

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

| | |
|------------------|--|
| DA Number | DA 2025 / 00130 |
| Applicant | Spectura Studio |
| Proposal | Residential – Construction of a Dwelling and Carport |
| Location | 15 Lawry Heights, St Helens |

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 20th September 2025 **until 5pm Friday 3rd October 2025.**

John Brown
GENERAL MANAGER

| SHEET No. | DRAWING TITLE | ISSUE | DATE |
|-----------|------------------------|-------|--------------------|
| A00 | COVER SHEET | B | 26/08/2025 7:53 AM |
| A01 | SITE PLAN | B | 26/08/2025 7:53 AM |
| A02 | FLOOR PLAN | B | 26/08/2025 7:53 AM |
| A03 | ELEVATIONS | A | 5/08/2025 9:16 AM |
| A04 | ELEVATIONS 2 | A | 5/08/2025 9:16 AM |
| A05 | DOOR / WINDOW SCHEDULE | A | 5/08/2025 9:16 AM |

Development Application

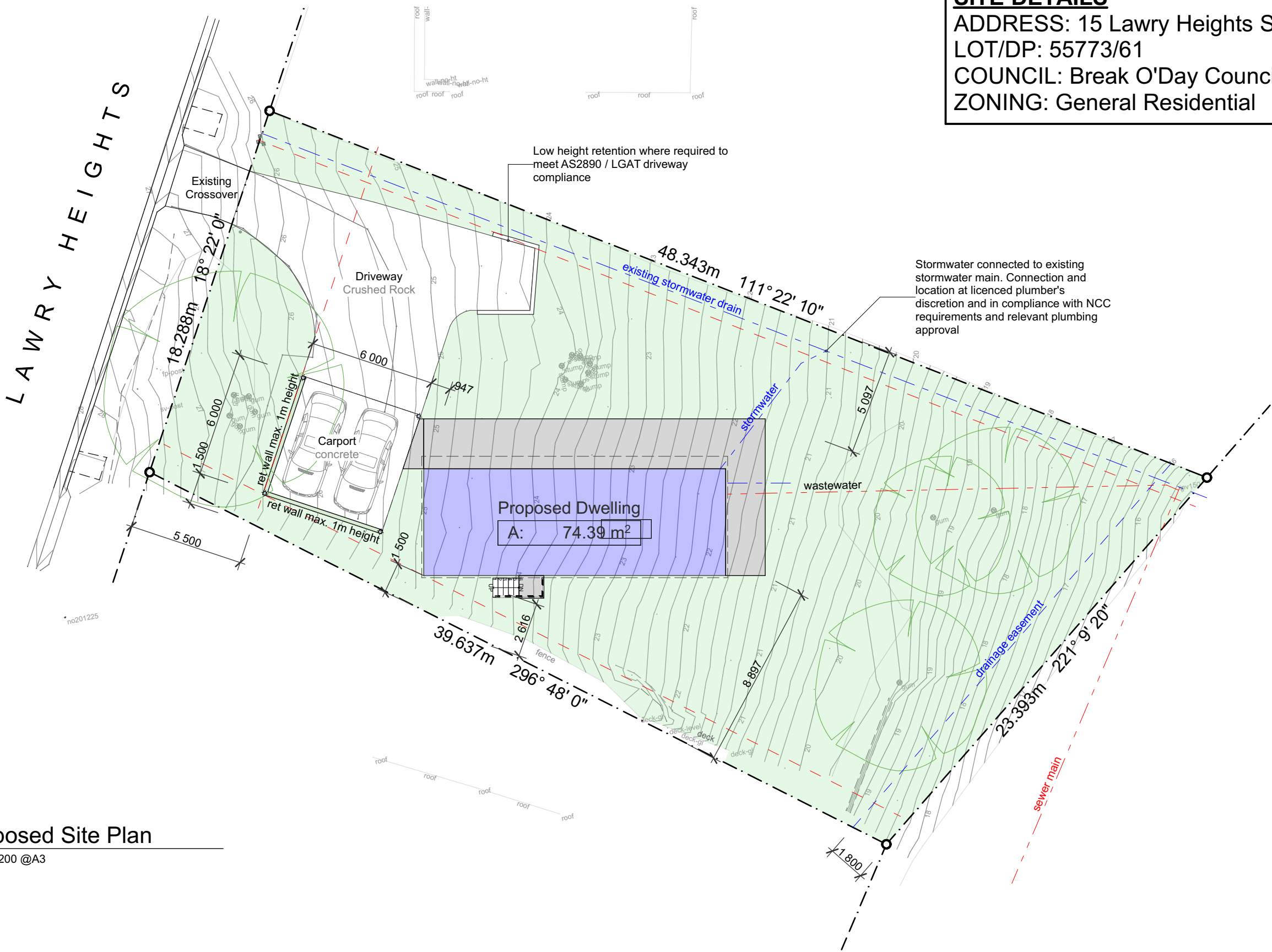
Issue: B - Development Application - LGA RFI

Tuesday, 26 August 2025



Scale 1:100

LAWRY HEIGHTS





SITE DETAILS

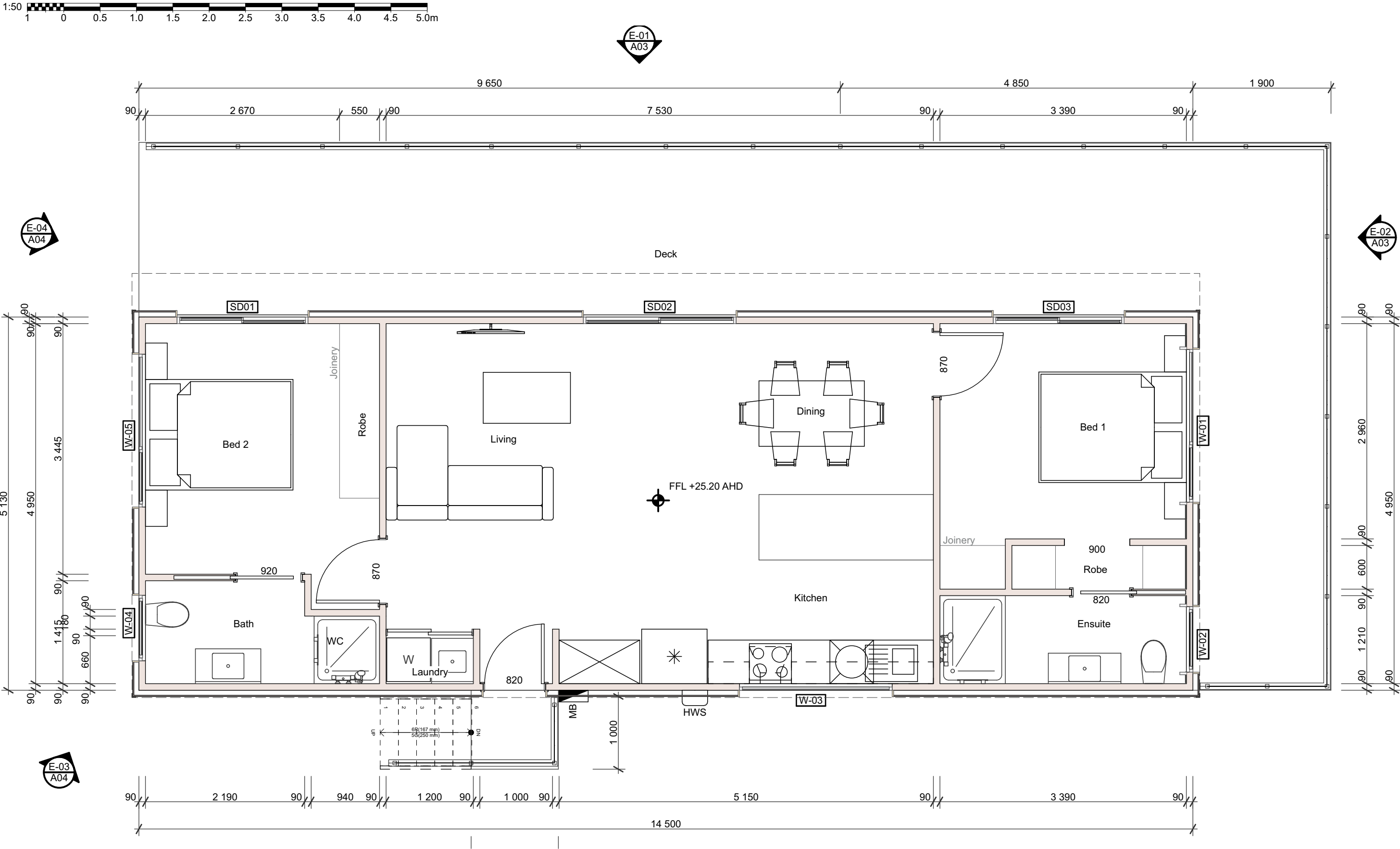
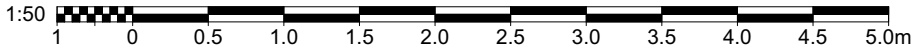
ADDRESS: 15 Lawry Heights St Helens TAS 7216
LOT/DP: 55773/61
COUNCIL: Break O'Day Council
ZONING: General Residential

Proposed Site Plan

Scale 1:200 @A3

| | | | | | | | | | | |
|---|---|------------|--------------------------------------|------------|---|--|--------------------------|--|---|--|
| PROJECT NUMBER: T205 | | ISSUE LIST | | | PROJECT Tully Modified 2 Bedroom Prefabricated Dwelling | | A01 | |  | NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERRED OVER SCALED DIMENSIONS. DISCREPENCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING. |
|  SPECTURA STUDIO www.spectura.com.au P: 0423 250 079 E: admin@spectura.com.au QBCC: 15158346 BDA&T: 6521 | DRAWN BY: MP | No. | DESCRIPTION | DATE | PROJECT ADDRESS: 55773/61 15 Lawry Heights St Helens TAS 7216 | | SHEET SIZE A3 | | | |
| | CHECKED BY: MP | SK1 | CONCEPT DEVELOPMENT | 17/07/2025 | | | SITE PLAN | | | |
| | | SK2 | CONCEPT DEVELOPMENT | 29/07/2025 | SCALE: 1:200 PROJECT NUMBER: T205 | | | | | |
| | DATE: Tuesday, 26 August 2025 | A | Development Application | 5/08/2025 | | | CLIENT Mitchell Baker | | | |
| | | B | Development Application - LGA RFI | 26/08/2025 | | | | | | |
| CBOS: 964058515 | | | | | | | | | | |

Scale 1:50



PROJECT NUMBER: T205

ISSUE LIST

PROJECT

A02

SHEET SIZE A3

FLOOR PLAN

SCALE: 1:50

PROJECT NUMBER: T205

NOTE:
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WRITTEN DIMENSIONS PREFERRED
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Proposed Floor Plan

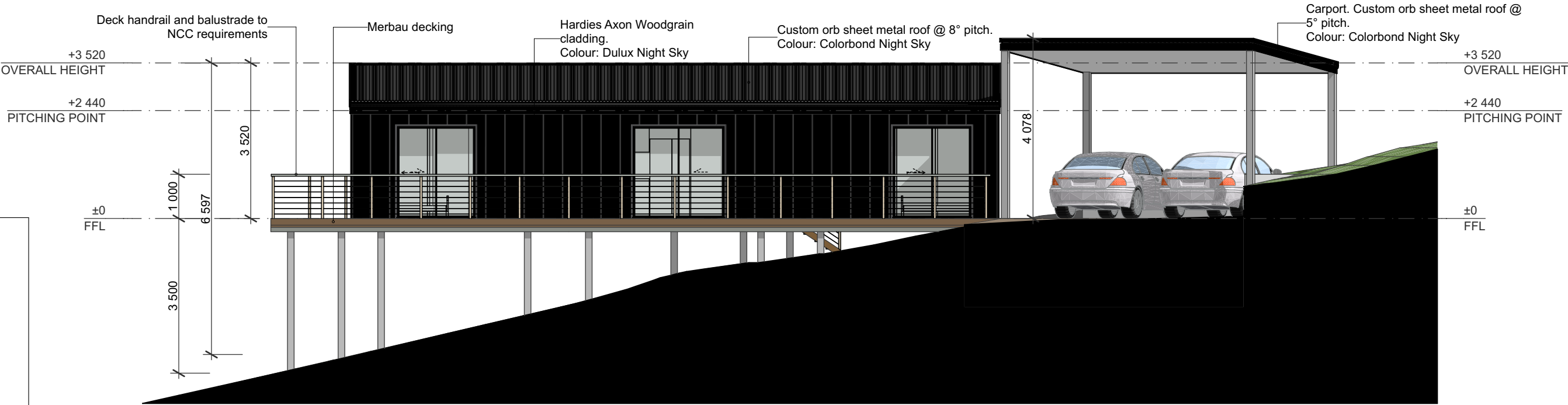
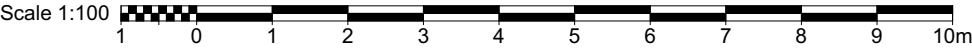
Scale 1:50 @A3



DRAWN BY:
MP
CHECKED BY:
MP
DATE:
Tuesday, 26
August 2025
CBOS: 964058515

| No. | DESCRIPTION | DATE |
|-----|--------------------------------------|------------|
| SK1 | CONCEPT DEVELOPMENT | 17/07/2025 |
| SK2 | CONCEPT DEVELOPMENT | 29/07/2025 |
| A | Development Application | 5/08/2025 |
| B | Development Application - LGA RFI | 26/08/2025 |
| | | |
| | | |

Tully Modified 2 Bedroom
Prefabricated Dwelling
PROJECT ADDRESS:
55773/61
15 Lawry Heights St Helens TAS 7216
CLIENT
Mitchell Baker



E-01 North Elevation
A02 Scale 1:100 @A3

NOTE:
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ISSUE LIST

| No. | DESCRIPTION | DATE |
|-----|-------------------------|----------------|
| SK1 | CONCEPT DEVELOPMENT | 17/07/20 25 |
| SK2 | CONCEPT DEVELOPMENT | 29/07/20 25 |
| A | Development Application | 5/08/202 5 |
| | | |
| | | |

PROJECT

Tully Modified 2 Bedroom Prefabricated Dwelling

PROJECT ADDRESS:

55773/61
15 Lawry Heights St Helens TAS 7216

CLIENT

Mitchell Baker

SHEET SIZE A3

A03

ELEVATIONS

SCALE: 1:100

PROJECT NUMBER: T205



SPECTURA STUDIO
www.spectura.com.au
P: 0423 250 079
E: admin@spectura.com.au
QBCC:15158346
BDA&T: 6521

DRAWN BY:

MP

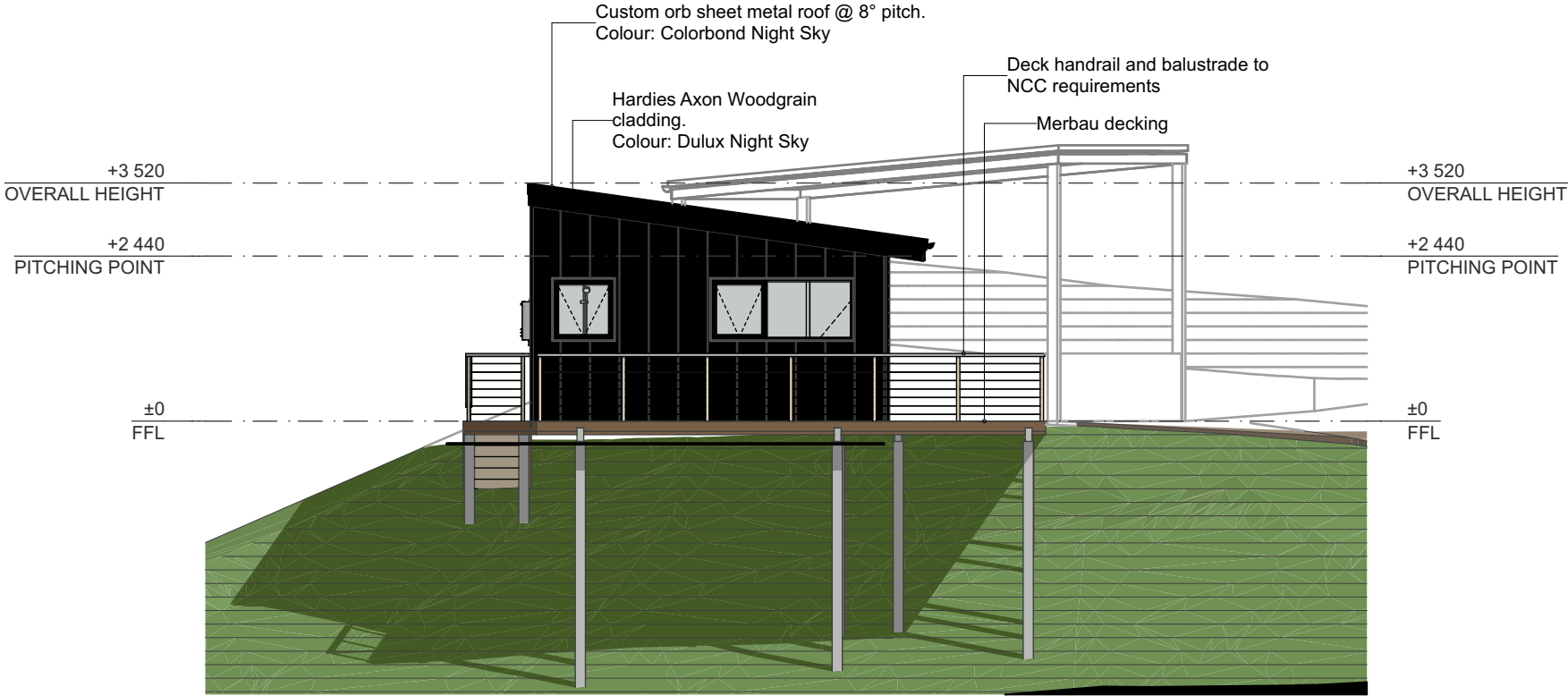
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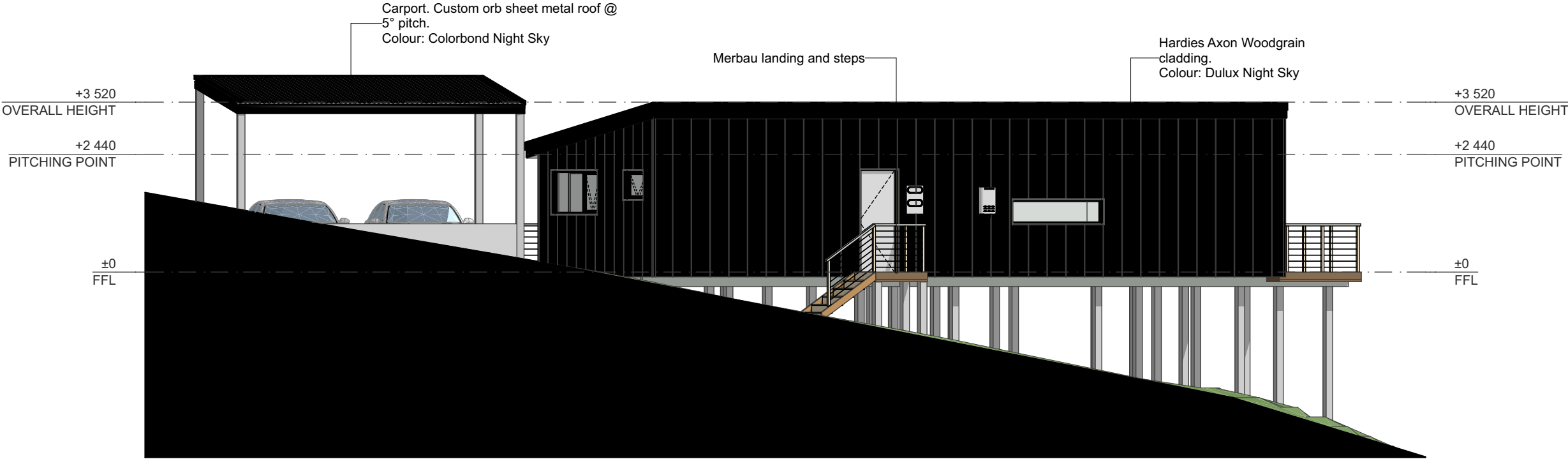
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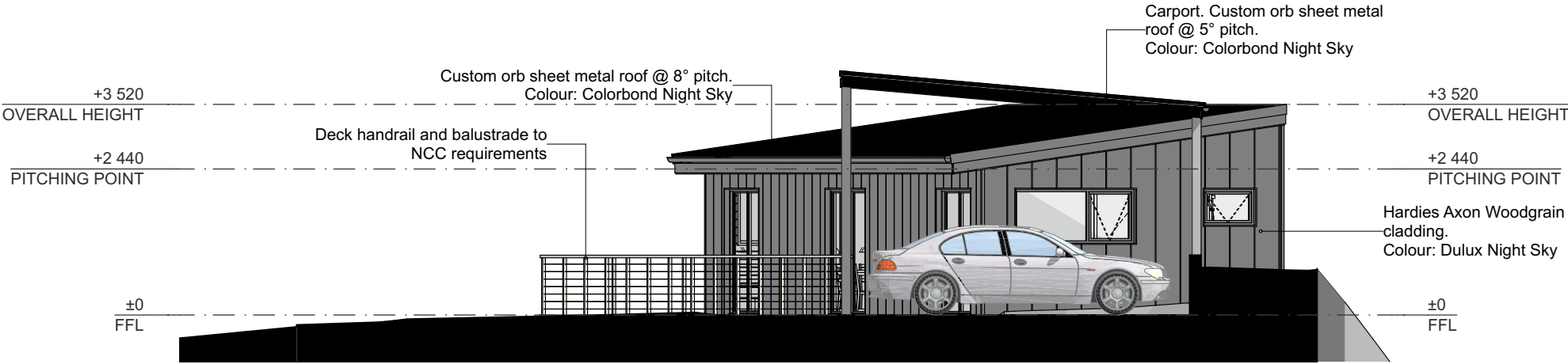
CBOS: 964058515




E-02 East Elevation
A02 Scale 1:100 @A3



E-03 South Elevation
A02 Scale 1:100 @A3




E-04 West Elevation
A02 Scale 1:100 @A3

| PROJECT NUMBER: T205 | | ISSUE LIST | | | PROJECT | A04 | <div>NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERENCED OVER SCALED DIMENSIONS. DISCREPENCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.</div> |
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| <div><p>SPECTURA STUDIO www.spectura.com.au P: 0423 250 079 E: admin@spectura.com.au QBCC:15158346 BDA&T: 6521</p></div> | DRAWN BY: MP | No. | DESCRIPTION | DATE | Tully Modified 2 Bedroom Prefabricated Dwelling | SHEET SIZE A3 | |
| | CHECKED BY: MP | SK1 | CONCEPT DEVELOPMENT | 17/07/2025 | PROJECT ADDRESS: 55773/61 15 Lawry Heights St Helens TAS 7216 | | |
| | | SK2 | CONCEPT DEVELOPMENT | 29/07/2025 | | | |
| | DATE: Tuesday, 26 August 2025 | A | Development Application | 5/08/2025 | CLIENT Mitchell Baker | ELEVATIONS 2 | |
| | CBOS: 964058515 | | | | | | |
| | | | | | | | |
| | | | | | | SCALE: 1:100 PROJECT NUMBER: T205 | |

| GLAZING SCHEDULE | | | | |
|---------------------------|-------|-------|-------|-------|
| WINDOW ID | SD01 | SD02 | SD03 | W-01 |
| NOMINAL HEIGHT | 2 100 | 2 100 | 2 100 | 900 |
| NOMINAL WIDTH | 1 800 | 2 100 | 1 800 | 2 100 |
| HEAD HEIGHT | 2 100 | 2 100 | 2 100 | 2 100 |
| WINDOW AREA | 3.78 | 4.41 | 3.78 | 1.89 |
| ELEVATION VIEW (internal) | | | | |
| DETAILS | | | | |

| GLAZING SCHEDULE | | | | |
|---------------------------|-------|---|-------|-------|
| WINDOW ID | W-02 | W-03 | W-04 | W-05 |
| NOMINAL HEIGHT | 900 | 500 | 600 | 900 |
| NOMINAL WIDTH | 900 | 2 100 | 900 | 2 100 |
| HEAD HEIGHT | 2 100 | 1 500 | 2 100 | 2 100 |
| WINDOW AREA | 0.81 | 1.05 | 0.54 | 1.89 |
| ELEVATION VIEW (internal) | | | | |
| DETAILS | | Sizing and location to comply with any offset requirements if natural gas cooktop specified | | |

| | | | | | | | | |
|--|-------------------------------------|------------|-------------------------|-------------------------------------|--|-------------------------------------|-----|--|
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Proposed Single Dwelling

15 Lawry Heights
St Helens
TAS 7216



August 2025



SPECTURA
STUDIO
BUILDING DESIGN

SPECTURA STUDIO
6 Sunrise Court Scamander
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Subject site & locality

1.0 Introduction

This planning scheme response supports the development application for the proposed single dwelling & carport, to be located at 15 Lawry Heights St Helens. The proposed development is situated within the General Residential Zone as defined in the Tasmanian Planning Scheme - State Planning Provisions (SPP).

This document's coverage is related to the RFI letter related to the above property's Development Application.

2.0 Project Description

The project involves the construction/installation of a single dwelling and carport.

3.0 Planning Assessment

The following planning items listed rely on performance criteria. If a clause is not listed below, it is due to the proposed development being seen as meeting planning scheme provisions by means of the acceptable solutions relating to that clause.

3.1 Compliance with General Residential Zone

8.4 Development Standards for Dwellings

- **8.4.6 – Privacy for All Dwellings**

A1 - A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:

- (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;
- (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and
- (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:
 - (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or
 - (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.

P1 – A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:

- (a) a dwelling on an adjoining property or its private open space; or
- (b) another dwelling on the same site or its private open space.

Response:

All decks designed for use that involves occupation of the area provided are within the side and rear setbacks defined by the SPP. These can be found on the Northern and Eastern elevations of the proposed dwelling.

The rear landing is to be approximately 2360mm from the side (southern) boundary at its closest point, with an approximate height of 1300-1600mm from natural ground level. The dimensions of the landing are 1200mm in width and 1000mm in depth.

The landing has been designed for NCC code compliance addressing safety at the top of stairs, not as an occupiable space. It is merely an area in the path of travel from the inside of the building to the outside. The landing has been designed to limit its function by way of its size (1.2m²) to prevent usage as anything more than a path of travel.

In lieu of the intended usage of this building component and its design restricting any practical use outside of safe movement, the proposal addresses the performance criteria set out in clause 8.4.6 of the SPP.

3.2 Compliance with Overlay Codes

C2.0 Parking and Sustainable Transport Code

- **C2.6.1 – Construction of Parking Areas**

A1 - All parking, access ways, manoeuvring and circulation spaces must:

- (a) be constructed with a durable all-weather pavement;
- (b) be drained to the public stormwater system, or contain stormwater on the site; and
- (c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.

P1 - All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- (a) the nature of the use;
- (b) the topography of the land;
- (c) the drainage system available;
- (d) the likelihood of transporting sediment or debris from the site onto a road or public place;
- (e) the likelihood of generating dust; and
- (f) the nature of the proposed surfacing.

Response:

The proposed car park is to be concrete, with parking access (driveway) to be crushed rock (gravel) which is viewed as a durable all-weather pavement when constructed correctly. In response to P1:

- (a) The use as a residence is low impact and low traffic, a gravel driveway is seen as an appropriate provision.
- (b) The proposed driveway is set out over a max. 15° slope. The driveway grade is to be in compliance with AS2890 / LGAT Standard Drawings for urban driveways which will allow for appropriate settlement and usage with the designated pavement.
- (c) The permeable nature of the proposed driveway allows for sufficient drainage to take place, with minimal change to existing conditions.
- (d) The topography of the site slopes away from the road, with ample space for provision of drainage/catchment of sediment/debris on-site, with the proposed location of the driveway seen as a stable and sufficient substrate for a crushed rock driveway, with sediment transportation onto the road not anticipated.
- (e) The low traffic use of the driveway is not seen as causing an impact in regard to dust generation – As is seen in the adjacent driveways in Lawry heights.
- (f) As also seen with precedence in Lawry Heights – gravel driveways and parking spaces are an appropriate surface capable of handling the traffic anticipated from a single dwelling.

4.0 Conclusion

The proposed residential development at 15 Lawry Heights St Helens is seen as complying with the relevant provisions of the Tasmanian Planning Scheme for the General Residential Zone and applicable Code Overlays. The design and layout of the site have been carefully considered to ensure compatibility with the surrounding area and to meet the objectives of the zone.

We respectfully request that the planning authority grant approval for this development application.

Thank you,



Matthew Purves
Spectura Studio
CBOS Tas: 964058515