

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00147
Applicant	John Pugh Home Design
Proposal	Residential – Alterations and Additions to Existing Dwelling including the placement of a Shipping Container
Location	82 Acacia Drive, Ansons Bay

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 27th September 2025 **until 5pm Monday 13th October 2025.**

John Brown
GENERAL MANAGER

BUILDING DESIGNER:	JONATHAN PUGH
ACCREDITATION NO.:	CC 6894
TITLE REFERENCE:	C.T. 26971/13
DESIGN WIND SPEED:	NOTE: DESIGNED TO ASSUMED N3 WIND CLASSIFICATION
SOIL CLASSIFICATION:	NOTE: DESIGNED TO ASSUMED SOIL CLASSIFICATION 'M'
CLIMATE ZONE:	7
BUSHFIRE PRONE BAL RATING:	TBC
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	SEVERE - 160m to INLAND WATERS
FLOODING RISK:	UNKNOWN
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
DATUM LEVEL AT KERB:	UNKNOWN
GROUND LEVEL:	MIN 150mm BELOW F.L.
FINISHED FLOOR LEVEL:	AS PER PLANS / OR 150mm ABOVE G.L.
OVERFLOW RELIEF GULLY LEVEL:	MIN 150mm BELOW F.L.

Development Application

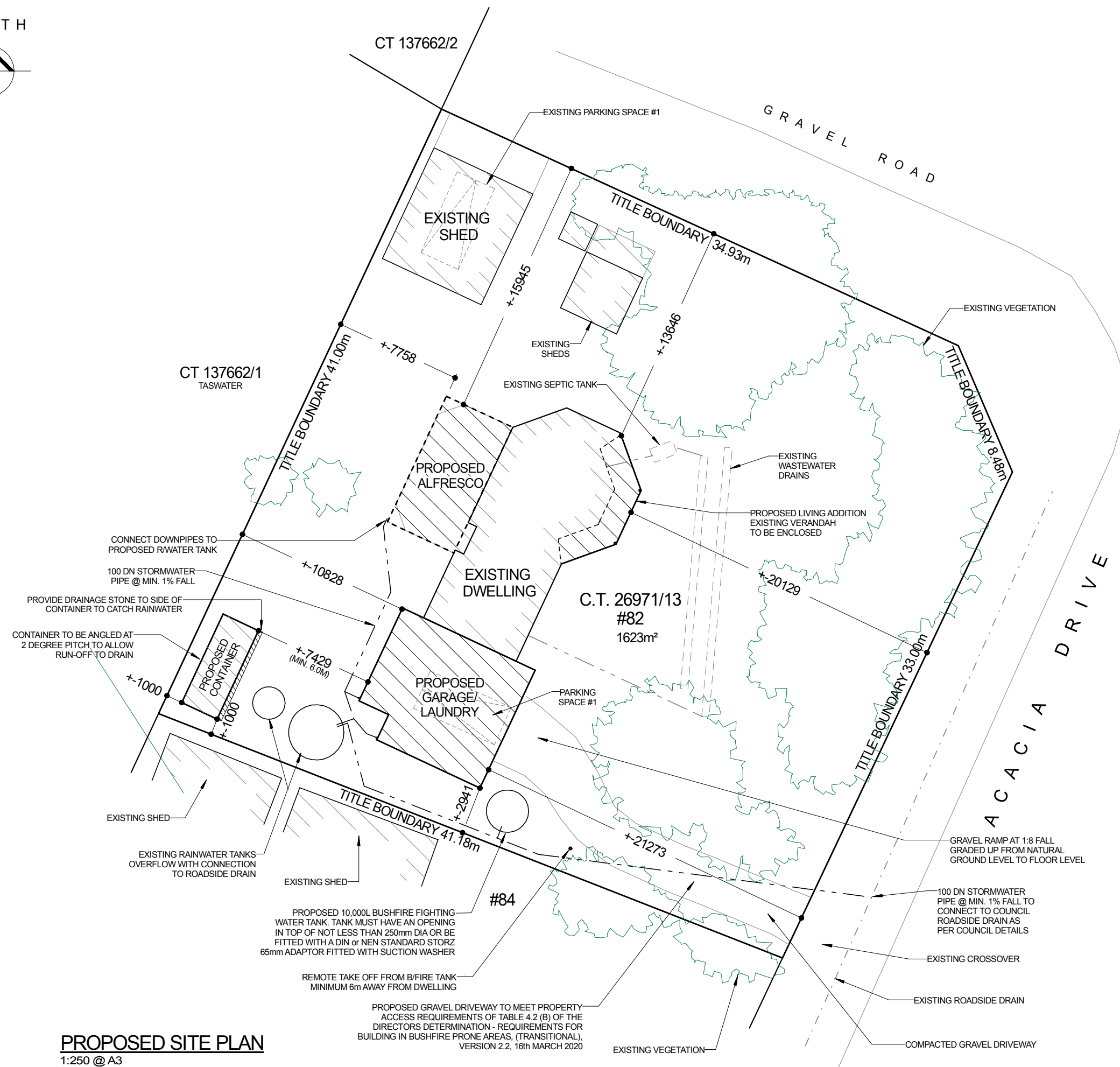
August 2025

Proposed Garage/ Laundry Addition, Alfresco roof over deck, Conversion of upper floor bedroom to Ensuite. Existing Verandah to be incoporated into ground floor Living Area Proposed siting of Shipping Container for Alex & Karolina Damen

#82 Acacia Drive,
Ansons Bay, TAS 7264

Building Areas	
Proposed Garage/ Laundry	68.51m²
Proposed Alfresco Roof	38.34m²
Proposed Living Area Addition	13.88m²
Shipping Container	14.85m²

Drawing Schedule	
Drg No.	Drawing Name
A01	Proposed Site Plan
A02	Existing Floor Plans
A03	Existing Elevations
A04	Proposed Ground Floor Plan
A05	Proposed First Floor Plan
A06	Proposed Elevations 1
A07	Proposed Elevations 2
A08	Proposed Shipping Container



SOIL AND WATER MANAGEMENT

- DOWNPIPES TO BE CONNECTED TO WATER TANK AS SOON AS ROOF IS INSTALLED
- INSTALL AG DRAIN PRIOR TO FOOTING EXCAVATION SEE DRAINAGE PLAN FOR LOCATION (IF SHOWN)
- EXCAVATED MATERIAL PLACED UP-SLOPE OF AG DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE OF MATERIAL
- CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET OR THE DRIVEWAY ONCE PAVED TO PREVENT TRANSFERRING DEBRIS ONTO THE ROAD

All Dimensions and Site levels to be Verified on Site By Owner & or Contractor(s) Prior to Setting out and Commencement of Any Construction Works

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residential building design + documentation

jon pugh home design : accr/no. CC6894
jackp1@iprimus.com.au : 0459 586 013
PO BOX 397 ST HELENS TAS 7216

client:

Alex & Karolina Damen

project:

Proposed Garage/ Laundry Addition,
Alfresco roof over deck, conversion
of upper floor bedroom to Ensuite.
Existing Verandah to be incorporated
into ground floor Living Area
Proposed siting of Shipping Container

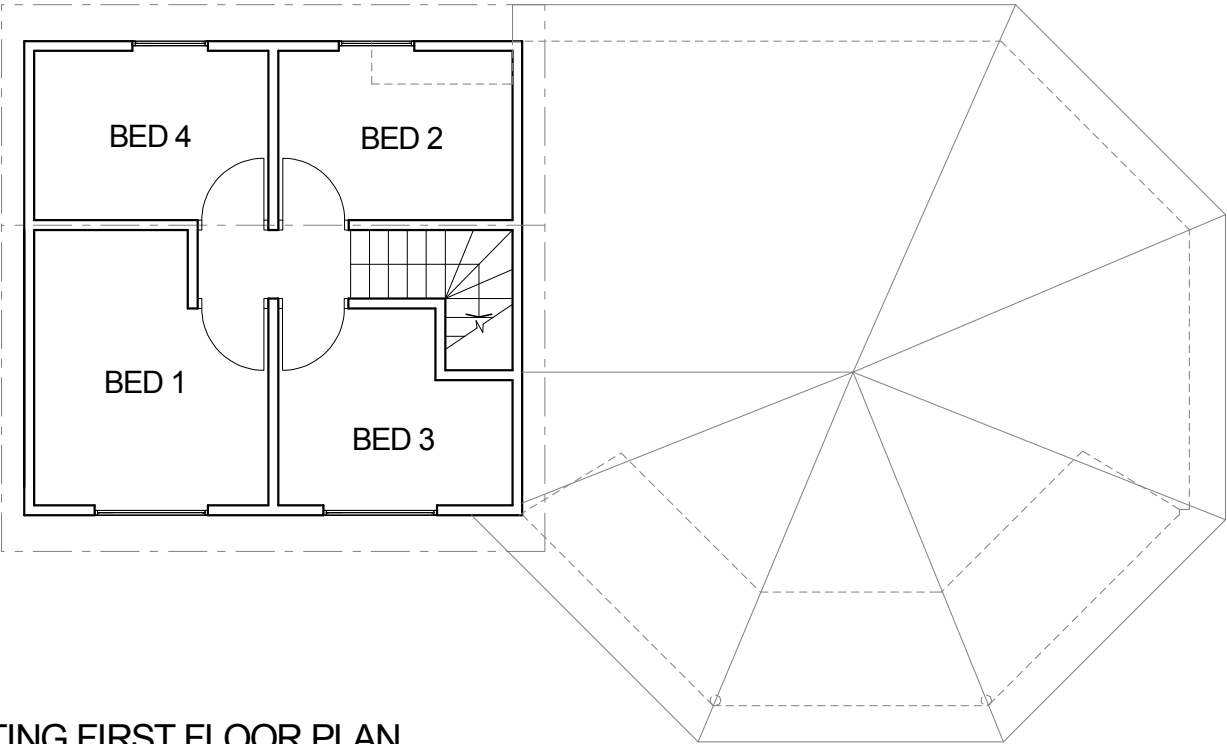
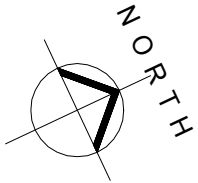
at:

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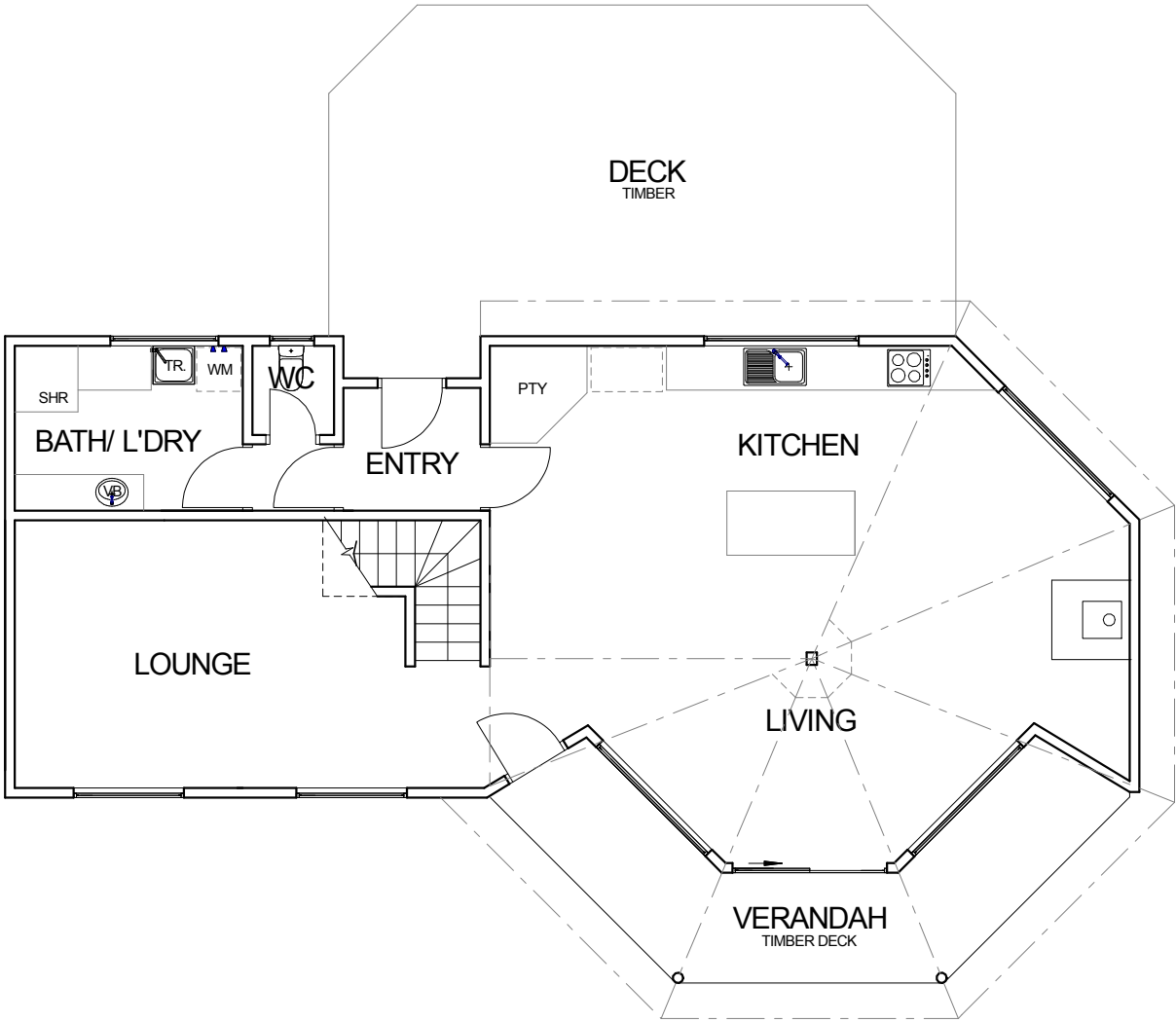
drawing title:

Proposed Site Plan

REV.	DESCRIPTION	DATE
job. no.	351	revision -
sheet no.	A01	date 18/08/25



EXISTING FIRST FLOOR PLAN
1:100 @ A3



EXISTING GROUND FLOOR PLAN
1:100 @ A3



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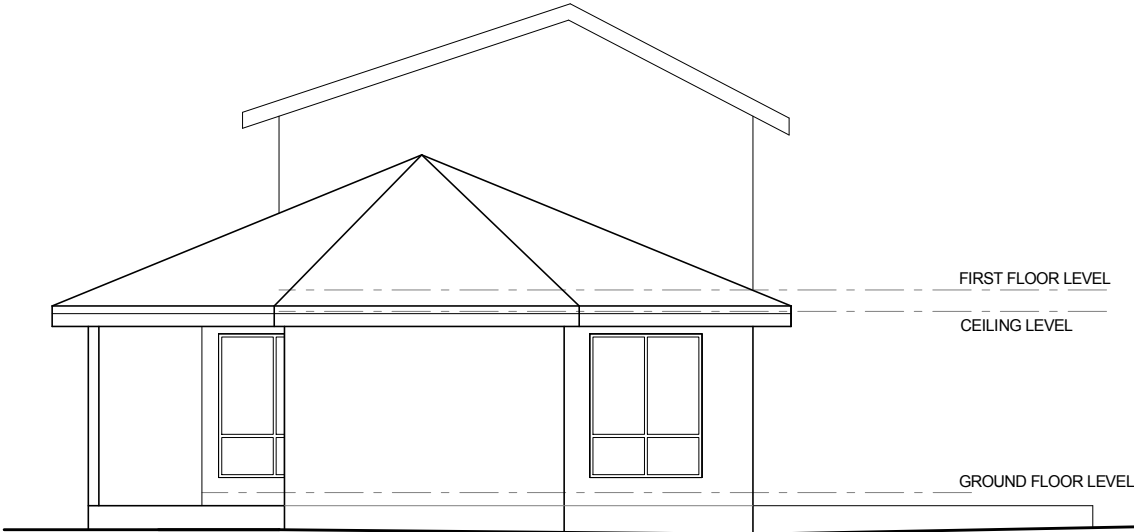
drawing title:

Existing Floor Plans

REV.	DESCRIPTION	DATE
job. no.	revision	
351	-	
sheet no.	date	
A02	18/08/25	



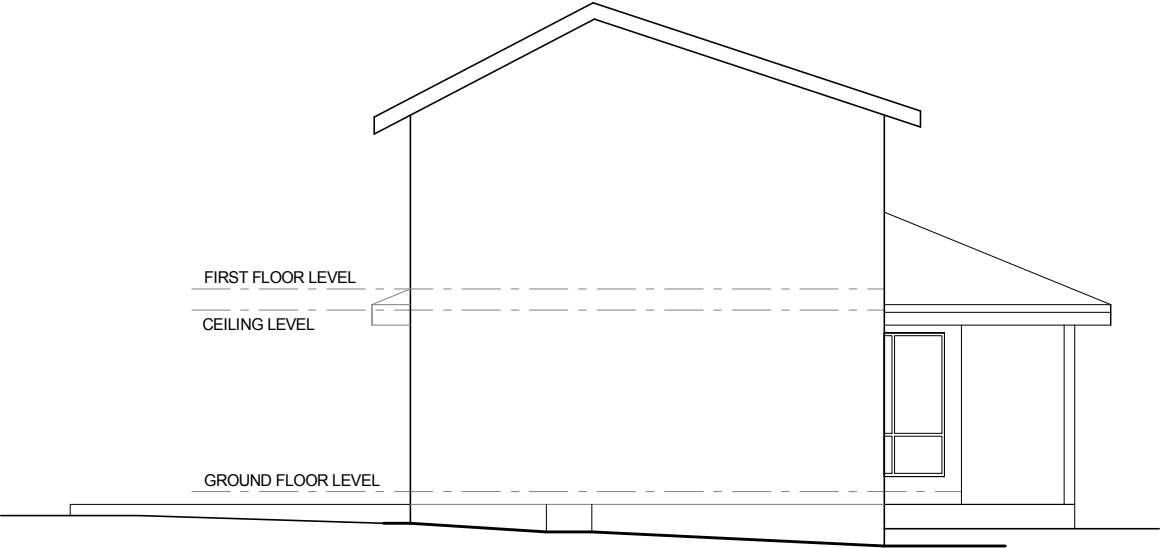
ELEVATION 1
1:100 @ A3



ELEVATION 2
1:100 @ A3



ELEVATION 3
1:100 @ A3



ELEVATION 4
1:100 @ A3

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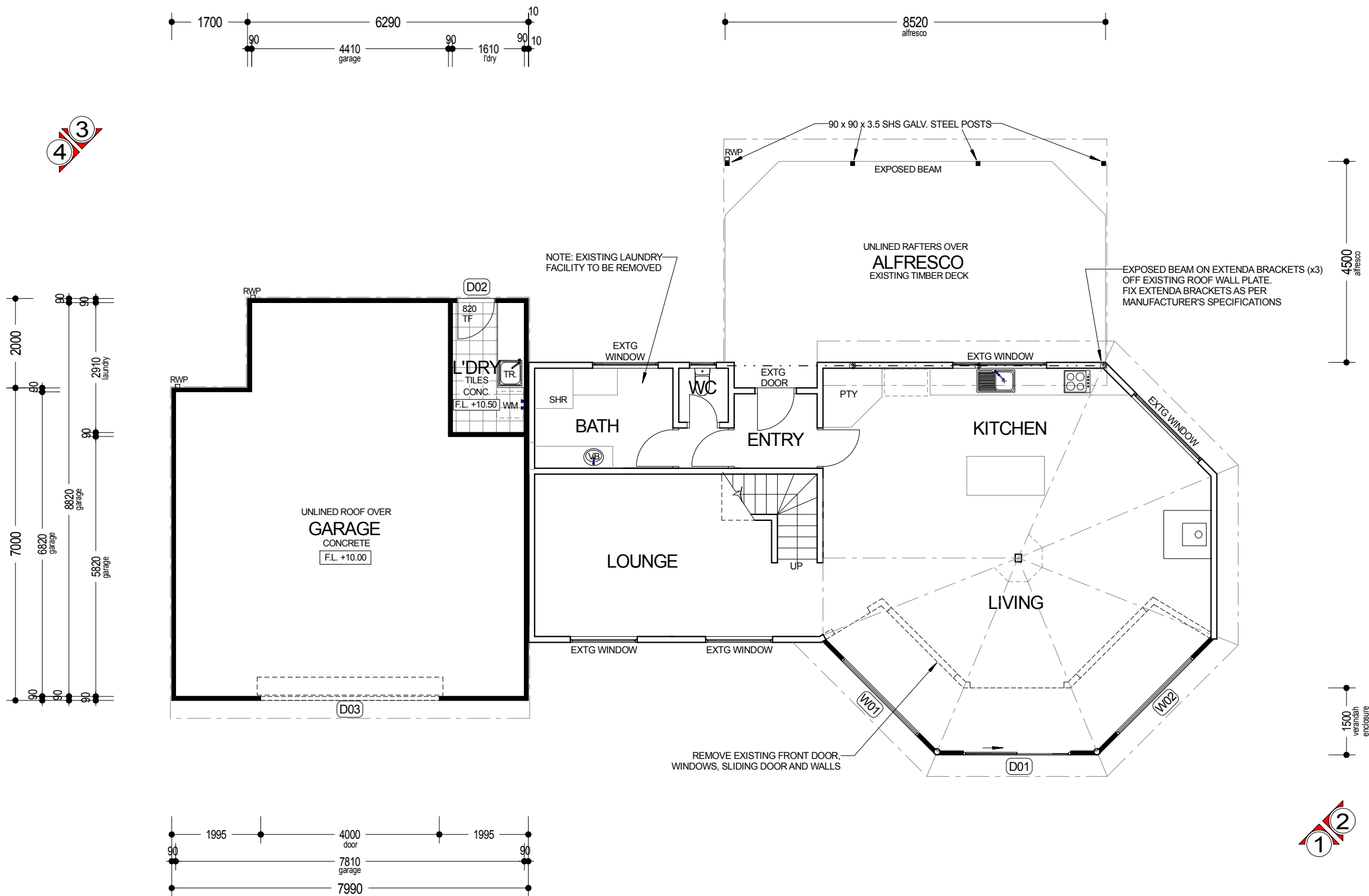
drawing title:

Existing Elevations

REV.	DESCRIPTION	DATE
job. no.	revision	
351	-	
sheet no.	date	
A03	18/08/25	

LEGEND	
	TIMBER FRAME
	EXISTING STRUCTURE

AREAS:	
ALFRESCO ROOF	: 38.34m²
GARAGE / L'DRY	: 68.51m²
LIVING AREA ADDITION	: 13.88m²
TOTAL	: 120.73m²



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into ground floor Living Area
Proposed siting of Shipping Container
at:
**#82 Acacia Drive,
Ansons Bay, TAS 7264**

drawing title:
Proposed Ground Floor Plan

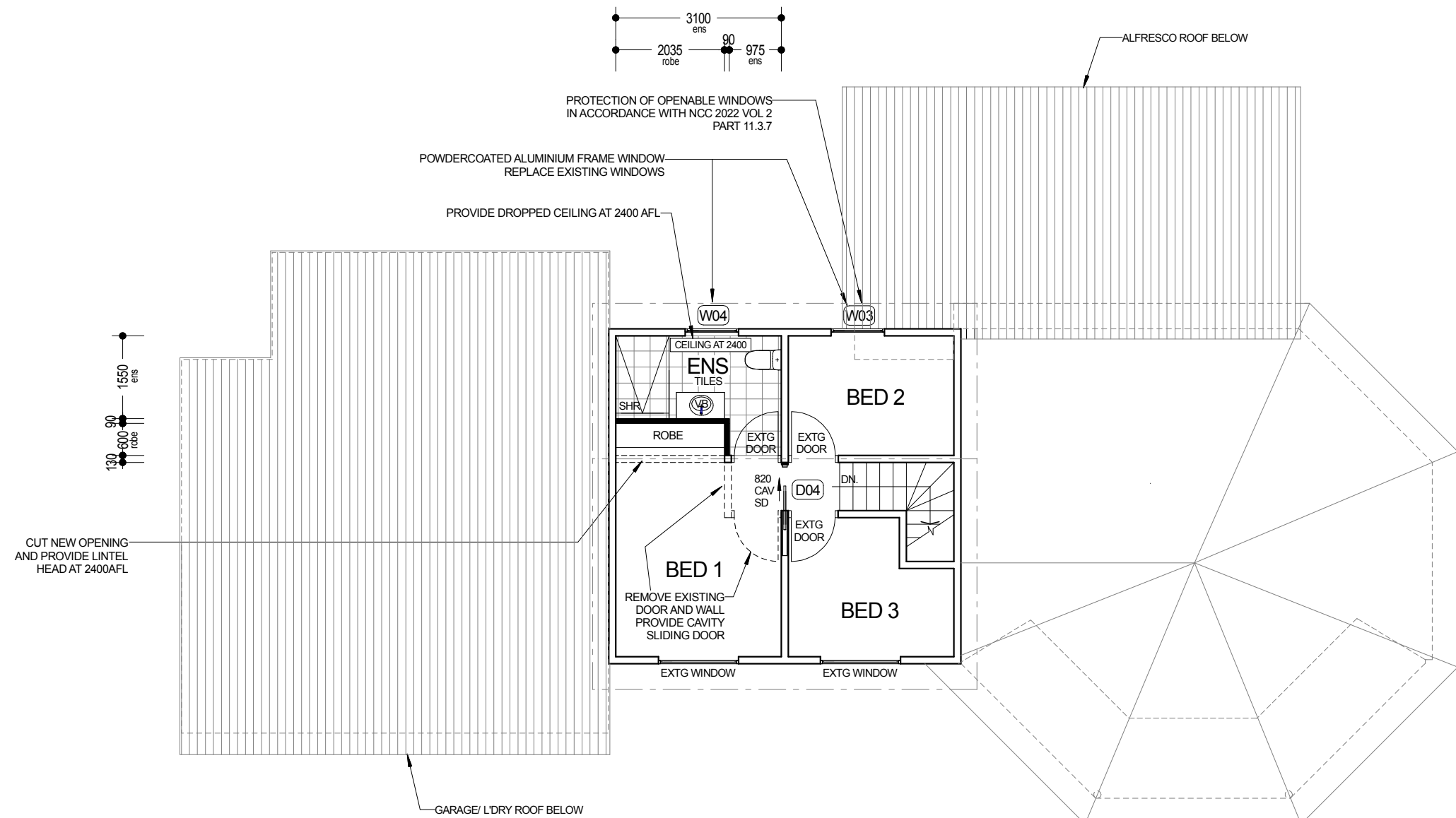
REV.	DESCRIPTION	DATE
1	351	-
2	A04	18/08/25

LEGEND

- TIMBER FRAME
EXISTING STRUCTURE

AREAS:

ENSUITE : 6.94m²



PROPOSED FIRST FLOOR PLAN
1:100 @ A3

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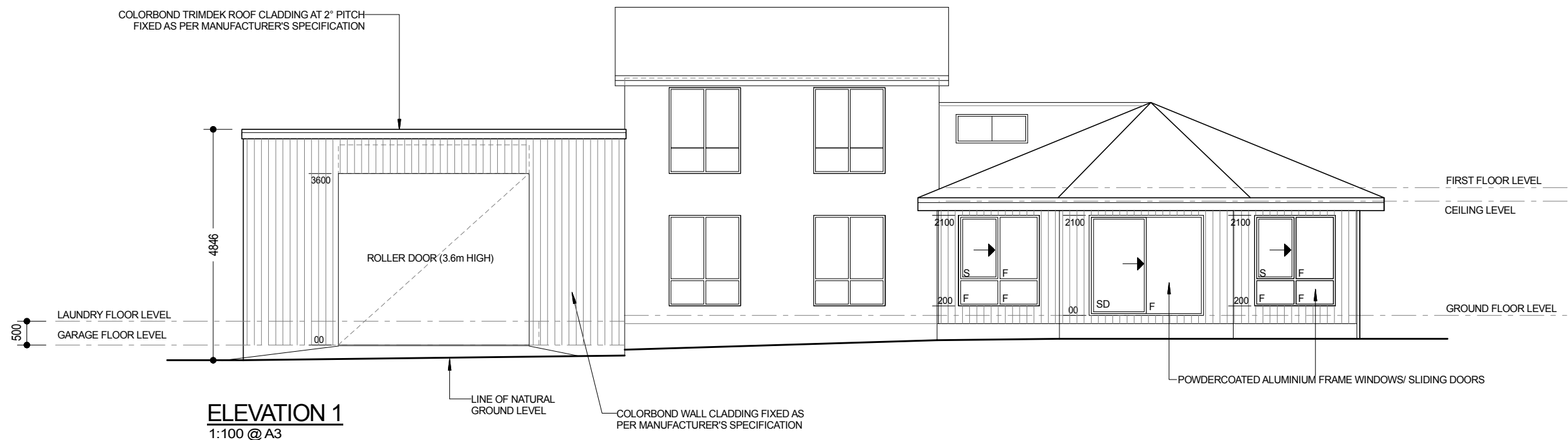
at:

**#82 Acacia Drive,
Ansons Bay, TAS 7264**

drawing title:

Proposed First Floor Plan

REV.	DESCRIPTION	DATE
job. no.	revision	
351	-	
sheet no.	date	
A05	18/08/25	



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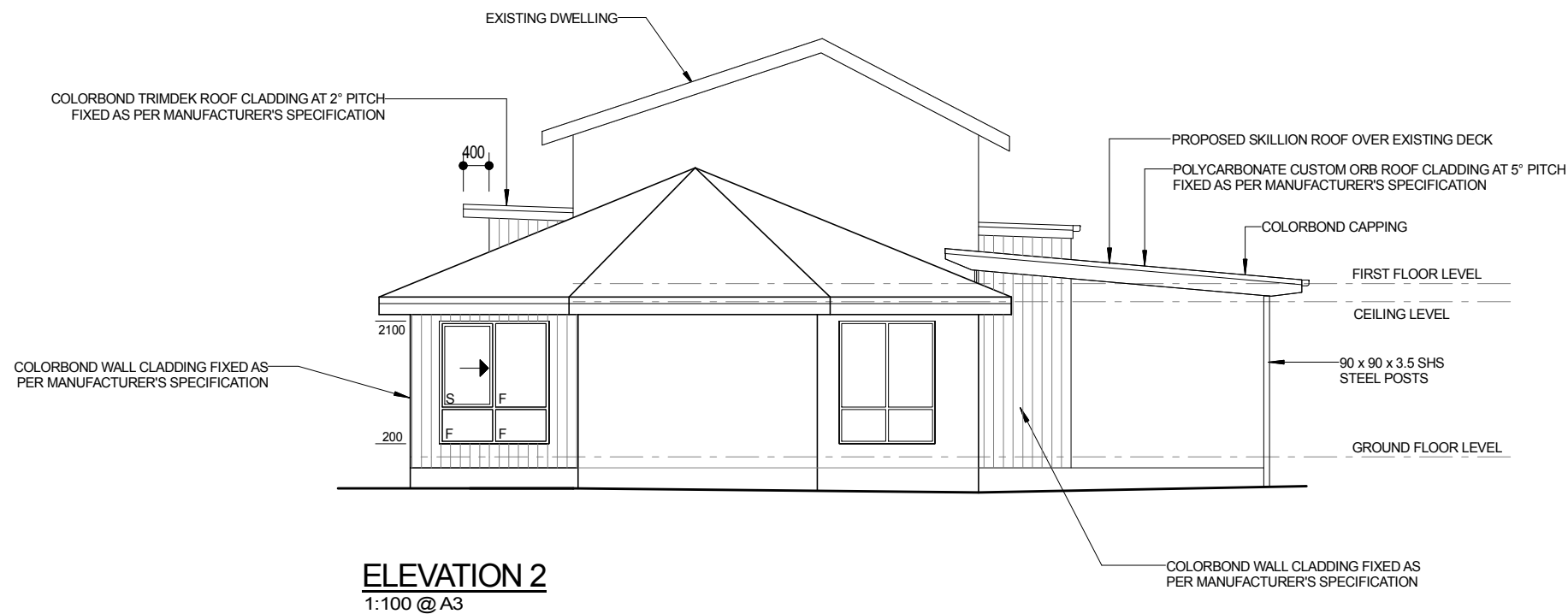
jon pugh home design : accr/no. CC6894
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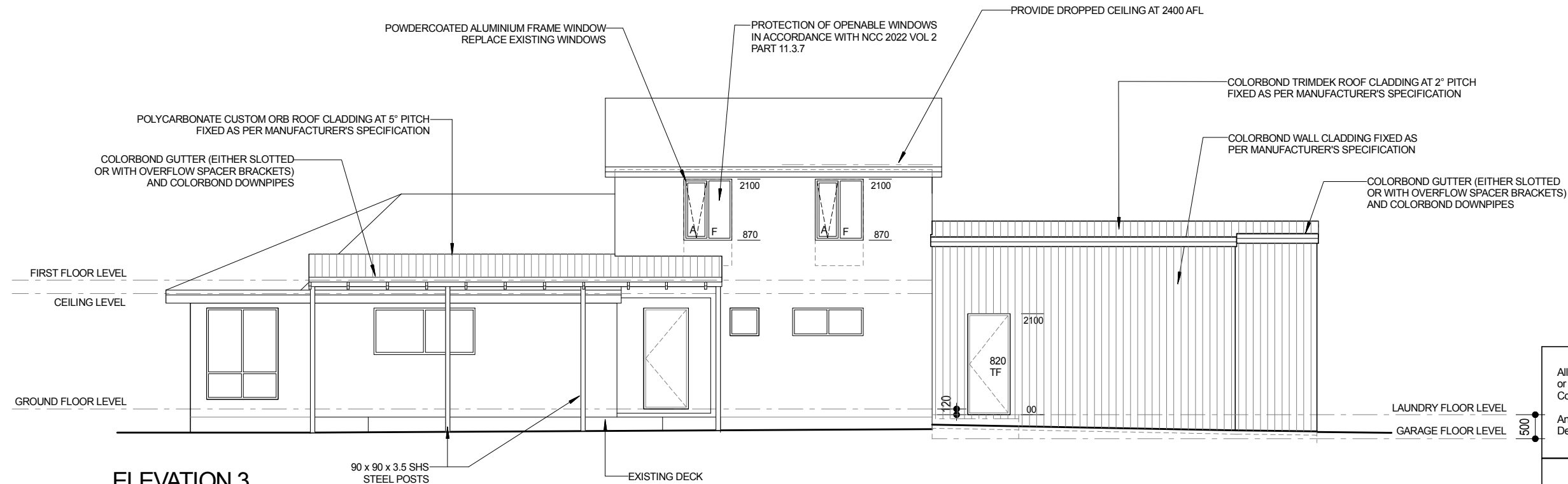
client:
Alex & Karolina Damen

project:
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Proposed siting of Shipping Container
at:
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Ansons Bay, TAS 7264**

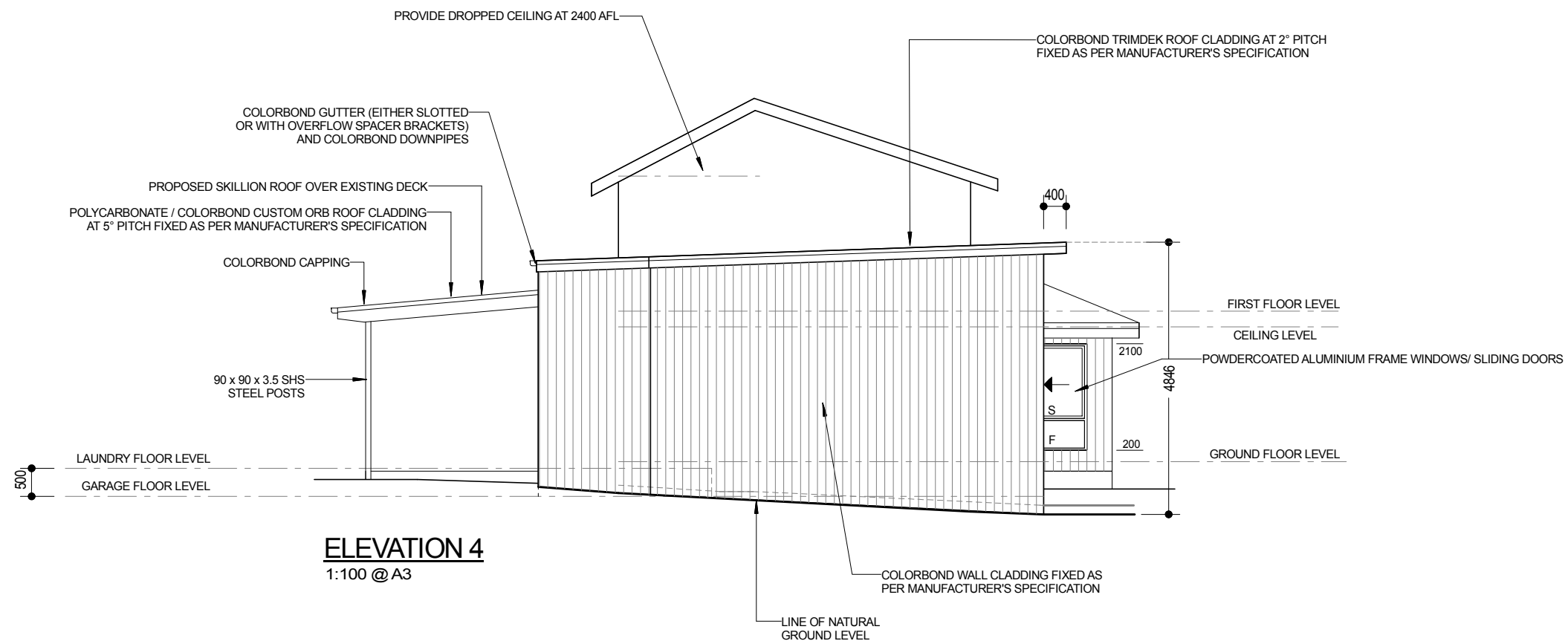
drawing title:
Proposed Elevations 1

REV.	DESCRIPTION	DATE
job. no.	revision	
351	-	
sheet no.	date	
A06	18/08/25	





ELEVATION 3
1:100 @ A3



ELEVATION 4
1:100 @ A3

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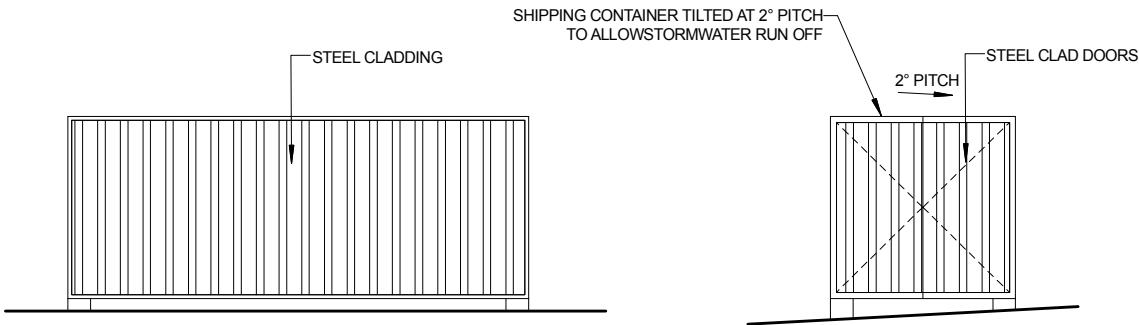
at:

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drawing title:

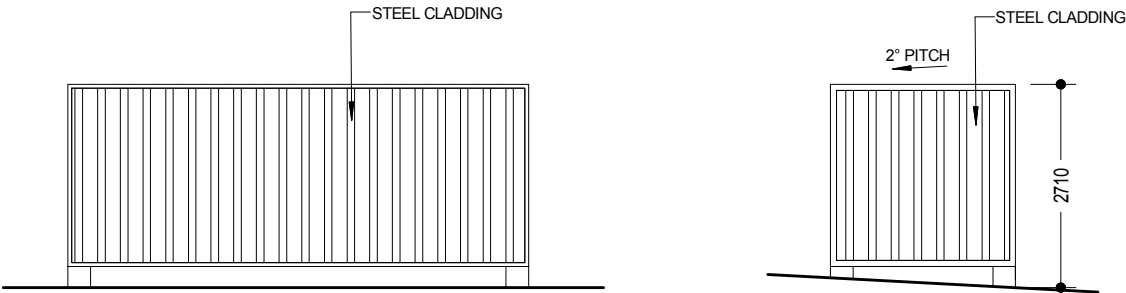
Proposed Elevtions 2

REV.	DESCRIPTION	DATE
job. no.	revision	
351	-	
sheet no.	date	
A07	18/08/25	



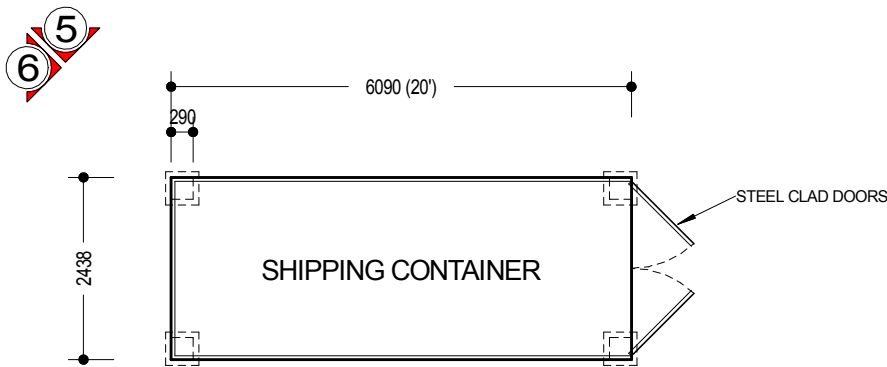
ELEVATION 5
1:100 @ A3

ELEVATION 6
1:100 @ A3



ELEVATION 7
1:100 @ A3

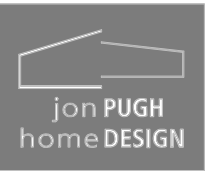
ELEVATION 8
1:100 @ A3



PROPOSED FLOOR PLAN
1:100 @ A3

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Proposed siting of Shipping Container
at:
**#82 Acacia Drive,
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drawing title:

Shipping Container Details

REV.	DESCRIPTION	DATE
job. no.	revision	
351	-	
sheet no.	date	
A08	18/08/25	

DEVELOPMENT APPLICATION

COMPLIANCE REPORT

August 2025

OWNER'S DETAILS

Alex & Karolina Damen
82 Acacia Drive
Ansons Bay
TAS 7264

PROJECT DETAILS

Proposed Garage/ Laundry Addition, Alfresco roof over deck, conversion of upper floor bedroom to Ensuite. Existing Verandah to be incorporated into ground floor Living Area. Proposed siting of Shipping Container

at:

82 Acacia Drive
Ansons Bay
TAS 7264

PREPARED BY

Jon Pugh Home Design
0459 586 013

DEVELOPMENT SITE DETAILS

The property currently has an existing dwelling, deck and various outbuildings on it. There is a gentle slope running from the northern boundary down to the southern boundary.

PROPOSED DEVELOPMENT

It is proposed to provide several additions and refurbishment of the existing dwelling. The proposed includes Garage/ Laundry Addition, Alfresco roof cover over deck, conversion of upper floor bedroom to Ensuite. The existing Verandah is proposed to be incorporated into ground floor Living Area. It is also proposed to permanently site the existing shipping container on the property.

The proposed development relies on Acceptable solutions and Performance Criteria from the Tasmanian Planning Scheme to satisfy planning standards.

DEVELOPMENT DETAILS

The proposed development is:

Proposed Garage/ Laundry:	68.51m ²
Proposed Alfresco Roof:	38.34m ²
Proposed Living Area Addition:	13.88m ²
Proposed Shipping Container:	14.85m ²
<u>Total Area of Development</u>	<u>135.58m²</u>

PLANNING CODE

The proposed development is in the 'Residential' use category in the LOW DENSITY RESIDENTIAL ZONE and is a 'Permitted' use.

The following standards from the Tasmanian Planning Scheme are to be considered:

- **ZONE 10.0 Low Density Residential Zone**
- **CODE C2.0 Parking and Sustainable Transport Code**

ZONE 10.0 Low Density Residential Zone

10.3 Use Standards

10.3.1 Discretionary Uses

- A1 Not applicable
The proposed is a development not for a discretionary use.
- A2 Not applicable
The proposed is a development not for a discretionary use.
- A3 Not applicable
The proposed is a development not for a discretionary use.
- A4 Not applicable
The proposed is a development not for a discretionary use.

10.3.2 Visitor Accommodation

- A1 Not applicable
The proposed is a development not for visitor accommodation use.
- A2 Not applicable
The proposed is a development not for visitor accommodation use.

10.4 Development Standards for Dwellings

10.4.1 Residential Density for Multiple Dwellings

- A1 Not applicable
The proposed development is not a multiple dwelling.

10.4.2 Building Height

- A1 Acceptable solution
The proposed development is 4.85m high.

10.4.3 Setback

A1 **Acceptable solution**

The proposed development is setback 20.1m from the front boundary.

P2 **Performance Criteria**

- a) The proposed Shipping container is setback 1m from both the side and rear boundaries. The proposed Garage/ Laundry is setback 2.94m from the side boundary. The proposed Garage/ Laundry is cut into the slope by 0.2m. Due to the topography and the natural slope and there is no unreasonable loss of amenity to the neighbouring property. The proposed shipping container is in the rear corner of the property where there are existing sheds on the neighbouring property.
- b) The proposed Garage/ Laundry is located on the side of the existing two storey dwelling in the largest open space available and least intrusive area on the site. The height, bulk and form of existing and proposed buildings is in keeping with the surrounding buildings in the local area. The proposed shipping container is in the rear corner of the property where there are existing sheds on the neighbouring property.
- c) The proposed Garage/ Laundry is cut into the slope by 0.2m to reduce the impact of the bulk of the proposed Garage/ Laundry.
- d) The proposed Garage/ Laundry/ Shipping Container matches the height, bulk and form of existing buildings.
- e) The existing dwelling and its private open space will not be adversely affected by the proposed Garage/ Laundry/ Shipping Container. The existing private open space is on the north western side of the dwelling and well away from the proposed development.
- f) Sunlight to private open space and windows of habitable rooms on adjoining properties will not be adversely affected by the proposed development. The property to the south west is set well away from the boundary.
- g) The character of development of existing established properties is still developing.

10.4.4 Site Coverage

A1 **Acceptable Solution**

The proposed development has a site coverage of 18.5%.

10.4.5 Frontage Fences for all dwellings

- A1 Acceptable solution
 No new fences are proposed in this application.

10.5 Development Standards for Non-dwellings

- A1 Not applicable
 The proposed is a development is not a non-dwelling.
- A2 Not applicable
 The proposed is a development not for a non-dwelling.
- A3 Not applicable
 The proposed is a development not for a non-dwelling.
- A4 Not applicable
 The proposed is a development not for a non-dwelling.
- A5 Not applicable
 The proposed is a development not for a non-dwelling.
- A6 Not applicable
 The proposed is a development not for a non-dwelling.
- A7 Not applicable
 The proposed is a development not for a non-dwelling.

10.6 Development Standards for Subdivision

- A1 Not applicable
 The proposed is a development not a subdivision.
- A2 Not applicable
 The proposed is a development not a subdivision.
- A3 Not applicable
 The proposed is a development not a subdivision.

10.6.2 Roads

- A1 Not applicable
The proposed is a development not a subdivision.

10.6.3 Services

- A1 Not applicable
The proposed is a development not a subdivision.
- A2 Not applicable
The proposed is a development not a subdivision.
- A3 Not applicable
The proposed is a development not a subdivision.

CODE C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car Parking Numbers

- A1 Acceptable solution
2 car parking spaces are provided. There is one parking space in the existing Shed and one in the proposed Garage as per Table C2.1.

C2.5.2 Bicycle Parking Numbers

- A1 Acceptable solution
No bicycle parking spaces are required or provided as per Table C2.1.

C2.5.3 Motorcycle Parking Numbers

- A1 Acceptable solution
No motorcycle parking spaces are required or provided as per Table C2.4.

C2.5.4 Loading Bays

- A1 Acceptable solution
No loading bays are required or provided.

C2.5.5 Number of Car parking Spaces within the General Residential Zone

- A1 Acceptable solution
 There are no non-residential buildings in this proposal.

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of Parking Areas

- P1 Performance Solution
- (a) The area for parking is in front of the proposed Garage and will be easily identifiable and readily accessible from the road.
 - (b) The site for the proposed Garage is cut into the slope by 0.2m.
 - (c) Surface water will drain to proposed silt trap with overflow to a proposed roadside drain.
 - (d) Surface water will drain to proposed silt trap with overflow to a proposed roadside drain.
 - (e) The compacted gravel area will be too small to generate a significant amount of dust.
 - (f) The car parking and maneuvering space will be compacted gravel in front of the proposed Shed.

C2.6.2 Design and layout of Parking Areas

- A1.1 The layout of car spaces and access ways must be designed in accordance with AS 2890.1 - Parking facilities. Parts 1-6: Off Road Car Parking.

- Minimum parking bay size 2.4m x 5.4m
- Minimum driveway width 3.0m
- Maximum gradient 1:4
- Minimum height clearance 2200mm
- Maximum gradient across property line and footpath 1:20

- A1.2 Parking spaces provided for use by persons with a disability

Not applicable

C2.6.3 Number of Accesses for Vehicles

- A1 Acceptable solution
 Only one access is proposed in this proposal.
- A2 Not Applicable

This proposal is in the General Residential Zone.

C2.6.4 Lighting of Parking Areas within the General Business Zone and Central Business Zone

- A1 Not Applicable
This proposal is in the General Residential Zone.

C2.6.5 Pedestrian Access

- A1.1 Not Applicable
The use in this proposal does not require more than 10 parking spaces.
- A1.2 Not Applicable
The use in this proposal does not require disabled access parking.

C2.6.6 Loading Bays

- A1 Not Applicable
Loading Bays are not required.
- A2 Not Applicable
Loading Bays are not required.

C2.6.7 Bicycle Parking and Storage facilities within the General Business Zone and Central Business Zone

- A1 Not Applicable
The use in this proposal does not require bicycle parking spaces.
- A2 Not Applicable
The use in this proposal does not require bicycle parking spaces..

C2.6.8 Siting of Parking and Turning Areas

- A1 Not Applicable
The use in this proposal does not require any specific provisions.
- A2 Not Applicable

The use in this proposal does not require any specific provisions.

C2.7 Parking Precinct Plan

C2.7.1 Parking Precinct Plan

A1 Not Applicable

The use in this proposal does not require any specific provisions.