATED DRAIN	SC	STEEL COLUMNN
CRW	CONCRETE SLAB	HWS	HOT WATER SYSTEM	SFL	STRUCT. FLOOR LEVEL

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH
OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER
ENGINEERING DRAWINGS.

3. CH LEVELS NOTED ON THE RCP ARE TO BE SET OUT FROM THE FFL OF THE RELEVANT STORY. ARCHITECT TO CONFIRM ON SITE.

4. ALL A/C SYSTEM LAYOUTS SHOWN ON THE PLANS ARE INDICATIVE ONLY AND ARE TO BE REVIEWED AND CONFIRMED BY THE CONTRACTOR'S SUBCONTRACTOR.

IMPORTANT NOTE:
CH LEVELS NOTED ON PLANS ARE TO BE SET OUT FROM THE FFL OF THE RELEVANT STORY. ARCHITECT TO CONFIRM ON SITE.

ALL DUCTED AND SPLIT A/C SYSTEM LAYOUTS SHOWN ON THE PLANS ARE TO BE REVIEWED AND CONFIRMED BY THE CONTRACTOR'S SUBCONTRACTOR.

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
24124B0

Drawing Title:
GROUND LEVEL RCP

Drawing Number:
D150

Scale:
1:100 @ A3

Revision:
02

Date:
14/5/2025

	HARDWIRED SMOKE ALARM		SWITCH @1000mm AFFL UNO
	RECESSED DOWN LIGHT		EXISTING SWITCH
	SURFACE MOUNT CEILING LIGHT		TWO WAY SWITCH @1000mm AFFL UNO
	PENDANT LIGHT FITTING		DIMMER SWITCH
	INGROUND UPLIGHT		DOOR SENSOR
	RECESSED WALL LIGHT		CEILING MOUNTED MOTION SENSOR
	SURFACE MOUNT WALL LIGHT		DOUBLE POWER POINT @250mm UNO
	SURFACE MOUNT STRIP / PANEL LIGHT		EXISTING POWER POINT
	SUSPENDED STRIP / PANEL LIGHT		EXTERNAL POWER POINT @250mm AFFL UNO



2. THE ELECTRICAL FITTINGS AND EQUIPMENTS SHOWN ON THE DRAWINGS ARE NOT TO SCALE AND LOCATIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED ON SITE PRIOR TO INSTALLATION.

5. REFER TO RELEVANT INTERIOR DRAWINGS FOR OUTLETS FITTED INSIDE THE JOINERY.

Date:
14/5/2025

AW	AWNING
BAL	BALUSTRADE
BC	BARGE CAPPING FLASHING
BR	BRICK
CRW	CONCRETE SLAB
DP	DOWNPIPE
FFL	FINISH FLOOR LEVEL
FPL	FORMPLY
G	GUTTER
HR	HANDRAIL
HWS	HOT WATER SYSTEM
MF	METAL FLUE
PB	PLASTERBOARD
PV	SOLAR PANEL
RC	RIDGE CAPPING
RS	ROOF SHEET
RWT	RAINWATER TANK
SFL	STRUCT. FLOOR LEVEL
SRL	STRUCT. ROOF LEVEL
SC	STEEL COLUMN
SL	SKYLIGHT
TFD	TIMBER DECKING
TMF	TIMBER FENCE
WC	WALL CLADDING
WP	WATERPROOFING

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
24124B0

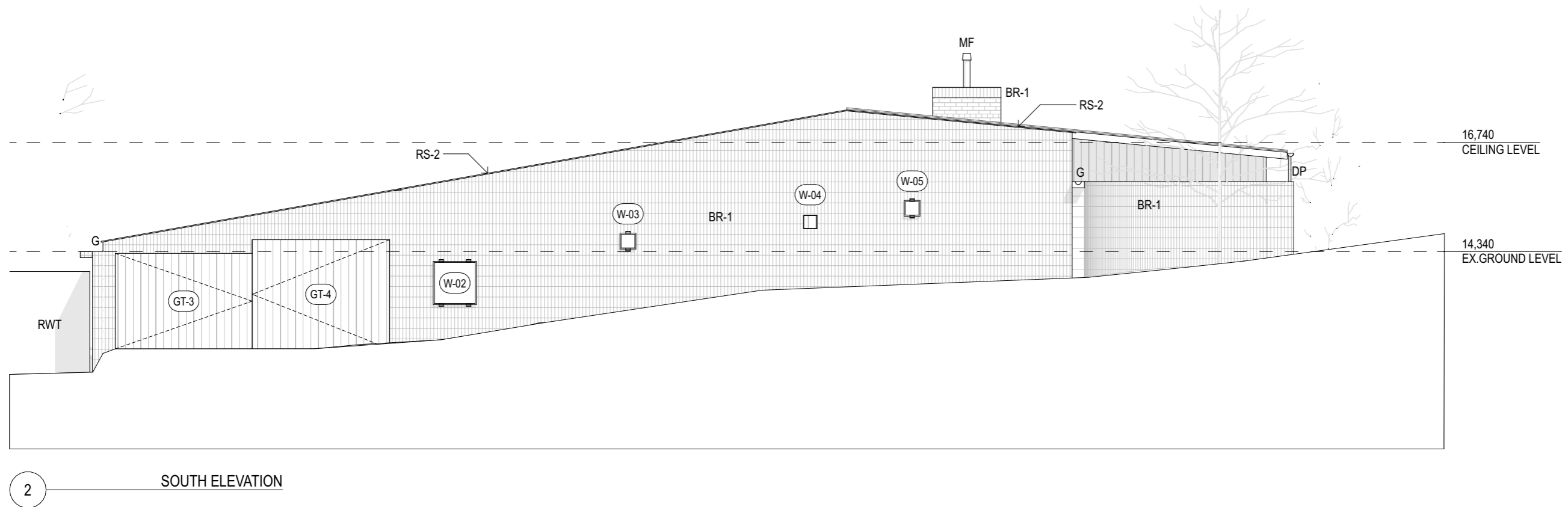
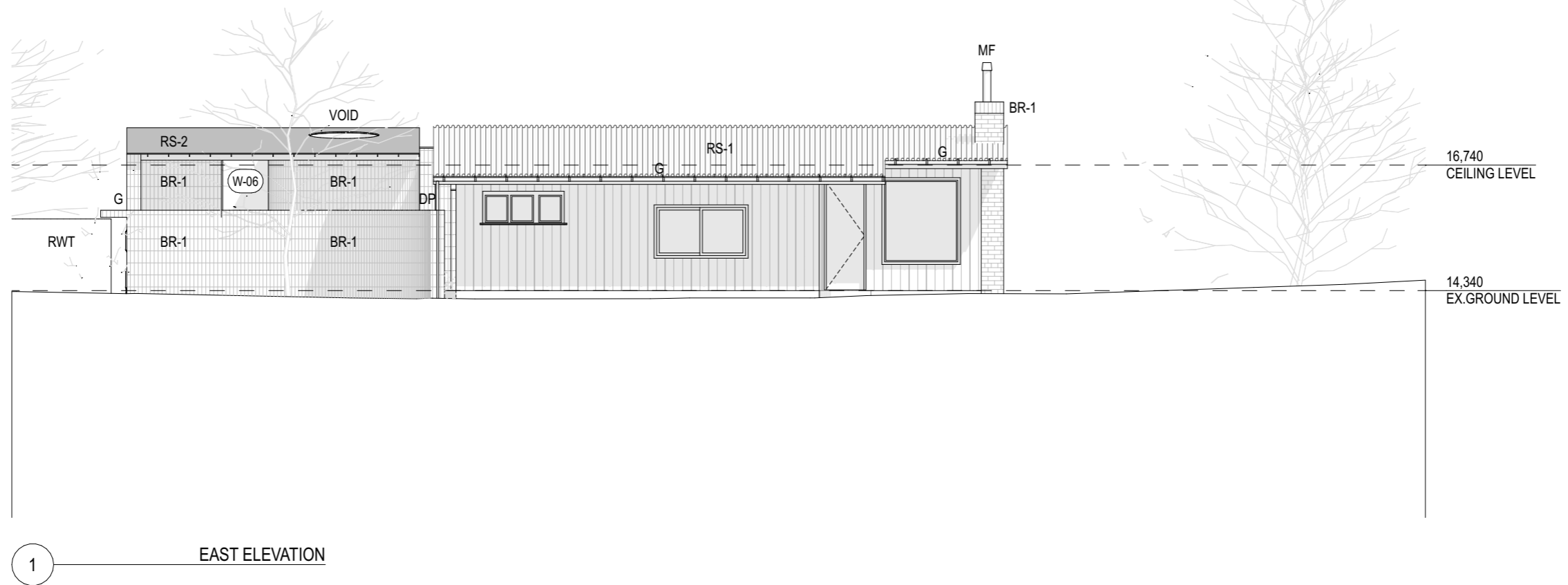
Drawing Title:
ELEVATIONS

Drawing Number:
D200

Scale:
1:100 @ A3

Revision:
02

Date:
14/5/2025



AW	AWNING
BAL	BALUSTRADE
BC	BARGE CAPPING FLASHING
BR	BRICK
CRW	CONCRETE SLAB
DP	DOWNPIPE
FFL	FINISH FLOOR LEVEL
FPL	FORMPLY
G	GUTTER
HR	HANDRAIL
HWS	HOT WATER SYSTEM
MF	METAL FLUE
PB	PLASTERBOARD
PV	SOLAR PANEL
RC	RIDGE CAPPING
RS	ROOF SHEET
RWT	RAINWATER TANK
SFL	STRUCT. FLOOR LEVEL
SRL	STRUCT. ROOF LEVEL
SC	STEEL COLUMN
SL	SKYLIGHT
TFD	TIMBER DECKING
TMF	TIMBER FENCE
WC	WALL CLADDING
WP	WATERPROOFING

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

Date:
14/5/2025

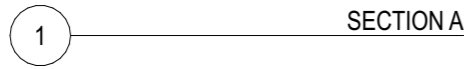


WEST ELEVATION



NORTH ELEVATION

AW	AWNING
BAL	BALUSTRADE
BC	BARGE CAPPING FLASHING
BR	BRICK
CRW	CONCRETE SLAB
DP	DOWNPIPE
FFL	FINISH FLOOR LEVEL
FPL	FORMPLY
G	GUTTER
HR	HANDRAIL
HWS	HOT WATER SYSTEM
MF	METAL FLUE
PB	PLASTERBOARD
PV	SOLAR PANEL
RC	RIDGE CAPPING
RS	ROOF SHEET
RWT	RAINWATER TANK
SFL	STRUCT. FLOOR LEVEL
SRL	STRUCT. ROOF LEVEL
SC	STEEL COLUMN
SL	SKYLIGHT
TFD	TIMBER DECKING
TMF	TIMBER FENCE
WC	WALL CLADDING
WP	WATERPROOFING



Project Name:
Falmouth Cottage Extension
Client:
S. Norton & R. Gates
Address:
28 LEGGE ST
FALMOUTH, TAS, 7215
Property Description:
C.T. 183959/1
Project Number:
24124B0
Drawing Title:
SECTIONS
Drawing Number:
D300
Scale:
1:100 @ A3
Revision:
02
Date:
14/5/2025

AW	AWNING
BAL	BALUSTRADE
BC	BARGE CAPPING FLASHING
BR	BRICK
CRW	CONCRETE SLAB
DP	DOWNPIPE
FFL	FINISH FLOOR LEVEL
FPL	FORMPLY
G	GUTTER
HR	HANDRAIL
HWS	HOT WATER SYSTEM
MF	METAL FLUE
PB	PLASTERBOARD
PV	SOLAR PANEL
RC	RIDGE CAPPING
RS	ROOF SHEET
RWT	RAINWATER TANK
SFL	STRUCT. FLOOR LEVEL
SRL	STRUCT. ROOF LEVEL
SC	STEEL COLUMN
SL	SKYLIGHT
TFD	TIMBER DECKING
TMF	TIMBER FENCE
WC	WALL CLADDING
WP	WATERPROOFING

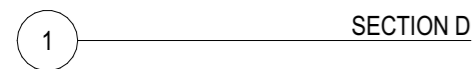
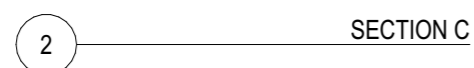
THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

Date:
14/5/2025



**NOT FOR
CONSTRUCTION**

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
24124B0

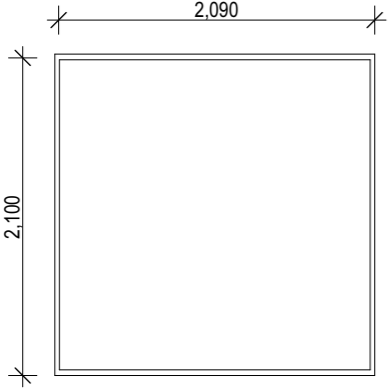
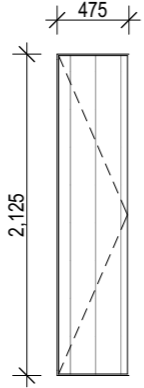
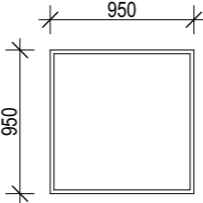
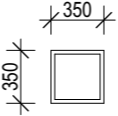
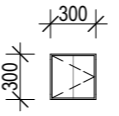
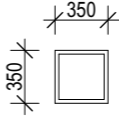
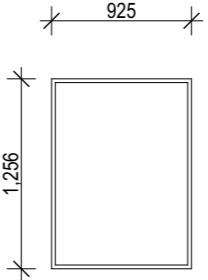
Drawing Title:
WINDOWS SCHEDULE

Drawing Number:
C450

Scale:
AS NOTED @ A3

Revision:
02

Date:
14/5/2025

WINDOW ELEVATIONS								
WINDOW ID	W-01	W-01B	W-02	W-03	W-04	W-05	W-06	
ROOM NAME	WORKSHOP	WORKSHOP	STORE	STORE	WC	SAUNA / STORE	WORKSHOP	
LEVEL / RL	13,690	13,690	13,175	14,395	14,840	15,115	15,715	
SILL HEIGHT TO RL	-650	-650	-1,165	55	500	775	1,375	
WINDOW TYPE	Externally mounted glazing secured to structure with custom clips	Barn style casement window, shiplap cladding, refer WC	Externally mounted glazing secured to structure with custom clips	Barn style casement window, shiplap cladding, refer WC	Solid timber casement window	Externally mounted glazing secured to structure with custom clips	Externally mounted glazing secured to structure with custom clips	
WINDOW FRAME	N/A	40mm square set timber	N/A	N/A	40mm square set timber	N/A	N/A	
GLASS TYPE	TBC	N/A	TBC	TBC	N/A	TBC	TBC	
ACCESSORIES/HARDWARE	Fixing to structure TBC	Insect screen internally, chain winder to sill	Fixing to structure TBC	Fixing to structure TBC	Insect screen internally, chain winder to sill	Fixing to structure TBC	Fixing to structure TBC	
FINISH	N/A	Stained, refer WC	N/A	N/A	Stained, refer WC	N/A	N/A	
MANUFACTURER								

WINDOW ELEVATIONS		
	WINDOW ID	W-07
	ROOM NAME	GARAGE
	LEVEL / RL	14,275
	SILL HEIGHT TO RL	-65
WINDOW TYPE	Externally mounted glazing secured to structure with custom clips	
WINDOW FRAME	N/A	
GLASS TYPE	TBC	
ACCESSORIES/HARDWARE	Fixing to structure TBC	
FINISH	N/A	
MANUFACTURER		

DOORS & WINDOWS NOTES

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER ENGINEERING DRAWINGS.

2. DOORS & WINDOWS ARE TO COMPLY WITH THE APPLICABLE CLAUSES OF CURRENT EDITIONS OF THE FOLLOWING BUILDING STANDARDS:

- AS1288 GLASS IN BUILDINGS
- AS 2047 WINDOWS IN BUILDINGS
- AS3715 METAL FINISHING
- AS4145.2 MECHANICAL LOCKSETS OF DOORS & WINDOWS

3. ALL EXTERNAL DOORS TO INCLUDE WEATHER SEALS TO ALL SIDES

4. PROVIDE PLY PANEL TO CAVITY FRAME OF CAVITY SLIDERS WHERE REQUIRED FOR INSTALLATION OF FIXTURES AND TILING. PROVIDE 3-CELL ALUMINIUM SPLIT JAMB WHERE REQUIRED FOR ELECTRICAL FITTINGS

5. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION

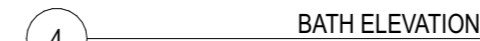
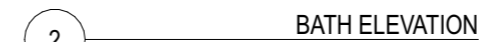
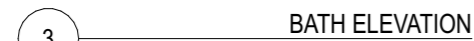
6. DIMENSIONS OF INTERIOR DOORS ARE TO FRAME SIZES, UNLESS NOTED OTHERWISE

7. ALL DOORS KEYED ALIKE, UNLESS NOTED OTHERWISE

8. VISIBILITY MARKINGS FOR FULL HEIGHT GLASS
AS REQUIRED BY AS1288 AT 900 ABOVE FLOOR
LEVEL IN STICKERS ONLY

9. WHERE NOTED, SECURITY SCREEN TO BE STAINLESS STEEL WOVEN WIRE MESH SECURITY SCREEN, FRAME COLOUR: TO MATCH WINDOW FRAME

AS	ADJUSTABLE SHELF
BM	BASIN MIXER
BW	BASIN WASTE
BT	BOTTLE TRAP
BTP	BENCH TOP
CPV	PERMEABLE PAVER
CRT	CURTAIN
CRW	CONCRETE SLAB
DH	DOOR HANDLE
DRW	DRAWER
DW	DISHWASHER
FC	FIBRE CEMENT SHEET
FPL	FORMPLY
FS	FIXED SHELF
FT	FLOOR TILE
FW	FLOOR WASTE
HR	HANGING RAIL
MR	MIRROR
MX	SHOWER MIXER
OS	OPEN SHELF
OV	OVEN
PB	PLASTERBOARD
PP	PUSH PULL
RF	FRIDGE
RH	RANGEHOOD
SH	SHOWER HEAD
SK	SINK
SM	SINK MIXER
ST	STOVETOP
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
VB	VANITY BASIN
VC	VANITY CABINET
WC	WALL CLADDING
WD	WASHER/DRYER
WCT	WATER CLOSET
WL	WALL LINING
WM	WALL MIXER



Date:
14/5/2025

AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

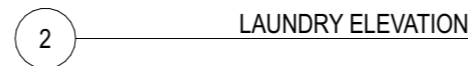
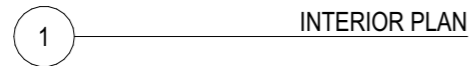
Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Date:
14/5/2025



AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		



2



3



**NOT FOR
CONSTRUCTION**

THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
24124B0

Drawing Title:
WC

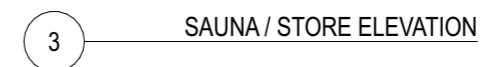
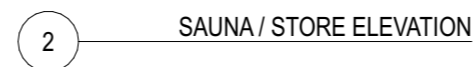
Drawing Number:
D702

Scale:
AS NOTED @ A3

Revision:
02

Date:
14/5/2025

AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		



THIS WORK IS COVERED BY
COPYRIGHT AND CANNOT BE RE-
PRODUCED OR COPIED IN ANY FORM
OR BY ANY MEANS WITHOUT THE
WRITTEN PERMISSION OF ATELIER
CHEN HUNG. ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE
TERMS OF WRITTEN AGREEMENT
BETWEEN ATELIER CHEN HUNG AND
THE INSTRUCTING PARTY.

THE DRAWINGS HAVE BEEN PRODUCED FOR CONFORMITY WITH DESIGN INTENT ONLY. ATELIER CHEN HUNG DOES NOT MAKE ANY WARRANTIES ABOUT THE COMPLETENESS, RELIABILITY AND ACCURACY OF THESE DRAWINGS, AND THEIR RELIABILITY MAY BE AFFECTED BY ANY CHANGE TO THE DESIGN INTENT AND ANY ON-SITE CONSTRUCTION ISSUES (INCLUDING BUT NOT LIMITED TO CHANGES TO PRODUCTS, MATERIALS OR DIMENSIONS) OR THE OUTPUTS OF OTHER CONSULTANTS. IN SUCH SITUATIONS, NEW DRAWINGS MAY BE REQUIRED. ANY USE OF THE DRAWINGS ISSUED IS STRICTLY AT THE RECIPIENT'S OWN RISK.

ALL WORKS ARE CARRIED OUT UNDER
SUPERVISION OF NOMINATED REG.
ARCHITECT BOAQ 4002 / BOAT 1605.

[illegible]

Project Name:
Falmouth Cottage Extension

Client:
S. Norton & R. Gates

Address:
28 LEGGE ST
FALMOUTH, TAS, 7215

Property Description:
C.T. 183959/1

Project Number:
24124B0

Drawing Title:
SAUNA / STORE

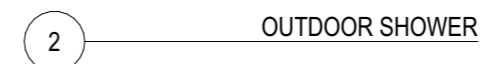
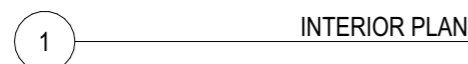
Drawing Number:
D703

Scale:
AS NOTED @ A3

Revision:
02

Date:
14/5/2025

AS	ADJUSTABLE SHELF	DW	DISHWASHER	OV	OVEN	TRH	TOILET ROLL HOLDER
BM	BASIN MIXER	FC	FIBRE CEMENT SHEET	PB	PLASTERBOARD	VB	VANITY BASIN
BW	BASIN WASTE	FPL	FORMPLY	PP	PUSH PULL	VC	VANITY CABINET
BT	BOTTLE TRAP	FS	FIXED SHELF	RF	FRIDGE	WC	WALL CLADDING
BTP	BENCH TOP	FT	FLOOR TILE	RH	RANGEHOOD	WD	WASHER/DRYER
CPV	PERMEABLE PAVER	FW	FLOOR WASTE	SH	SHOWER HEAD	WCT	WATER CLOSET
CRT	CURTAIN	HR	HANGING RAIL	SK	SINK	WL	WALL LINING
CRW	CONCRETE SLAB	MR	MIRROR	SM	SINK MIXER	WM	WALL MIXER
DH	DOOR HANDLE	MX	SHOWER MIXER	ST	STOVETOP	WT	WALL TILE
DRW	DRAWER	OS	OPEN SHELF	TR	TOWEL RAIL		



Date:
14/5/2025

15 September 2025

Break O'Day Council

Address: 28 Legge Street, Falmouth
RE: Response to Request for Further Information

DA 117/2025 – Dwelling Alterations plus Addition of Workshop & Garage, 28 Legge Street, Falmouth

Dear Mr McKinlay,

I refer to Council's correspondence dated 6 August 2025 requesting further information in relation to the above application. Please find below our response to Items 3, 4 and 5, addressing the relevant provisions of the Tasmanian Planning Scheme – State Planning Provisions.

Item 3 – Rainwater Tanks (Clause 10.4.3 Setbacks)

Clause 4.6.13 – Rain-Water Tanks (Exemptions)

Exemption

A rain-water tank is exempt if:

- (a) attached, or located, to the side or rear of a building;
- (b) not more than 45kL in capacity;
- (c) not on a stand with a height of more than 1.2m above existing ground level; and
- (d) has a setback not less than the Acceptable Solution for the relevant zone, unless the Local Historic Heritage Code applies and requires a permit.

Response

The proposal satisfies all elements of Clause 4.6.13 as follows:

- Location: Both tanks are located to the side/rear of the dwelling, ensuring they are not visible as dominant features of the streetscape.

- Capacity: Tank 1 (20,000L) and Tank 2 (22,500L) provide a total capacity of 42,500L, which is less than the 45kL exemption threshold.
- Height: Each tank is proposed at a maximum height of 2.32m and not on a stand exceeding 1.2m, ensuring compliance with the exemption requirement.
- Setbacks: As both tanks have a height under 2.4m, they fall within the Acceptable Solution A2 of Clause 10.4.3 (side/rear setbacks not applying to outbuildings under 2.4m in height). This confirms compliance with the required setbacks for the purposes of the exemption.

Performance Criteria P2 requires that the siting of development not cause an unreasonable loss of amenity to adjoining properties, having regard to site topography, setbacks, building bulk and height, private open space, and existing character.

The proposed rainwater tanks are low in scale, located to the side and rear of the dwelling, and partially screened by existing vegetation and built form. They will not overshadow or visually dominate adjoining dwellings or private open space, and their appearance is consistent with established residential character.

Accordingly, the proposal meets P2 of Clause 10.4.3, as no unreasonable amenity impact will result.

Item 4 – Garden Wall (Clause 10.4.5 Frontage Fences)

Performance Criteria P1 requires that fences or free-standing walls within 4.5m of a frontage provide privacy and security while allowing passive surveillance, and be consistent with the character of fencing in the street.

The proposed garden wall is modest in height, designed with visual permeability, and provides a landscaped edge that complements the dwelling. The design maintains surveillance opportunities to the street, while contributing positively to streetscape character and aligning with existing low-scale fencing in the locality.

The wall therefore satisfies P1 of Clause 10.4.5.

Item 5 – Driveway Surface (Clause C2.6.1 Construction of Parking Areas)

Performance Criteria P1 requires that all parking, access ways, manoeuvring and circulation spaces be readily identifiable and constructed so that they are useable in all weather conditions, having regard to site topography, drainage, sediment/dust control, and the nature of the surfacing.

Response

The proposed driveway will be finished using permeable pavers (see attached specifications). This treatment provides:

- A durable, all-weather surface capable of accommodating regular residential traffic.
- Integrated stormwater management, with the permeable surface allowing infiltration and reducing runoff into the street drainage system.
- Effective control of sediment and dust, minimising the likelihood of material being transported onto the road or public places.
- A finish that is visually appropriate and consistent with high-quality residential design outcomes.

Conclusion

The use of permeable pavers satisfies P1 of Clause C2.6.1, as the driveway is constructed to an appropriate standard, ensures ongoing functionality in all weather, and contributes positively to on-site stormwater management.

Conclusion

The above responses demonstrate that the proposed dwelling and associated works comply with the performance criteria of Clauses 10.4.3, 10.4.5 and C2.6.1 of the Tasmanian Planning Scheme. The development will not result in any unreasonable loss of amenity and is consistent with the objectives of the Scheme.



We trust this information addresses Council's request and look forward to your confirmation that the application may now proceed. Please do not hesitate to contact me should you require any further clarification.

We appreciate your consideration of this submission and welcome the opportunity to discuss this matter further. Please do not hesitate to contact us should further information be required.

Yours Faithfully,

Raphael Tsakirellis

A handwritten signature in black ink, appearing to read "Raphael Tsakirellis", written over a horizontal line.

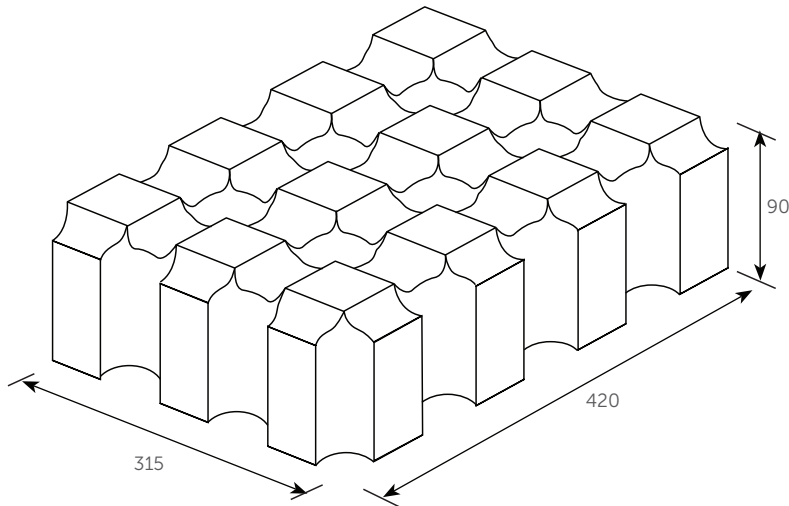
Director

VicUrban Town Planning PTY LTD

DATA SHEET

Turfgrid™

PRODUCT DIMENSIONS



NOTE:
Product dimensions are nominal.
All dimensions are in millimeters

PRODUCT SPECIFICATIONS

Turfgrid™	420mm x 315mm x 90mm
Average Product Weight	16.5kg
Average No. per Tonne	55
Average No. per m²	7.5
Average No. per Pallet	90
Paver Type	C
Origin of Manufacture	VIC

Description	Results	Test Method / Standard
Mean Abrasion index	7	AS/NZS 4456.9:2003
Characteristic Breaking Load	6kN	AS/NZS 4456.5 : 2003
Resistance to Salt attack	Exposure Category	AS/NZS 4456.10: 2003
Unsealed Slip Resistance	P5	AS/NZS 4586 : App.A

For more information visit:
adbrimasonry.com.au or call 1300 365 565

JUL 2025
Adbri Masonry Pty Ltd ABN: 31 009 687 521
The Adbri Masonry logo is a registered trademark
of Adbri Masonry Pty Ltd.



Tested in our state of the art
NATA accredited laboratory

adbriMASONRY
an ADBRI company