

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00022
Applicant	J Sherriff
Proposal	Subdivision – Two (2) Lot Subdivision & Residential – New Dwelling & Outbuilding
Location	8-10 Richard Court, Akaroa (Crown Land Reserve Adjacent)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th October 2025 **until 5pm Monday 10th November 2025.**

John Brown
GENERAL MANAGER

8-10 Richard Court, Akaroa 7250

PROPOSED - Subdivision & Construction of new four bedroom class 1a residence

DWG No.	TITLE	SCALE
D.A - 01	Cover Page	
D.A - 02	Site plan - Site analysis	1:500
D.A - 03	Site plan - Services and contours	1:200
D.A - 04	Planning responses	
D.A - 05	Design plan	1:100
D.A - 06	Design elevations	1:100
D.A - 07	Design elevations	1:100
D.A - 08	Garage plan	1:100
D.A - 09	Garage elevations	1:100

ZONING
8.0 GENERAL RESIDENTIAL

PROPERTY ID
7220970

TITLE REFERENCE
24007/10

SITE AREAS
Total Area - 2890 square metres

No. 8 Area - 1956.3
No. 10 Area - 933.7

BUILDING AREAS

EXISTING DWELLING - No.8

Building area - 200 square metres
Garage area - 41 square metres
Ground floor - 150 square metres
First floor - 50 square metres
Footprint including garage - 191 square metres
New site area - 933.7 square metres
Site coverage - 20 %

NEW DWELLING - No.10

Building area - 236 square metres
Garage area - 124.6 square metres
Deck area - 69.3 square metres
Footprint - 429.9 square metres
New site area - 1956.3 square metres
Site coverage - 21.9 %



ARCHITECTURAL DRAWINGS



illian van der Schans
M.Arch (research) B.Arch(1st
class Hon.) B.Env.Des (dist.)

Environmentally aware design
architecture, interior design,
furniture & colour consultation.

12 Salisbury crescent
West Launceston
7250

T: 63 341010
M: 0488 586 076

DRAWING:
Cover page

DATE: 20th January 2025
ACCREDITATION
No CC633U

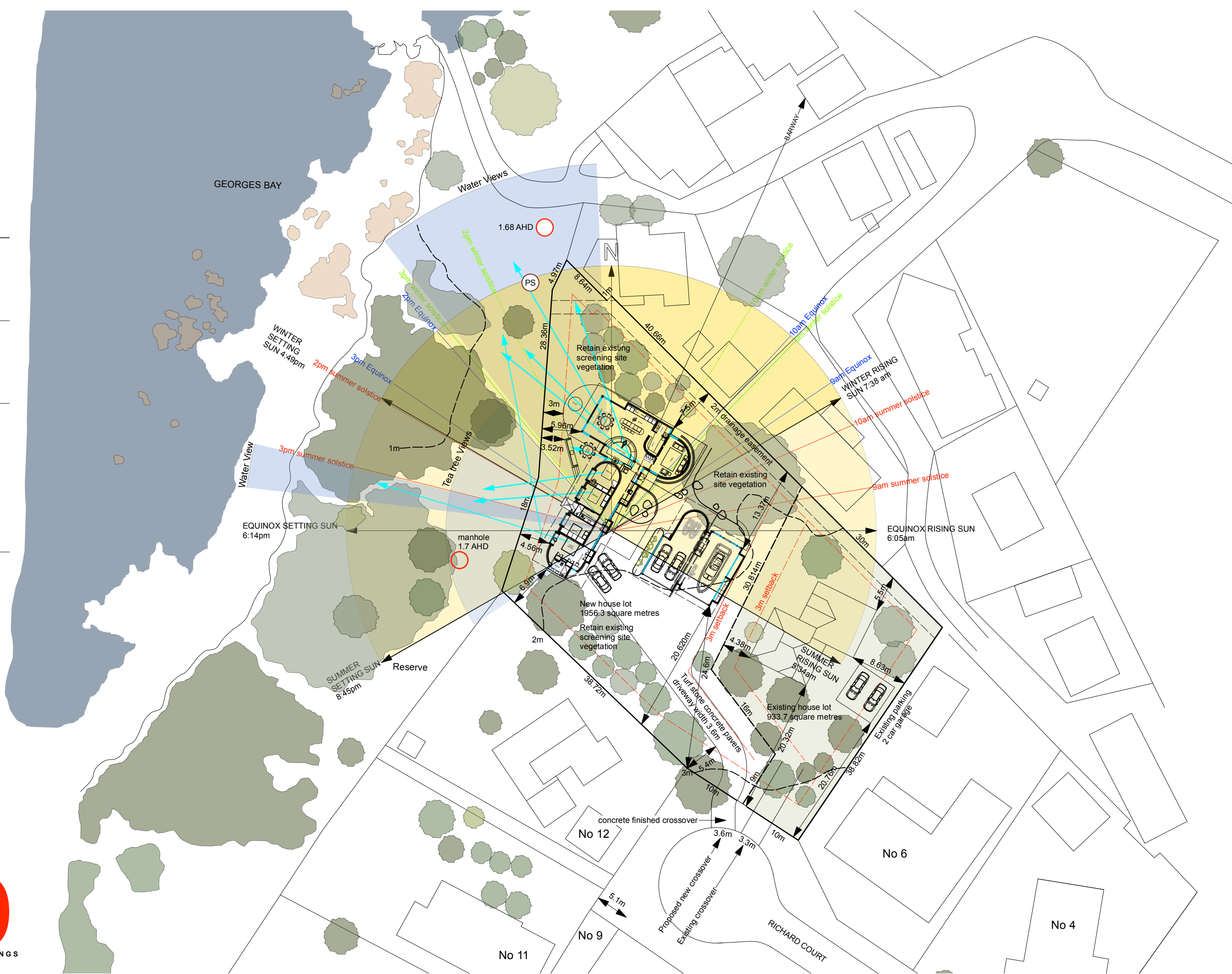
SCALE:

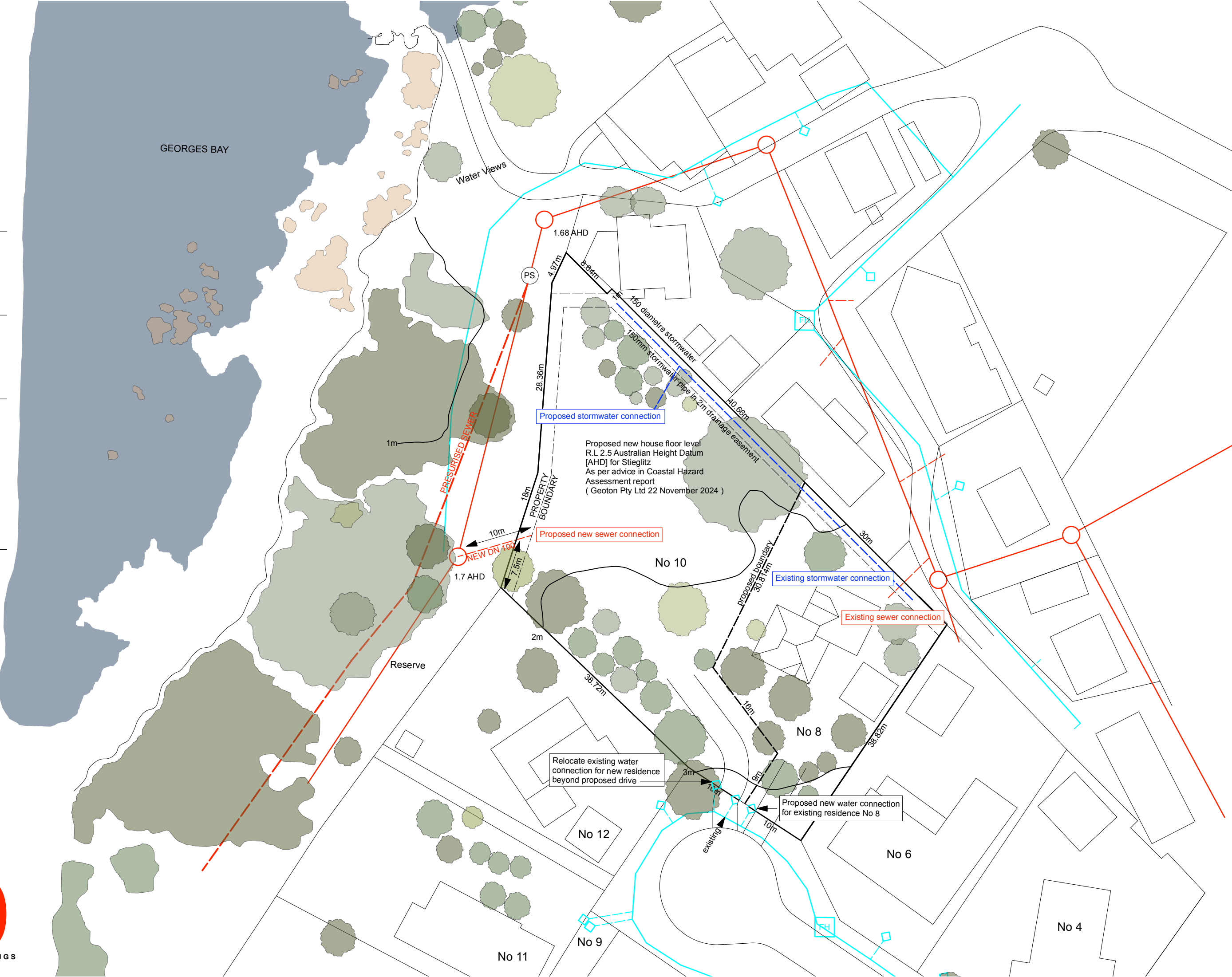
REVISION:

PAGE NO:
D.A 1/9

DRAWN: GvdS

Jason John Sherriff
8-10 Richard Court
Akaroa 7216





ZONING - 8.0 GENERAL RESIDENTIAL

Responses in red

8.2 Use
Residential - Permitted

8.4 Development Standards for Dwellings
8.4.2 Setbacks and building envelope for all dwelling

Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

(a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;

(b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;

(c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or

(d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.

The minimum setback is not less than 0.9m on either property.
Minimum setback on No.8 - 4.38m
Minimum setback on No.10 - 3m

(a) The minimum primary setback is not less than 4.5m
Primary setback for No.10 - 24.6m
Primary setback for No. 8 - 20.32m

(b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;
The setbacks from boundaries other than the primary setback is not less than 3m on both lots.
The minimum setback on No. 8 - 4.38m & No.10 is 3m

A2
A garage or carport for a dwelling must have a setback from a primary frontage of not less than:

(a) 5.5m, or alternatively 1m behind the building line;
The setback of garages exceed 5.5m on both lots.
Garage setback for No.10 - 24.6m
Garage setback for No. 8 - 20.76m

A3
A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope must:

(a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:

(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and

(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and

The proposed single storey new residence is contained within the acceptable building envelope as demonstrated on page 8 & 9 and the existing residence due to greater boundary setbacks also meets this requirement.

8.4.3 Site coverage and private open space for all dwellings
A1
Dwellings must have:

(a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and

The proposed site coverage is less than 50% The site coverage of each site is;
No. 8 - 20%
No.10 - 21.9%

A2
A dwelling must have private open space that:

(a) is in one location and is not less than:

(i) 24m²; or

(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);

(b) has a minimum horizontal dimension of not less than:

(i) 4m; or

(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);

(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and

(d) has a gradient not steeper than 1 in 10.

Both lots due to their larger site area have significant private open space in excess of the above requirements No. 8 has a site area of 933.7 square metres
No.10 has a site area of 1956.3 square metres

8.4.5 Width of openings for garages and carports for all dwellings

A1
A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).

The garages on both lots are beyond 12m from a frontage as indicated on the site plan. The garage setbacks for each site are;
No. 8 - 20.76m
No.10 - 24.6m

8.4.6 Privacy for all dwellings

A1
A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:

The proposed building is a single level residence with a finished floor level less than 1m above natural ground.
(approximately 620mm above natural ground as shown on the elevations)

A2
A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):

(a) the window or glazed door:

(i) is to have a setback of not less than 3m from a side boundary;

(ii) is to have a setback of not less than 4m from a rear boundary;

(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and

(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.

(b) the window or glazed door:

(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;

(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or

(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.

The proposed building is a single level residence with a finished floor level less than 1m above natural ground .
(approximately 620mm above natural ground as shown on the elevations)

8.6.1 Lot design

A1
Each lot, or a lot proposed in a plan of subdivision, must:

(a) have an area of not less than 450m² and:

(i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of:

a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and

b. easements or other title restrictions that limit or restrict development; and

(ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2;

(b) be required for public use by the Crown, a council or a State authority;

(c) be required for the provision of Utilities; or

(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.

The proposed new lots are of a large size similar or larger than those in the area and exceed the minimum area requirement. They are able to contain an area of area of 10m x 15m and have access to service provision. The site area of each lot is;
No. 8 - 933.7 square metres
No.10 - 1956.3 square metres

A2
Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 12m.

The street frontage of each lot is 10m

P2
Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to:

(a) the width of frontage proposed, if any;

(b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;

(c) the topography of the site;

(d) the functionality and useability of the frontage;

(e) the ability to manoeuvre vehicles on the site; and

(f) the pattern of development existing on established properties in the area, and is not less than 3.6m wide.

The proposed subdivision allows for a street frontage width of 10m which is proportionally close to the acceptable requirement of 12m.
The flat nature of the two sites and the larger lot sizes of the sites allows for easy vehicle manoeuvring. As the site is relatively flat the full length of the street boundary is usable and sufficient for the proposed residential use. There is also precedent for a lesser width street frontage in No.9 Richard Court which has a road frontage of 5.1m.

A3
Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.

8.6.2 Roads
A1
The subdivision includes no new roads.
The subdivision requires no new roads.

8.6.3 Services
A1
Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a full water supply service.

The new lot and existing lot has access to full water supply in the locations indicated on the services plan page 3

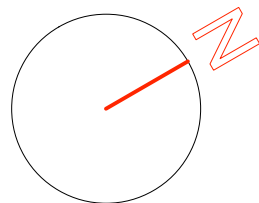
A2
Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.

The new lot and existing lot has access to reticulated sewerage system in the locations indicated on the services plan page 3

A3
Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.

The new lot and existing lot has access to a public stormwater system in the locations indicated on the services plan page 3





GENERAL RESIDENTIAL NON PRIMARY SETBACK 3m

3m
SETBACK

5.96m
SETBACK

3.52m
SETBACK

4.56m
SETBACK

6.93m
SETBACK

SETBACK
7.5m

AREA: 236 square metres

Environmentally aware design
architecture, interior design,
furniture & colour consultation.

12 Salisbury crescent
West Launceston
7250

T: 63 341010
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DRAWING:
Design Plan

DATE: 20th January 2025
ACCREDITATION
No CC633U

SCALE:
1:100 @ A3

REVISION:

PAGE NO:
5/9

DRAWN: GvdS

Jason John Sherriff
8-10 Richard Court
Akaroa 7216

ARCHITECTURAL DRAWINGS



illian van der Schans
M.Arch (research) B.Arch(1st
class Hon.) B.Env.Des (dist.)



Gillian van der Schans
 M.Arch (research) B.Arch(1st
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Environmentally aware design
 architecture, interior design,
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T: 63 341010
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DRAWING:
 Garage

DATE: 20th January 2025
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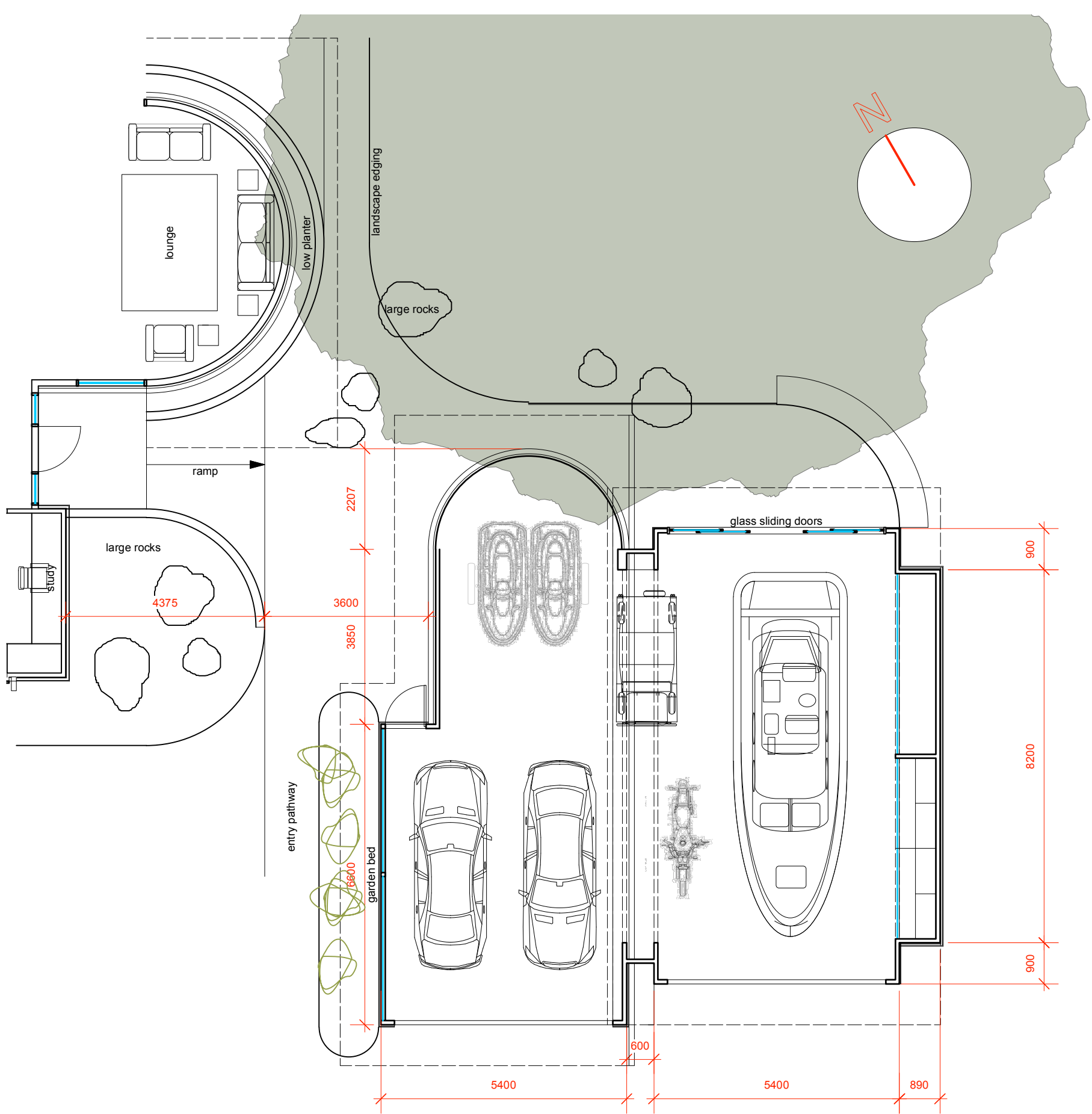
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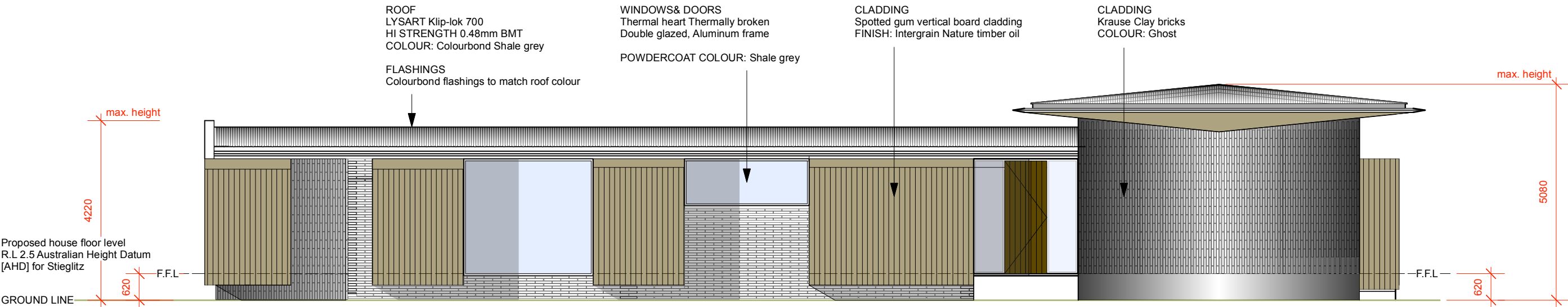
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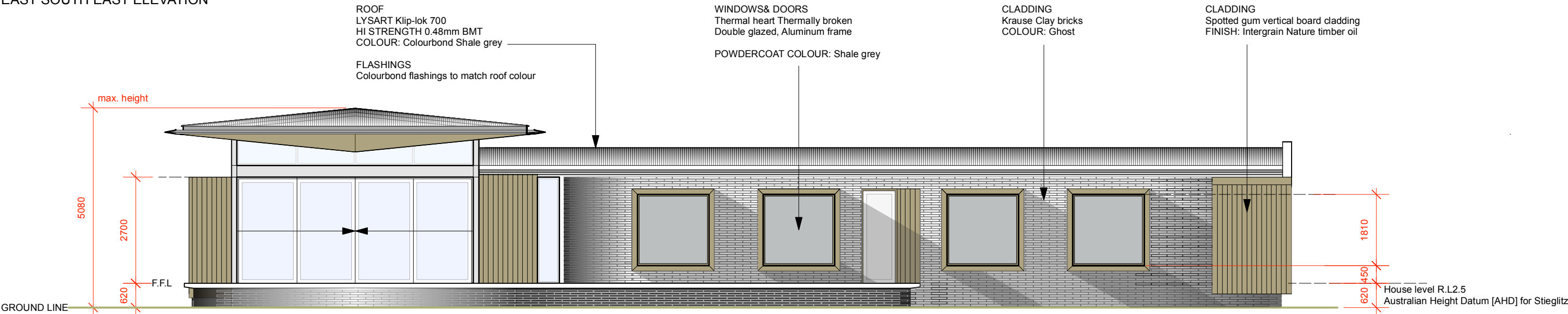
Jason John Sherriff
 8-10 Richard Court
 Akaroa 7216



NOTE: Habitable rooms have a floor level raised 300mm above the 1% AEP event in 2100 (i.e. 2.5m Australian Height Datum [AHD] for Stieglitz).
As per advice in Coastal Hazard Assessment report
(Geoton Pty Ltd 22 November 2024)

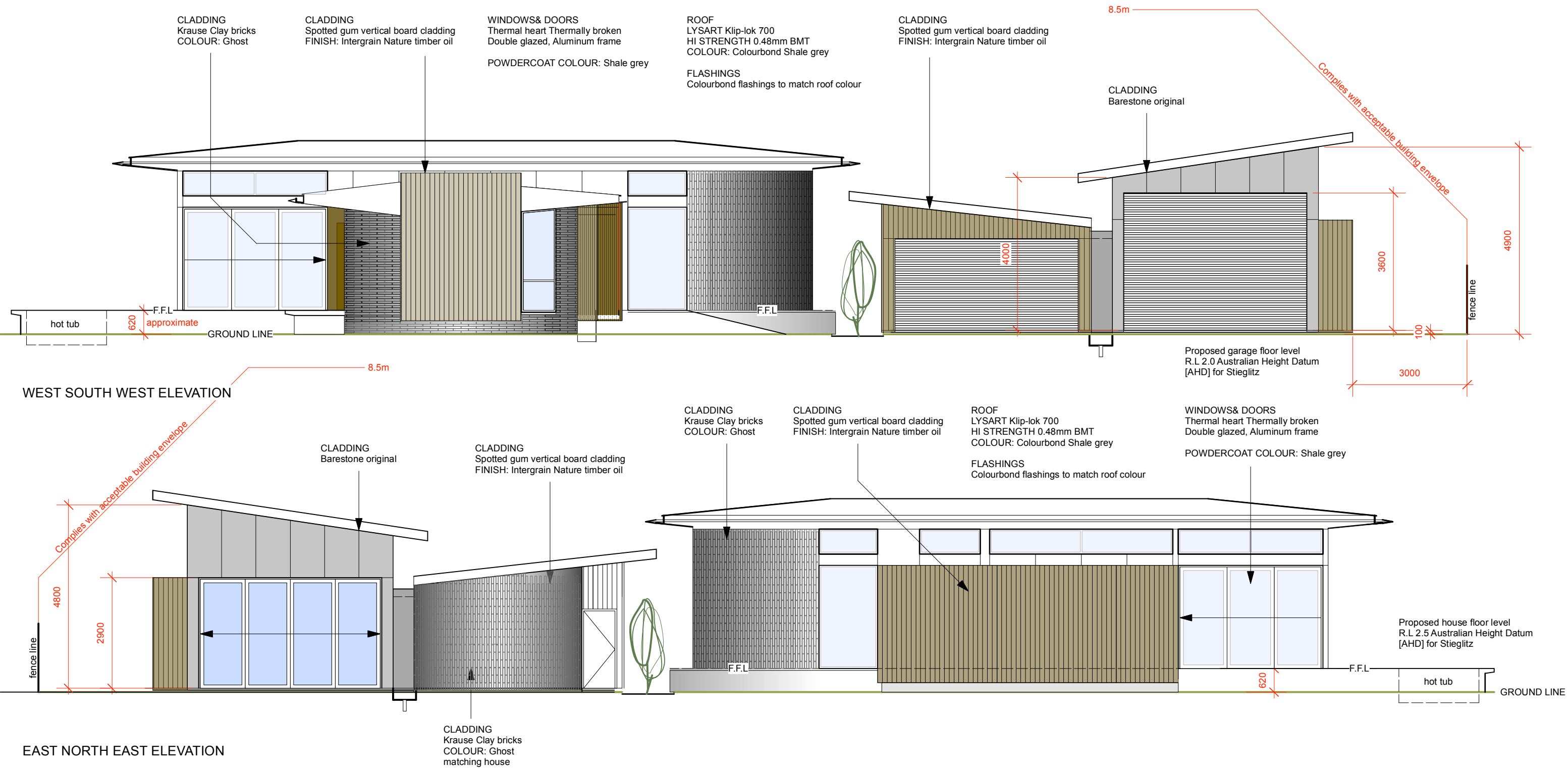


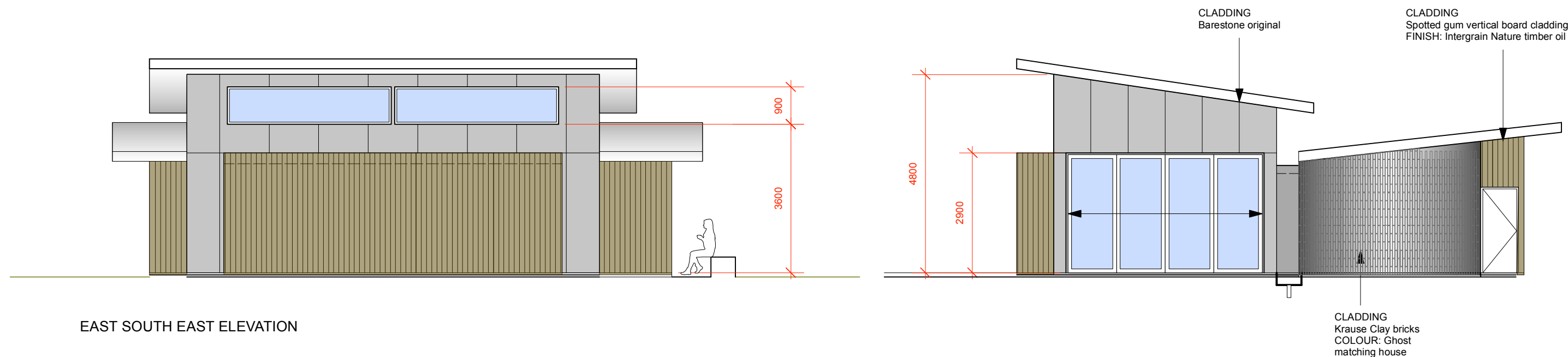
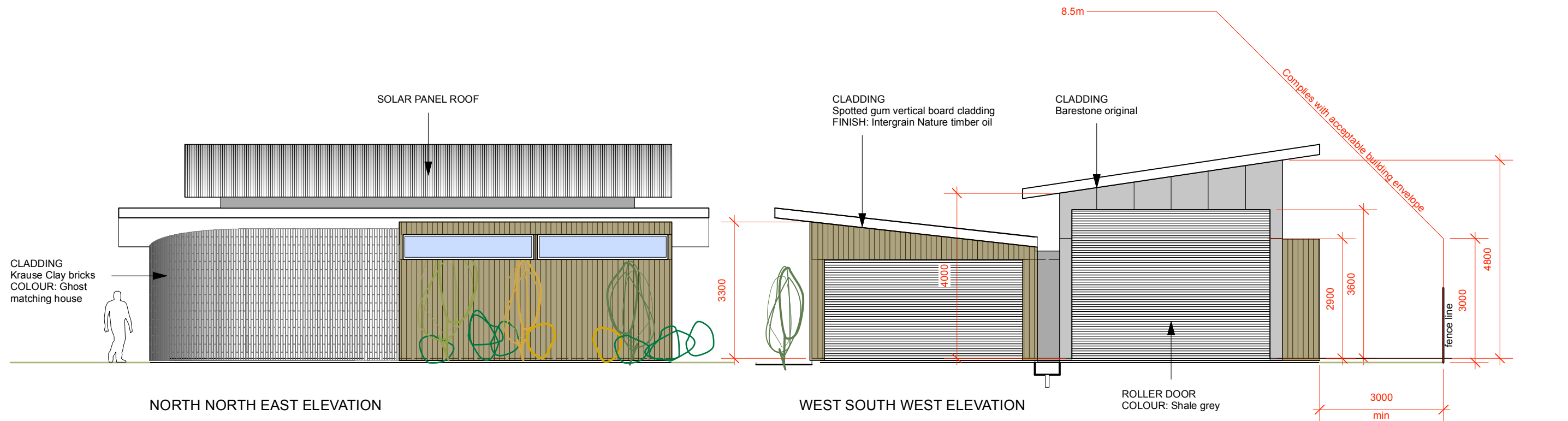
EAST SOUTH EAST ELEVATION



NORTH NORTH EAST ELEVATION

NOTE: Habitable rooms have a floor level raised 300mm above the 1% AEP event in 2100 (i.e. 2.5m Australian Height Datum [AHD] for Stieglitz).
As per advice in Coastal Hazard Assessment report (Geoton Pty Ltd 22 November 2024)





Planning Report

8 -10 Richard Court Akaroa

Responses in red

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

Objective:

That an appropriate level of car parking spaces are provided to meet the needs of the use.

Acceptable Solution

A1

The number of on-site car parking spaces provided per dwelling is 2 spaces, which is in accordance with C2.1 for a dwelling with more than 2 bedroom in a General Residential Zoning.

At No 8. Richard Court there are two existing car parking spaces within the existing 6.6m x 6m garage located on the eastern side of the site.

On future No 10. Richard Court there are two car parking spaces provided in the proposed garage, or alternatively there is space for two cars behind the dwelling as shown on the site plan pg. 2 of the provided drawings.

C2.5.2 Bicycle parking numbers

Not applicable in General Residential Zoning

C2.5.3 Motorcycle parking numbers

Not applicable in General Residential Zoning

C2.5.4 Loading bays

Not applicable in General Residential Zoning

C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone for non residential buildings

Not applicable

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

Objective:

That parking areas are constructed to an appropriate standard.

Acceptable Solution

A1

The proposed new driveway into the sub divided lot has a sealed finish in the form of concrete pavers. Richard Court has concrete curb edging and a public stormwater management system to which driveway and parking areas will be drained.

C2.6.2 Design and layout of parking areas

Objective:

That parking areas are designed and laid out to provide convenient, safe and efficient parking.

Acceptable Solution

A1.1

Both proposed sites have minimal falls and gradients and due to their proposed larger lot sizes (1958.6 square metres & 933.7 square metres) there is sufficient turning area within each site for vehicles to exit in a forward direction, even though this is not a requirement for 2 parking spaces on a residential lot.

The proposed driveway widths on the sites are 3.6m for No.10 and 3.3m (existing) for No.8 as shown on the site plan pg.2 of the application drawings. In both instances this exceeds the minimum 3m required width as indicated in table C2.2

The existing 6.6m depth x 6m width enclosed garage space provides parking for two cars on No. 8 Richard Court which exceeds the requirement for a 2.6m width x 5.4m length car parking space per vehicle, as does the 6.6m depth x 5.4m width area within the proposed garage for No 10 Richard Court.

The existing garage and the proposed garage have ceiling heights that exceeds 2.1m

C2.6.3 Number of accesses for vehicles

Objective:

That:

- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;
- (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and
- (c) the number of accesses minimise impacts on the streetscape.

Acceptable Solution

A1

No more than one cross over is provided or proposed for each residence.

A2

Not applicable

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

Not applicable

C2.6.5 Pedestrian access

Not applicable as less than 10 car parking spaces .

C2.6.6 Loading bays

Not applicable

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

Not applicable

C2.6.8 Siting of parking and turning areas

Not applicable

C2.7 Parking Precinct Plan

Not applicable, as area not defined by a parking precinct plan.

C3.0 Road and Railway Assets Code

C3.1 Code Purpose

The purpose of the Road and Railway Assets Code is:

C3.1.1

To protect the safety and efficiency of the road and railway networks; and

C3.1.2

To reduce conflicts between sensitive uses and major roads and the rail network.

C3.2 Application of this Code

C3.2.1

This code applies to a use or development that:

- (a) will increase the amount of vehicular traffic or the number of movements of vehicles longer than 5.5m using an existing vehicle crossing or private level crossing;
- (b) will require a new vehicle crossing, junction or level crossing; or
- (c) involves a subdivision or habitable building within a road or railway attenuation area if for a sensitive use.

C3.4 Use or Development Exempt from this Code

C3.4.1

There are no exemptions from this code.

C3.5 Use Standards

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

A1.1

For a category 1 road or a limited access road, vehicular traffic to and from the site will not require:

- (a) a new junction; (b) a new vehicle crossing; or (c) a new level crossing.

A1.2 N/A

For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.

A1.3 N/A

For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.

A1.4

Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than: (a) the amounts in Table C3.1; or

- (b) allowed by a licence issued under Part IVA of the *Roads and Jetties Act 1935* in respect to a limited access road.

A1.5

Vehicular traffic must be able to enter and leave a major road in a forward direction.

Acceptable Solution

The planning proposal is for a new single lot and residence on a residential street currently containing 10 residences. Richard Court is a Cull de sac road with low residential speeds and a low volume traffic usage due to the limited number of residences.

The existing large 2890 square metre site connects on to Richard Court at the Cul de sac end of the street where traffic movement is at its minimum.

Due to the size of the original lot compared to neighbouring residences the new divided properties will have comparative sizes to the existing lots in the street. The proposed site areas are 933.7 square metres and 1956.3 square metres. These larger site areas allows vehicles to exit both properties in a forward direction.

The amount of acceptable increase in annual average daily traffic to and from the site (total of ingress and egress) as indicated in C3.1 for vehicles up to 5.5m at crossings on other roads is 20% or 40 vehicles per day whichever is greater. This amount is well in excess of the expected domestic vehicle usage and impact that an additional single residence would have on Richard Court.

C3.6 Development Standards for Buildings or Works

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

Not applicable.

C3.7 Development Standards for Subdivision

C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area

Not applicable, as existing residential area.

APPLICATION FOR DEVELOPMENT



PID

DA

Office use only above:

PLANNING ONLY (Subdivision, Boundary Adjustment, etc.)	
PLANNING & BUILDING (With Council Building Surveyor)	
PLANNING & BUILDING (With Private Building Surveyor)	
BUILDING ONLY	

+ Plus (If required)

PLUMBING	
----------	--

Please tick the appropriate box or boxes. If they don't accurately describe your proposal, please detail under 'Other'

- ☒ New house
- ☐ House extension/addition
- ☐ Demolition
- ☐ Partial Demolition
- ☐ Fencing
- ☐ Change of use (please specify)
- ☒ Subdivision

☐ Other (please specify)

.....
.....
.....
.....

APPLICANT DETAILS

INVOICE TO (Please Tick)

☒

Name:	Jason John Sherriff	Phone No:	
Postal Address	13 Kardinya Close	Mobile No.	0408 135 559
	Legana	Email address:	jason@sherriffcivil.com.au

OWNER DETAILS

INVOICE TO (Please Tick)

☐

Owner:	Jason John Sherriff	Phone No:	
Postal Address	13 Kardinya Close	Mobile No.	0408 135 559
	Legana	Email address:	jason@sherriffcivil.com.au

CONTACT PERSON	INVOICE TO (Please Tick) ☐
-----------------------	--

Name:	Gillian van der Schans	Phone No:	
Postal Address	12 Salisbury Crescent	Mobile No.	0488 586 076
	West Launceston	Email address:	vanderschans@bigpond.com

"Applicant's name" means the name of the person making the application. The applicant will be advised of the determination in respect of the application. The applicant will be written to if additional information is required. The "Owner's name" is the owner as described in the definition below of owner. The "Contact Person" is the person that should be contacted in respect to any matters relating to the application up to its determination. In most cases the applicant and contact person will be the same. However, in the instance of an applicant being an architectural firm (ie XYZ Architects) the contact person may be an architect (ie I. Draw). The contact person (unless they are the same as the applicant) will not be advised of the decision of Council.

ADDRESS OF DEVELOPMENT			
Street No.	8-10	Street	Richard Court
Town	Akaroa		Title Reference 24007/10

SITE & DEVELOPMENT DETAILS			
Zone	General residential	New Building Area	360.6 m2
Land Area	2890 m2	m2/ha	Priority Habitat Mapped no
Use Class	1a	Flood Prone Mapped	yes

Includes sewerage connection across St Helens Conservation Area - Environmental Management zone

DECLARATION BY APPLICANT (mandatory)		
I declare that the information given is a true and accurate representation of the proposed development, and I am liable for the payment of Council application processing fees even in the event of the development not proceeding. I understand that the information and materials provided with this development application may be made available to the public in electronic form on the Council's website. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Break O'Day Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.		
SIGNATURE OF APPLICANT 	NAME (Please Print) JASON SHERRIFF	DATE 10/2/2025

IF APPLICANT IS NOT THE OWNER		
I hereby declare that I am the applicant for the development/change of use at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land that I am making this application, in accordance with Section 52 (1a) Land Use Planning Approvals Act 1993.		
SIGNATURE OF APPLICANT	NAME (Please Print)	DATE
NAME/S OF OWNER/S NOTIFIED	DATE NOTIFIED	

COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Break O'Day Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Break O'Day Council, or their delegate (as specified in Subsections 52 (1D-1G) of the Land Use Planning and Approvals Act 1993).

I Sophie Muller, Deputy Secretary Parks & Wildlife Service being responsible for the administration of land
at St. Helens Conservation Area (adjacent PID 24007/10), declare that I have given permission for the making of this
application for a new Dwelling with private sewer connections on reserve land.
Date 28 July 2025 Signature S. Muller

DEFINITION OF OWNER

"owner" means any one or more of the following:

a in the case of a fee simple estate in land - the person in whom that estate is vested; b in the case of land not registered under the Land Titles Act 1980 and subject to a mortgage - the person having, for the time being, the equity of redemption in that mortgage; c in the case of land held under a tenancy for life - the person who is the life tenant; d in the case of land held under a lease of a term not less than 99 years or for a term of not less than such other prescribed period - the person who is the lessee of the land; e in the case of land in respect of which a person has a prescribed interest - that person; f in the case of Crown land within the meaning of the Crown Lands Act 1976, the Crown in right of the State of Tasmania; but does not include the holder of an interest in land other than the Crown in the right of Tasmania if the interest of the holder cannot reasonably be discovered by search of the Register within the meaning of the Land Titles Act 1980 or a search conducted at the Registry within the meaning of the Registration of Deeds Act 1935.

PLANNING & BUILDING APPLICATION DETAILS

Refers to Approved Forms 2, 3, 4, 8, 9, 57, 72a, 72b & 72c under sections 139, 156, 165, 217, 255, 258, 153, 104, 178, 115, 203 & 127 and Regulation 83 of the Building Act 2016.

SITE AND BUILDING DETAILS

New Floor Area	360.6 m ²	MATERIALS	
Existing Building Floor	200 m ²	Floors	concrete / timber
Land Area	m ²	Frame	timber
Value of Works	\$ 1,126,000	Walls	timber / brick
Estimate or Contract (Please indicate)	estimate	Roof	steel

OWNER BUILDER

YES ☐ (Complete Owner Builder Statement/Declaration)

NO ☐ no

ENGAGEMENT OF COUNCIL AS BUILDING SURVEYOR

Section 35 of the Building Act 2016

Building Surveyor:		Category:	
Business name:			
Business address:		Phone No:	
		Fax No:	
Licence No:		Email address:	

Please Note: If you are wishing to engage Break O Day Council's Building Surveying Service, on lodgement of this application form you are acknowledging engagement of the Building Surveying Service under Section 35 of the Building Act 2016.

BUILDING PRACTITIONER DETAILS

Designer/Architect:		Category:	
Business name:			
Business address:		Phone No:	
		Fax No:	
Licence No:		Email address:	

Engineer:		Category:	
Business name:			
Business address:		Phone No:	
		Fax No:	
Licence No:		Email address:	
Builder:		Category:	
Business name:			
Business address:		Phone No:	
		Fax No:	
Licence No:		Email address:	
Plumber:		Category:	
Business name:			
Business address:		Phone No:	
		Fax No:	
Licence No:		Email address:	

BUILDING APPLICATION - LODGEMENT - DECLARATION BY APPLICANT (mandatory)

I acknowledge that my application for a Certificate of Likely Compliance/ Building Permit/ Plumbing Permit will **NOT** be assessed until 14 days subsequent to Planning Permit being issued.
Section 35 of the Building Act 2016

SIGNATURE OF APPLICANT

NAME (Please Print)

DATE

PRIVACY STATEMENT The personal information requested on this form is being collected by Council for Land Use Planning & Approvals Act 1993, Building Act 2016 and Building Regulations 2016. The personal information will be used solely by Council for that primary purpose or directly related purpose. Council may disclose the information to other regulatory organisations where required to by law; officers of Break O'Day Council; data service providers engaged by Council from time to time; and any other agent of Council.

Enquiries: Sean Byster-Bowles
Phone: 03 6777 2206
Email: PlanningNorth@parks.tas.gov.au
Our ref: RAA 25/1470

Jason John Sherriff
13 Kardinya Close,
Legana TAS 7277

Email: jason@sherriffcivil.com.au

Dear Mr Sherriff

**LODGEMENT OF PLANNING APPLICATION
JASON JOHN SHERRIFF
PRIVATE SEWER CONNECTION WITHIN ST HELEN'S CONSERVATION AREA
8-10 RICHARD COURT, AKAROA**

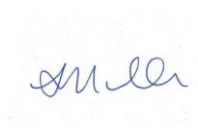
This letter, issued pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*, is to confirm that the Crown consents to the making of the enclosed Planning Permit Application, insofar as the proposed development relates to Crown land and reserved land managed by Natural Resources and Environment Tasmania.

Crown consent is only given to the lodgement of this application. Any variation will require further consent from the Crown.

This letter does not constitute, nor imply, any approval to undertake works, or that any other approvals required under the *Crown Lands Act 1976* or the *National Parks and Reserves Management Act 2002* have been granted. If planning approval is given for the proposed development, the applicant will be required to obtain separate and distinct consent from the Crown before commencing any works on Crown land or reserved land.

If you need more information regarding the above, please contact the officer nominated at the head of this correspondence.

Yours sincerely



Sophie Muller
Deputy Secretary
28 July 2025

Jason John Sherriff
Landowner
13 Kardinya Close, Legana 7277

Email: jason@sherriffcivil.com.au

**Private sewer connection within St Helen's Conservation Area
– Jason John Sherriff**

Dear Mr Sherriff,

Please find attached your Authority issued under the *National Parks and Reserves Management Regulations 2019*.

The Tasmania Parks and Wildlife Service (PWS) is responsible for ensuring use and development in reserved areas are in accordance with the objectives of the *National Parks and Reserves Management Act 2002* and *National Parks and Reserves Management Regulations 2019*.

It is advised that the Authority holder and any other persons provided for under this instrument must fulfill the conditions of this Authority and Advice. The *National Parks and Reserves Management Regulations 2019* apply for activities where no Authority has been granted.

PWS must be contacted for consideration of an assessment process for a new Authority if activities are intended are not addressed under this instrument. PWS assessment processes are detailed in https://parks.tas.gov.au/RAA_process_overview.pdf

Further Assistance

All communications regarding the Authority are to be directed to the contact officer. The PWS contact officer for this proposal is Sean Byster-Bowles, Regional Planner, on phone 03 6777 2206 or email PlanningNorth@parks.tas.gov.au

Yours sincerely



Jayne Cooper
Regional Operations Manager - North
Tasmania Parks and Wildlife Service

19/06/2025



AUTHORITY FOR ACTS OR OMISSIONS ON RESERVED LAND

Granted in relation to: St Helen's Conservation Area

Granted to: All employees and contractors (and their employees) of Jason John Sherriff of 13 Kardinya Close, Legana 7277, while any such person is undertaking works in relation to or for the purposes of constructing a private sewer connection ('the project') at the project site within the named reserve.

Authority or approval valid: from Midnight 1 July May 2025 – to midnight on 1 July 2026

This authority may be cancelled by notice in writing from the Director of National Parks and Wildlife in accordance with Regulation 30 of the National Parks and Reserves Management Regulations 2019.

Details of authority

Pursuant to Regulation 28 of the National Parks and Reserves Management Regulations 2019 ('the Regulations') and subject to the conditions listed below, an authority is granted for each of the following acts or omissions that would otherwise constitute an offence under the specified provisions of the Regulations:

- R 5(2)(c)-on any reserved land, interfere with, dig up, cut up, collect, or remove any sand, gravel, clay, rock or mineral or any timber, firewood, humus or other natural substance.
-

Conditions

1. All contractors and employees of the proponent undertaking works at this site must be provided with a copy of this Authority.
2. A daily register must be maintained by the proponent of all its employees, contractors (and their employees) and sub-contractors (and their employees) who are working at the project site and in respect of the works they are undertaking. A copy of the register is to be produced by the proponent to an authorised officer as required.
3. A copy of this Authority must be available on site and produced by the proponent if required by an authorised officer.
4. The proponent must report any breaches of this authority conditions as soon as practicable and no later than 24 hours of it becomes aware of the breach to the Parks and Wildlife Service (PWS) Ranger In Charge (Brendon Meulders) St Helens Field Centre via 0428 466 590 or sthelensparks@parks.tas.gov.au The report may be initially verbal; however, written notification must be provided within 48 hours of becoming aware of the breach. The written notification must provide details including, but not limited, to:
 - a) breach of condition
 - b) date, time;
 - c) cause of breach;
 - d) likely environmental harm caused; and
 - e) Action taken or to be taken, compliant with relevant legislation, to minimise environmental impact or breach of conditions

Pre works

5. PWS region or Field Centre must be notified at least 14 business days prior to the commencement of the works at the project site [Contact: St Helen's Field Centre - StHelensParks@parks.tas.gov.au].

Acts otherwise prohibited under the *National Parks and Reserves Management Regulations 2019*:

Regulation 5(2)(d)

6. The interfering with, digging up, collecting, or removing any sand, gravel, clay, rock or mineral or any humus or other natural substance is only permitted for works specified in attachment 1.
7. Any machinery operation must occur in accordance with the Tasmanian Fire Service Machinery Operations Guideline – a basis for safe work in dry vegetation- 20021 ITFSMachineryOperationBrochureupdateMay2021.pdf (fire.tas.gov.au)
8. Prior to entering Reserve, any vehicles or machinery must be cleaned in accordance with the hygiene protocols for vehicles and heavy machinery (pg 20-25) of the Keeping it Clean Manual
9. The Hygiene Protocols for movement of gravel and soil (pg 38-41) of the Keeping it Clean Manual must be adhered to
10. No material is to removed from the reserve.

End of Works

11. PWS Region or Field Centre service must be notified within at least 14 business days of works at the project site being completed.



Signed by Jayne Cooper, being the Regional Operations Manager – North Region pursuant to an Instrument of Delegation executed by the Director of National Parks and Wildlife in accordance with section 89 of the National Parks and Reserves Management Act 2002 and dated 21 December 2019.

Date 19/06/2025



Advice for undertaking an activity on Reserved land

PWS recommends that the following preventive measures are undertaken during works and all staff are briefed on these measures or an offence may be committed under the *National Parks and Reserves Management Regulations 2019* for which no authority has been granted.

Biosecurity
Prior to entering Reserve, machinery must be washed in accordance with the Weed and Disease Planning and Hygiene Guidelines (DPIPWE), or any subsequent revisions of that document - Weed and Disease Planning and Hygiene Guidelines .
Mitigating fire risk
Hot works must be suspended immediately once the Forest Fire Danger Index (FDI) is calculated as equal to or greater than HIGH 20, or the relative humidity is equal to or less than 30%. Hot works must not resume until the Forest FDI has dropped below HIGH 20, or the relative humidity risen above 30%.
*Note: Hot work includes the use of grinders, welders, brush cutters, chainsaws, earthmoving equipment and other tools and equipment likely to create sparks.
Suitable extinguishers must be held onsite for potential electrical or fuel fires
Rubbish Removal
All waste is to be removed from site at the completion of works.
Cultural Heritage Protection
All workers to be briefed on any advice received from Aboriginal Heritage Tasmania and follow an Unanticipated Discovery Plan
Prior to commencement of works it is recommended staff undertake the free Aboriginal Heritage Awareness course available at : Introduction - External » Aboriginal Heritage Awareness
Machinery
Follow the Tasmanian Fire Service Machinery Operations Guideline – a basis for safe work in dry vegetation. Link: 200211 TFS Machinery Operation Brochure - update May 2021.pdf (sfmc.tas.gov.au)

01 May 2025

Reference No. GL24577Ab Rev.2

Sherriff Civil Contracting
PO Box 230
Mowbray TAS 7248

Attention: Mr Jason Sherriff

Dear Sir

**RE: Coastal Hazards Assessment and Site Classification
8-10 Richard Court, Akaroa**

We have pleasure in submitting herein our report detailing the results of the geotechnical investigation conducted at the above site.

Should you require clarification of any aspect of this report, please contact Sean Shahandeh or the undersigned on (03) 6326 5001.

For and on behalf of Geoton Pty Ltd



Tony Barriera

Director – Principal Geotechnical Engineer

Rev No.	Date	Written By	Reviewed By	Description
Ab	22/11/2024	S Shahandeh	T Barriera	Original
Ab Rev.1	12/02/2025	S Shahandeh	T Barriera	Added Subdivision Provisions
Ab Rev.2	01/05/2025	S Shahandeh	T Barriera	- Updated Site Plan - Updated Coastal Erosion Methodology

1 INTRODUCTION

A limited scope investigation has been conducted for Sherriff Civil Contracting at the site of proposed residential development and subdivision at 8-10 Richard Court, Akaroa.

The purpose of the investigation was to assess the following:

- The risk posed by coastal erosion and inundation to the site of the proposed development in accordance with the Tasmanian Planning Scheme, Sections C10.6.1 and C11.6.1;
- The risk posed by coastal erosion and inundation to the site of the proposed subdivision in accordance with the Tasmanian Planning Scheme, Sections C10.7.1 and C11.7.1;
- The general subsurface conditions at the site and consequently assign a Site Classification in accordance with AS 2870 – 2011 “Residential Slabs and Footings”; and
- The surrounding topography and provide a Wind Classification in accordance with AS 4055 – 2021 “Wind Loads for Housing”.

A site plan of the proposed development was provided, prepared by Gillian van der Schans, unreferenced and undated. It is understood that the development will involve constructing a dwelling and a garage within the rear western portion of the site. The plan also indicates that the site will be subdivided into east and west lots, with the new western lot gaining access from Richard Court to the southeast (refer to Drawing 1).

1.1 Coastal Erosion Risk Assessment Investigation Methodology

The risk assessment has been undertaken using the methodology and publications as follows:

- Coastal Vulnerability Layers produced by the Department of Premier and Cabinet (DPAC);
- DPAC Coastal Hazards Technical Report – Mitigating Natural Hazards through Land Use Planning and Building Control;
- Building Act 2016: Director’s Determination – Coastal Erosion Hazard Areas;
- Conditions encountered on site; and
- AGS (2007) Landslide Risk Assessment.

The methodology described within AGS (2007) Landslide Risk Assessment assesses the “...outcomes of hazard mapping and assess the potential damage to persons (annual probability the person most at risk loses his or her life) and to property (annual value of property loss) for the elements at risk, accounting for probability and vulnerability”. Use of this method is considered appropriate to qualitatively and

quantitatively assess the risk to the proposed development based on the development's design life and projected sea-level rise.

2 FIELD INVESTIGATION

The field investigation was conducted on 18 November 2024 and involved the drilling of two boreholes by a 4WD mounted drill rig to the investigated and auger refusal depths of 4.6m to 5.0m.

Dynamic Cone Penetration (DCP) tests were conducted in the granular soils encountered in the investigation.

The results of the field tests are shown on the borehole logs.

The logs of the boreholes are included in Appendix A and their locations are shown on Drawing 1 attached.

3 SITE CONDITIONS

The site is currently developed with a dwelling and garage located within the front eastern portion of the site. The ground surface within the site has a very gentle slope of about 1° to 2° down towards the northwest and Georges Bay. Vegetation at the site comprised a maintained cover of grass and trees along the site's boundary (Plate 1).



Plate 1: View the site looking towards the southeast

The site's northwest boundary is approximately 35m from Georges Bay, with the Tasmania Parks and Wildlife Service owning the land between the site boundary and the bay.

TasWater sewer main and water main lines run along the northwest boundary within the Parks and Wildlife land. The local shoreline is characterised as being near-level, with large boulders and bedrock exposed (Plate 2).



Plate 2: View of the shoreline along Georges Bay, looking towards the northwest

The MRT Digital Geological Atlas 1:25,000 Series, indicates that the site is located on Devonian period igneous rocks comprising medium to coarse-grained, sparsely porphyritic biotite granodiorite.

Examination of the LIST Landslide Planning Map – Hazard Bands Overlay, indicates that the site is not within a mapped landslide hazard band.

3.1 Subsurface Conditions

The investigation indicated that the soil profile is generally uniform across the site. The boreholes encountered silty sand topsoil to depths of 0.2m, underlain by silty to clayey sand to the investigated or refusal depths of 4.8m to 5.0m.

The boreholes encountered groundwater seepage, with groundwater measured at near-surface levels of 0.5m immediately after drilling.

Auger refusal within Borehole BH2 was inferred to be on cemented sands.

Full details of soil conditions encountered are presented on the borehole logs.

4 COASTAL HAZARD ASSESSMENT

As per Sections C10.1 and C11.1 of the Tasmanian Planning Scheme, the Director's Determination – Coastal Erosion Hazard Areas, and the Director's Determination – Coastal Inundation Hazard Areas, developments within an area at risk of coastal erosion or subject to risk from coastal inundation are appropriately located and managed so that:

- People, property and infrastructure are not exposed to an unacceptable level of risk;
- Future costs associated with options for adaptation, protection, retreat or abandonment of property and infrastructure are minimised;
- The proposed work can achieve and maintain a tolerable risk for the intended life of the building without requiring any specific coastal erosion protection measures;
- The proposed work does not increase the risk from coastal inundation or coastal erosion to other land or public infrastructure;
- Works to protect land from coastal erosion or inundation are undertaken in a way that provides appropriate protection without increasing risks to other land; and
- The proposed work will not be located on actively mobile landforms, except where the work relates to protection measures or remediation works to protect land, property or human life.

The Tasmanian Government has developed a series of projected sea level rise planning allowances and coastal hazards maps based on research presented in Department of Premier and Cabinet Coastal Hazards Technical Report: *Mitigating Natural Hazards through Land Use Planning and Building Control* (2016). The coastal hazard maps are accessible via the Land Information Systems Tasmania (the LIST) site.

The Coastal Vulnerability mapping series provides a general geomorphic description of the shoreline type around Tasmania's coast, together with an indicative ('first pass') assessment of the vulnerability of each coastal segment to erosion and recession due to sea level rise.

4.1 Coastal Hazard – Sea Level Rise and Coastal Inundation

- Examination of the LISTMap Coastal Vulnerability – Projected Sea Level Rise, indicates that the site is not at risk of the predicted sea level rise of 2050. A small portion of the northwestern portion of the site is located within the predicted sea level rise of 2100 (Figure 1).

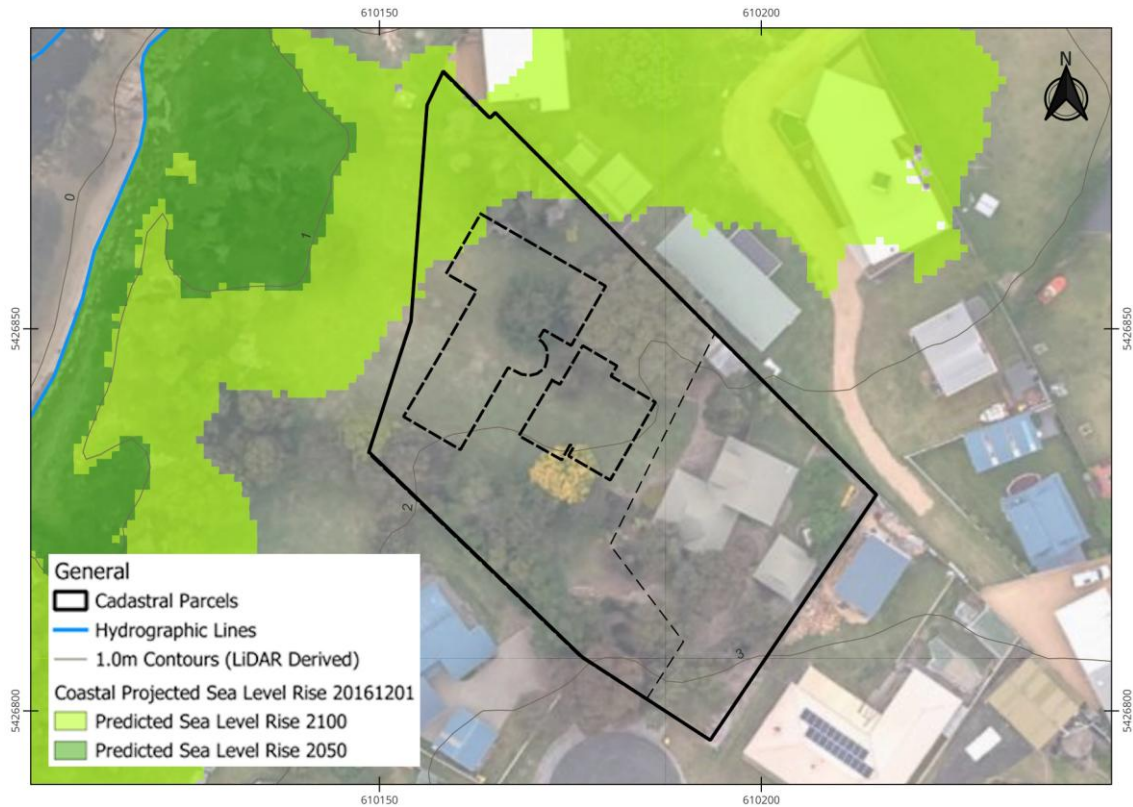


Figure 1: Coastal Vulnerability – Projected Sea Level Rise

- Examination of the LISTMap Coastal Vulnerability – Coastal Inundation Hazard Bands, indicates that the northwestern portion of the site is located within the medium inundation hazard band, i.e., the site is vulnerable to a 1% annual exceedance probability (AEP) storm surge event by year 2050, and inundation by mean high tide by 2100. The middle to eastern portion of the site is located within the low inundation hazard band, i.e., the site is vulnerable to a 1% annual exceedance probability (AEP) storm surge event by year 2100, whilst the southeastern portion of the site is not mapped within any inundation hazard band (Figure 2).

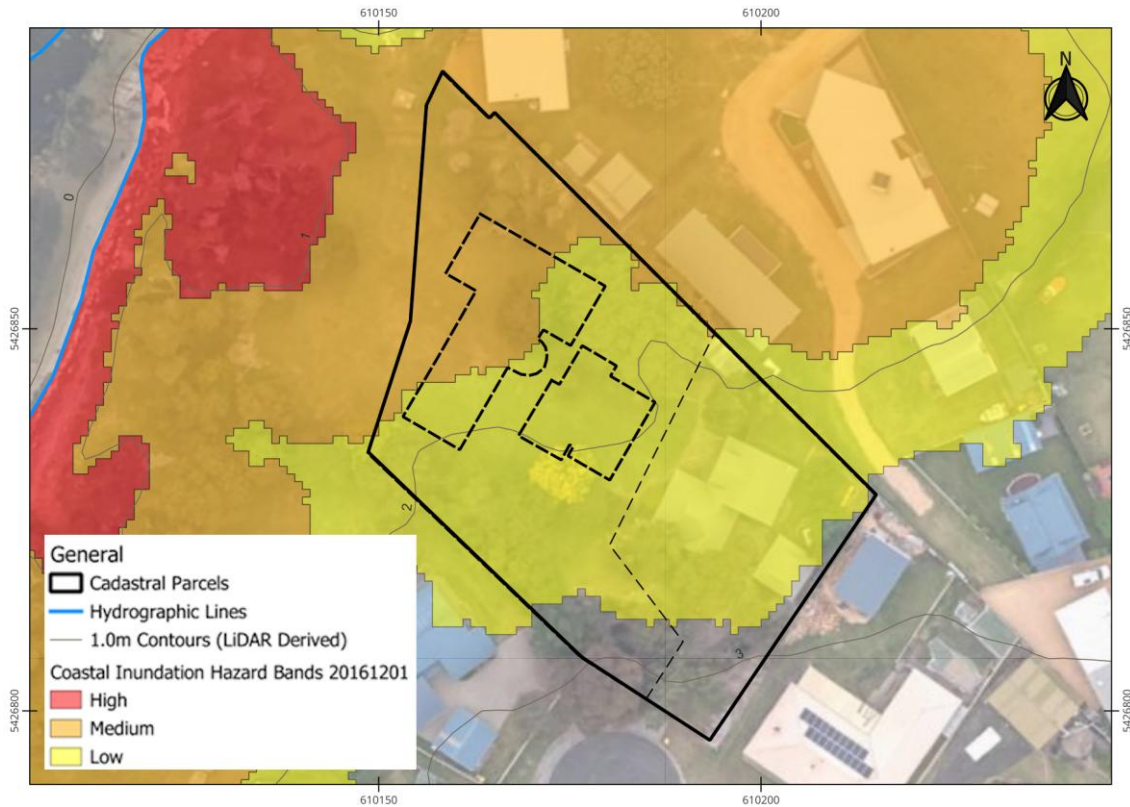


Figure 2: Coastal Vulnerability – Coastal Inundation Hazard

4.2 Coastal Hazard – Storm Event

- Examination of the LISTMap Coastal Vulnerability – Projected Storm Tide, indicates that a small portion within the northwestern portion of the site is mapped on the predicted Storm Tide 1% Average Exceedance Probability (AEP) for 2010 and 2050, with the middle and eastern portions of the site located within 1% AEP for 2100 tidal events. The southeastern portion of the site is not mapped within any projected storm tide event (Figure 3).

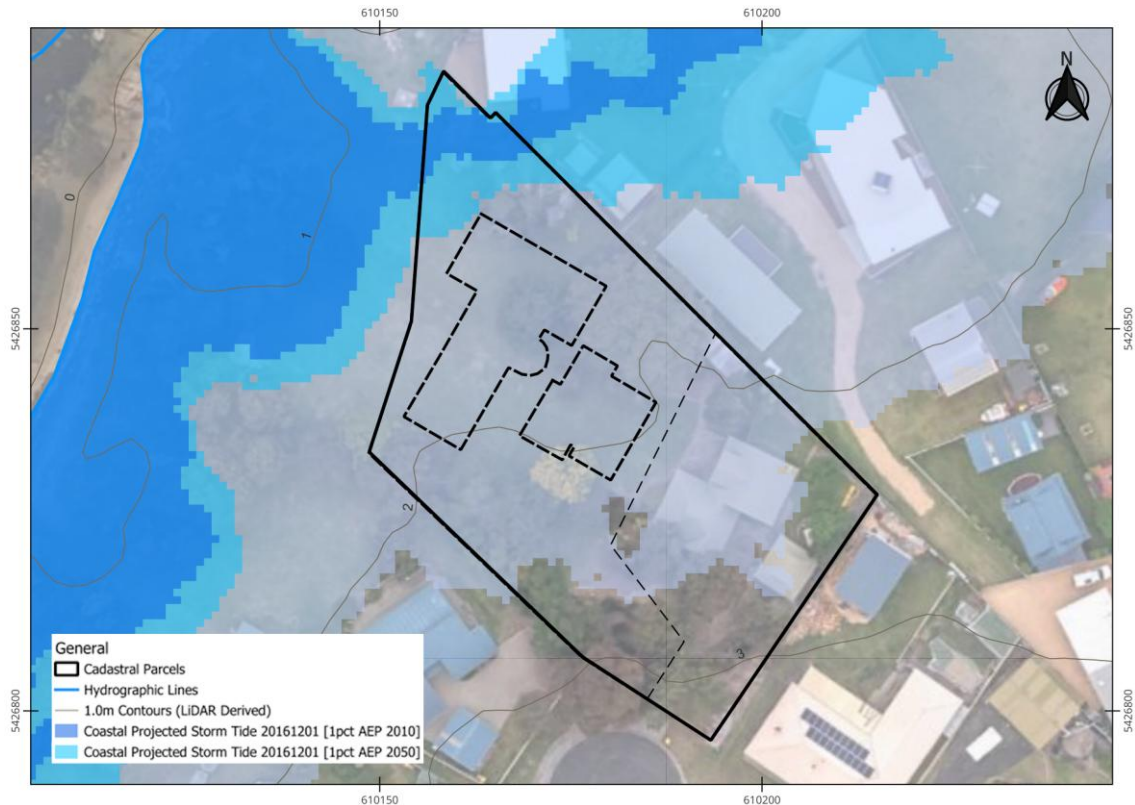


Figure 3: Coastal Vulnerability – Projected Storm Tide

4.3 Coastal Hazard – Coastal Erosion

- Examination of the LISTMap Coastal Vulnerability – Shore Classification indicates that the local shoreline has been classified as sloping hard rock shores with minimal vulnerability to flooding or erosion. The field investigation indicates that the site is located on a sandy soft shore underlain by harder bedrock.
- Examination of the LISTMap Coastal Vulnerability - Coastal Erosion Hazard Bands indicates that the westernmost portion of the site is within the medium erosion hazard band, and the middle portion of the site is mapped within a low erosion hazard band. (Figure 4).

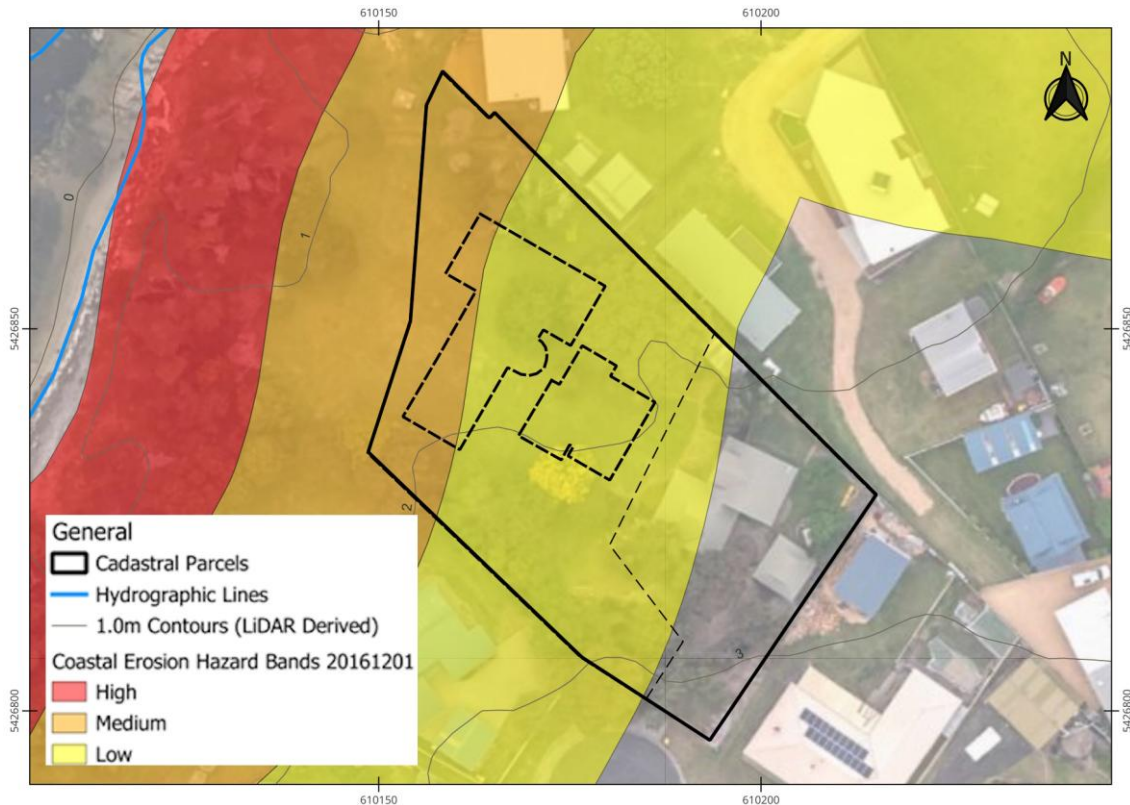


Figure 4: Coastal Erosion Hazard Bands

4.4 Discussion

Based on the LISTMap layers, the geological and geomorphological settings of the site, the following possible coastal hazards were identified for the site:

- Inundation by a 1% AEP storm surge event by year 2050;
- Inundation by mean high tide by 2100; and
- Recession of the sheltered soft sedimentary coastline, affecting the proposed development by 2050 and 2100.

5 COASTAL INUNDATION RISK ASSESSMENT

As per Section 7.3.2 of the DPAC Coastal Hazards Technical Report, planning and building controls are necessary to ensure that the risk posed to the site and surrounds will not be increased by the proposed development as it is located within an area of medium inundation risk.

As such we recommend that:

- Habitable rooms have a floor level raised 300mm above the 1% AEP event in 2100 (i.e. **2.5m Australian Height Datum [AHD] for Stieglitz**).

6 COASTAL EROSION RISK ASSESSMENT

During the field investigation, no significant erosion or setback was observed along the local shoreline, which was underlain by bedrock. Moreover, there is a sewer and water main located to the west of the site, which services the local area. Furthermore, the proposed development area is set back more than 40m from the current shoreline.

The methodology provides a spatial and temporal assessment of the potential risk to elements. This methodology has been adapted to recognise the risk of the proposed development being affected by projected erosion.

Based on the LISTMap layers, the geological and geomorphological settings of the site, the following possible coastal hazards were identified for the site:

- Erosion of the coastline affecting the proposed dwelling by year 2050.

The risk assessment has been undertaken adapting the methodology presented in AGS Practice Note Guidelines for Landslide Risk Management (2007).

Risk to property is calculated as:

$$R_{(Prop)} = P_{(H)} \times P_{(S:H)} \times P_{(T:S)} \times V_{(Prop:S)} \times E$$

Where:

- $R_{(Prop)}$ is the risk (annual loss of property value).
- $P_{(H)}$ is the annual probability of erosion or inundation event.
- $P_{(S:H)}$ is the probability of spatial impact of coastal erosion or inundation event on property.
- $P_{(T:S)}$ is the temporal spatial probability of property being affected.
- $V_{(Prop:S)}$ is the vulnerability of the property to the spatial impact (proportion of property value lost).
- E is the element at risk (Specifically the value of the element).

6.1 Risk to Property

From the desktop study, review of historical images and site investigation the following factors have been considered:

- The dwelling has a design life of 50 years (as per AS 2780 Residential Slabs and Footings).
- During the site investigation, the foreshore adjacent to the site was observed to be presenting minimal erosion, underlain by bedrock.
- The proposed development site is mapped within a:
 - Medium Hazard Band - Recession (S3) to 2050 Med hazard zone (sheltered soft sed. shore) - to likely natural recession limit; and
 - Low Hazard Band - Recession (S3) to 2100 Low hazard zone (sheltered soft sed. shore) - to likely natural recession limit.

- The hazard bands have been developed using a Pairwise assessment of acceptability of erosion (Lacey, 2016). As such, the assessment has been adopted to quantify the likelihood of projected erosion with a scoring system of 0 to 1, with 0 being not credible or impossible progressing to 1 for certain.
- Considering a higher hazard factor for Recession (S3) to 2050 Med hazard zone (sheltered soft sed. shore) - to likely natural recession limit, the likelihood of projected erosion is considered **0.64**.
- A summary table has been provided as Appendix B.
- As a pattern of erosion is not present along the foreshore adjacent to the site and there is a sewer and water main located to the west of the site, which services the local area, a probability moderation factor of 0.2 has been adopted to reflect the site conditions of the geological model.
- The site is in a low to moderate susceptibility zone of erosion (likely recession to 2100 [75 years]). The dwelling has a design life of 50 years, and the site is underlain by soft sediments that have a likelihood to erode. As such, it is considered that a weighted annual probability of erosion ($P_{(H)}$), for the assessed likelihood of recession is $1/50 \times 50/75 \times 0.2 \times 0.64 = 0.0017$.
- A probability of spatial impact by the erosion ($P_{(S:H)}$) on the property of 0.8 has been adopted, as the northeasterly facing coastline adjacent to the site is subject to prevailing westerly to northwesterly winds (AS/NZS 1170.2:2021). It is noted that the coastline was observed to be barely eroding, and certainly not eroding preferentially close to the site.
- As the dwelling will be a static fixture on the site with a design life of 50 years, a temporal spatial probability ($P_{(T:S)}$) of 1.0 has been adopted.
- Noting that the site is mapped as being vulnerable to coastal recession to 2100, it is considered that the value of the proposed development is approximately \$1,000,000, with typical adjacent vacant blocks (comparable to the proposed new lot) valued at approximately \$600,000 (i.e., a block is worth 38% of the total development of \$1,600,000). This value recognises that the dwelling would likely be destroyed or at least uninhabitable but that the land would retain value. As such, a vulnerability of spatial impact ($V_{(Prop:S)}$) of 0.62 should be recognised for the development.
- The value of the element at risk (E) the proposed development is estimated to be approximately \$1,600,000.

6.1.1 Calculated Risk to Property

Adopting the values provided above, the risk to property is calculated as:

$$R_{(Prop)} = P_{(H)} \times P_{(S:H)} \times P_{(T:S)} \times V_{(Prop:S)} \times E$$

$$R_{(Prop)} = 0.0017 \times 0.8 \times 1 \times 0.62 \times 1,600,000$$

$$R_{(Prop)} = \$1,349/\text{annum}$$

Therefore, the risk to property, $R_{(Prop)} = \$1,349/\text{annum}$.

Multiplying \$1,349/annum by the design life of the development gives a total of \$67,450 which is **4.2%** of the value of the property and is considered to be of MINOR consequence (Australian Geomechanics Society, 2007). As such, we consider this to be a **LOW risk**.

6.1.2 Conclusion

As per Section 6.3.2 of the DPAC Coastal Hazards Technical Report, planning and building controls are necessary to ensure that the risk posed to the site and surrounds will not be increased by the proposed development as it is located within an area of medium erosion risk.

As such, we recommend:

- That disturbance to the site be minimised as far as possible, deep-rooted vegetation shall be maintained, and that any vegetation that is removed be replanted as soon as possible on the seaward side of the site;
- **Inspections of the site with regard to erosion shall be carried out annually and after all significant storm events; and**
- Habitable rooms have a floor level raised 300mm above the 1% AEP event in 2100 (i.e. **2.5m Australian Height Datum [AHD] for Stieglitz**).

Therefore, based on the findings of the investigation and the above Coastal Hazard Assessment, we consider that the proposed development would not significantly increase its current assessed Coastal Erosion risk of the site and immediate surroundings, ***provided the development adheres to the recommendations given.***

This is a performance solution under the Tasmanian Planning Scheme, Section C10.6.1, C11.6.1, C10.7.1 and C11.7.1 of the Tasmanian Planning Scheme.

7 SITE CLASSIFICATION

After allowing due consideration of the Director's Determination – Coastal Erosion Hazard Areas, the site geology, drainage, soil conditions, and the presence of loose soil, the site has been classified as follows:

CLASS P (AS 2870)

However, if all footings are founded to a depth of 0.6m, to found uniformly on the moderately dense sands, footings may be proportioned to a **CLASS S**.

Foundation designs in accordance with this classification are to be subject to the overriding conditions of the foundation section below.

This classification is applicable only for ground conditions encountered at the time of this investigation. If cut or fill earthworks are carried out, then the site classification will need to be re-assessed, and possibly changed.

8 FOUNDATIONS

Particular attention should be paid to the design of footings as required by AS 2870 – 2011.

In addition to normal founding requirements arising from the above classification, particular conditions at this site dictate that the founding medium for all footings would be as follows:

Silty SAND (SM) – fine to medium grained, medium dense or better, grey encountered below at least 0.6m from the existing ground surface

An allowable bearing pressure of **100 kPa** is available for edge beams, strips and pads founded as above, provided the site is prepared as follows:

- Earthworks should be carried out in accordance with AS3798-2007, Earthworks for Residential and Commercial Development.
- All topsoil should be removed from the building footprint.
- The natural sand foundation should be proof rolled prior to slab on ground construction.
- All sands disturbed in the base of footing excavations should be compacted.

If groundwater is encountered in site or footing excavations, it is recommended that subsoil drains are installed discharging to the stormwater system.

The site classification presented assumes that the current natural drainage and infiltration conditions at the site will not be markedly affected by the proposed site development work. Care should therefore be taken to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.

Attention is drawn to Appendix B of AS 2870 and CSIRO Building Technical File BTF18 “Foundation Maintenance and Footing Performance: A Homeowner’s Guide” as a guide to maintenance requirements for the proposed structure.

Although the borehole data provides an indication of subsurface conditions at the site, variations in soil conditions may occur in areas of the site not specifically covered by the field investigation. The base of all footing or beam excavations should therefore be inspected to ensure that the founding medium meets the requirements referenced herein with respect to type and strength of founding material.

The boreholes were backfilled shortly after being drilled, not allowing time for groundwater seepage flows to develop. Groundwater seepages or higher groundwater levels can occur during and/or after a prolonged period wet weather or a heavy rainfall event.

9 PLUMBING

Classification for foundations was P Class, due to the Director's Determination – Coastal Erosion Hazard Areas. The encountered soil was medium dense, and provided there is no loading around the plumbing pipework, the plumbing can be installed proportioned to **Class S**.

If during plumbing trench excavations, soft or loose ground is encountered, it is recommended the plumbing trenches be excavated to stiff or medium dense ground and backfilled with granular material to the invert level of the pipework.

10 WIND CLASSIFICATION

After allowing due consideration of the region, terrain, shielding and topography, the site has been classified as follows:

WIND CLASSIFICATION N3 (AS 4055)

REGION	TERRAIN CATEGORY	SHIELDING	TOPOGRAPHY
A	TC1	NS	T0

11 REFERENCES

- Department of Justice. (2021). *Building Act 2016: Director's Determination - Coastal Erosion Hazard Areas*. Consumer, Building and Occupational Services.
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Tasmanian Planning Commission. *Tasmanian Planning Scheme*. Retrieved from https://www.planning.tas.gov.au/__data/assets/pdf_file/0011/711002/State-Planning-Provisions-effective-24-January-2024.PDF

Attachments:

Limitations of report

Drawing 1 – Site Plan

Appendix A: Borehole Logs & Explanation Sheets

Appendix B: Coastal Erosion Pairwise Assessment Scores

Appendix C: Certificate Forms

Geotechnical Consultants - Limitations of report

These notes have been prepared to assist in the interpretation and understanding of the limitations of this report.

Project specific criteria

The report has been developed on the basis of unique project specific requirements as understood by Geoton and applies only to the site investigated. Project criteria are typically identified in the Client brief and the associated proposal prepared by Geoton and may include risk factors arising from limitations on scope imposed by the Client. The report should not be used without further consultation if significant changes to the project occur. No responsibility for problems that might occur due to changed factors will be accepted without consultation.

Subsurface variations with time

Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. In the event of significant delays in the commencement of a project, further advice should be sought.

Interpretation of factual data

Site assessment identifies actual subsurface conditions only at those points where samples are taken and at the time they are taken. All available data is interpreted by professionals to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, as it is virtually impossible to provide a definitive subsurface profile which includes all the possible variabilities inherent in soil and rock masses.

Report Recommendations

The report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete and therefore the report recommendations can only be regarded as preliminary. Where variations in conditions are encountered, further advice should be sought.

Specific purposes

This report should not be applied to any project other than that originally specified at the time the report was issued.

Interpretation by others

Geoton will not be responsible for interpretations of site data or the report findings by others involved in the design and construction process. Where any confusion exists, clarification should be sought from Geoton.

Report integrity

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

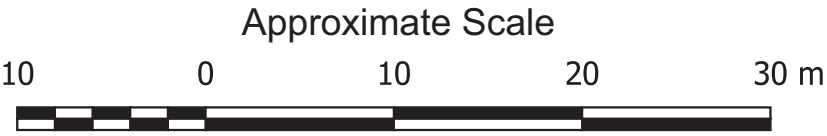
Geoenvironmental issues

This report does not cover issues of site contamination unless specifically required to do so by the client. In the absence of such a request, Geoton take no responsibility for such issues.



Legend

- BH 1
⊕ Approximate Borehole Location
- 5°
↗ Approximate Slope angle in Degrees
- Contour in Metres (LiDAR Derived)
- Cadastral Parcels
- Hydrographic Lines
- TasWater Sewer Main
- TasWater Water Main



GEOTON Pty Ltd				Client: SHERRIFF CIVIL CONTRACTING	
				Project: 8-10 RICHARD COURT AKAROA	
Date	01/05/2025	Drawn	SS	Title: SITE PLAN	
Scale	As Shown	Approved	TB		
Original size	A3	Rev	02	Project no: GL24577A	Drawing no. 1

Appendix A

Borehole Logs

Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001

Borehole no. BH1

Sheet no. 1 of 1

Job no. GL24577A

Client : Sherriff Civil Contracting Date : 18/11/2024
 Project : Coastal Hazards Assessment & Site Classification Logged By : MG
 Location : 8-10 Richard Court, Akaroa

Drill model : Honeybadger Easting: Slope: 90° RL Surface :
 Hole diameter : 95mm Northing: Bearing: - Datum :

Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log	Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
ADV	N			0				TOPSOIL - Silty SAND, fine to medium grained black, roots, root fibres	M/W	L	Borehole collapsed @2.4m
				0							
				1				Silty SAND - fine to medium grained, brown	M/W	L	
				3							
				2	0.50						
				3							
				4						MD	
				8							
				5							
				6	1.00						
				8							
				9							
				8							
				5							
				3	1.50						
				4							
				8							
				8							
				21						D	
				18	2.00						
				14							
				17							
				28							
				12							
				19	2.50						
				14							
					3.00			Clayey SAND - medium grained, grey, high plasticity fines	M	VD	
					3.50						
					4.00						
					4.50						
					5.00						
					5.50			Borehole BH1 terminated @5.0m			
					6.00						

Client : Sherriff Civil Contracting Date : 18/11/2024
 Project : Coastal Hazards Assessment & Site Classification Logged By : MG
 Location : 8-10 Richard Court, Akaroa

Drill model : Honeybadger Easting: Slope: 90° RL Surface :
 Hole diameter : 95mm Northing: Bearing: - Datum :

Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition Consistency density, index	Structure, additional observations
ADV	N			1			TOPSOIL - Silty SAND, fine to medium grained black, roots, root fibres	M/W	L
				1					
				1		SM	Silty SAND - fine to medium grained, grey	M/W	L
				2					
				2	0.50				
				2					
				3			Becoming brown		
				4					
				14					
				18	1.00				
				9					
				6					
				4					
				5					
				6	1.50				
				7					
				8					
				9					
				10					
				10	2.00				
				10					
				9					
				10					
				7					
				10	2.50				
					3.00	SC	Clayey SAND - medium grained, grey mottled pale brown, high plasticity fines	M	D/ VD
					3.50				
					4.00				
					4.50				
					5.00		Borehole BH2 refusal @4.6m on inferred cemented sands		
					5.50				
					6.00				

Investigation Log Explanation Sheet

METHOD – BOREHOLE

TERM	Description
AS	Auger Screwing*
AD	Auger Drilling*
RR	Roller / Tricone
W	Washbore
CT	Cable Tool
HA	Hand Auger
DT	Diatube
B	Blank Bit
V	V Bit
T	TC Bit

* Bit shown by suffix e.g. ADT

METHOD – EXCAVATION

TERM	Description
N	Natural exposure
X	Existing excavation
H	Backhoe bucket
B	Bulldozer blade
R	Ripper
E	Excavator

SUPPORT

TERM	Description
M	Mud
N	Nil
C	Casing
S	Shoring

PENETRATION

1	2	3	4	
				No resistance ranging to Refusal

WATER

Symbol	Description
	Water inflow
	Water outflow
	17/3/08 water on date shown

NOTES, SAMPLES, TESTS

TERM	Description
U ₅₀	Undisturbed sample 50 mm diameter
U ₆₃	Undisturbed sample 63 mm diameter
D	Disturbed sample
N	Standard Penetration Test (SPT)
N*	SPT – sample recovered
N _c	SPT with solid cone
V	Vane Shear
PP	Pocket Penetrometer
P	Pressumeter
B _s	Bulk sample
E	Environmental Sample
R	Refusal
DCP	Dynamic Cone Penetrometer (blows/100mm)
PL	Plastic Limit
LL	Liquid Limit
LS	Linear Shrinkage

CLASSIFICATION SYMBOLS AND SOIL DESCRIPTION

Based on AS 1726:2017

MOISTURE

TERM	Description
D	Dry
M	Moist
W	Wet

CONSISTENCY/DENSITY INDEX

TERM	Description
VS	very soft
S	soft
F	firm
St	stiff
VSt	very stiff
H	hard
Fr	friable
VL	very loose
L	loose
MD	medium dense
D	dense
VD	Very dense

Soil Description Explanation Sheet (1of 2)

DEFINITION

In engineering terms, soil includes every type of uncemented or partially cemented inorganic or organic material found in the ground. In practice, if the material can be remoulded or disintegrated by hand in its field condition or in water it is described as a soil. Other materials are described using rock description terms.

CLASSIFICATION SYMBOL AND SOIL NAME

Soils are described in accordance with the AS 1726: 2017 as shown in the table on Sheet 2.

PARTICLE SIZE DEFINITIONS

NAME	SUBDIVISION	SIZE (mm)
BOULDERS		>200
COBBLES		63 to 200
GRAVEL	Coarse	19 to 63
	Medium	6.7 to 19
	Fine	2.36 to 6.7
SAND	Coarse	0.6 to 2.36
	Medium	0.21 to 0.6
	Fine	0.075 to 0.21
SILT		0.002 to 0.075
CLAY		<0.002

MOISTURE CONDITION

Coarse Grained Soils

Dry Non-cohesive and free running.

Moist Soil feels cool, darkened in colour.
Soil tends to stick together.

Wet As for moist but with free water forming when handling.

Fine Grained Soils

Moist, dry of Plastic Limited – $w < PL$

Hard and friable or powdery.

Moist, near Plastic Limit – $w \approx PL$

Soils can be moulded at a moisture content approximately equal to the plastic limit.

Moist, wet of Plastic Limit – $w > PL$

Soils usually weakened and free water forms on hands when handling.

Wet, near Liquid Limit - $w \approx LL$

Wet, wet of Liquid Limit - $w > LL$

CONSISTENCY TERMS FOR COHESIVE SOILS

TERM	UNDRAINED STRENGTH s_u (kPa)	FIELD GUIDE
Very Soft	≤ 12	Exudes between the fingers when squeezed in hand
Soft	12 to 25	Can be moulded by light finger pressure
Firm	25 to 50	Can be moulded by strong finger pressure
Stiff	50 to 100	Cannot be moulded by fingers
Very Stiff	100 to 200	Can be indented by thumb nail
Hard	>200	Can be indented with difficulty by thumb nail
Friable	–	Can be easily crumbled or broken into small pieces by hand

RELATIVE DENSITY OF NON-COHESIVE SOILS

TERM	DENSITY INDEX (%)
Very Loose	≤ 15
Loose	15 to 35
Medium Dense	35 to 65
Dense	65 to 85
Very Dense	> 85

DESCRIPTIVE TERMS FOR ACCESSORY SOIL COMPONENTS

DESIGNATION OF COMPONENT	IN COARSE GRAINED SOILS		IN FINE GRAINED SOILS	TERM
	% Fines	% Accessory coarse fraction	% Sand/ gravel	
Minor	≤ 5	≤ 15	≤ 15	Trace
	>5, ≤ 12	>15, ≤ 30	>15, ≤ 30	With
Secondary	>12	>30	>30	Prefix

SOIL STRUCTURE

ZONING		CEMENTING	
Layer	Continuous across the exposure or sample.	Weakly cemented	Easily disaggregated by hand in air or water.
Lens	Discontinuous layer of different material, with lenticular shape.		
Pocket	An irregular inclusion of different material.	Moderately cemented	Effort is required to disaggregate the soil by hand in air or water.

GEOLOGICAL ORIGIN

WEATHERED IN PLACE SOILS

Extremely Weathered material	Material is weathered to such an extent that it has soil properties. Structure and/or fabric of parent rock material retained and visible.
Residual soil	Structure and/or fabric of parent rock material not retained and visible.

TRANSPORTED SOILS

Aeolian soil	Carried and deposited by wind.
Alluvial soil	Deposited by streams and rivers.
Colluvial soil	Soil and rock debris transported downslope by gravity.
Estuarine soil	Deposited in coastal estuaries, and including sediments carried by inflowing rivers and streams, and tidal currents.
Fill	Man-made deposit. Fill may be significantly more variable between tested locations than naturally occurring soils.
Lacustrine soil	Deposited in freshwater lakes.
Marine soil	Deposited in a marine environment.

Soil Description Explanation Sheet (2 of 2)

SOIL CLASSIFICATION INCLUDING IDENTIFICATION AND DESCRIPTION

FIELD IDENTIFICATION PROCEDURES (Excluding particles larger than 63 mm and basing fractions on estimated mass)					GROUP SYMBOL	PRIMARY NAME	
COARSE GRAINED SOIL More than 65% of soil excluding oversize fraction is larger than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to naked eyes)	GRAVEL More than half of coarse fraction is larger than 2.36 mm	CLEAN GRAVEL (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate particle sizes	GW	GRAVEL	
				Predominantly one size or a range of sizes with some intermediate sizes missing	GP	GRAVEL	
			GRAVEL WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML and MH below)	GM	Silty GRAVEL	
				Plastic fines (for identification procedures see CL, CI and CH below)	GC	Clayey GRAVEL	
		SAND More than half of coarse fraction is smaller than 2.36 mm	CLEAN SAND (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate sizes	SW	SAND	
				Predominantly one size or a range of sizes with some intermediate sizes missing	SP	SAND	
			SAND WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML and MH below)	SM	Silty SAND	
				Plastic fines (for identification procedures see CL, CI and CH below)	SC	Clayey SAND	
FINE GRAINED SOIL More than 35% of soil excluding oversize fraction is smaller than 0.075 mm		IDENTIFICATION PROCEDURES ON FRACTIONS <0.075 mm					
			DRY STRENGTH	DILATANCY	TOUGHNESS		
		SILT & CLAY (low to medium plasticity, LL ≤ 50)	None to Low	Slow to Rapid	Low	ML	SILT
			Medium to High	None to Slow	Medium	CL, CI	CLAY
	Low to Medium		Slow	Low	OL	ORGANIC SILT	
	SILT & CLAY (high plasticity, LL > 50)	Low to Medium	None to Slow	Low to Medium	MH	SILT	
		High to Very High	None	High	CH	CLAY	
		Medium to High	None to Very Slow	Low to Medium	OH	ORGANIC CLAY	
	Highly Organic Soil	Readily identified by colour, odour, spongy feel and frequently by fibrous texture.			Pt	PEAT	
	• LL – Liquid Limit.						

• LL – Liquid Limit.

COMMON DEFECTS IN SOILS

TERM	DEFINITION	DIAGRAM	TERM	DEFINITION	DIAGRAM
PARTING	A surface or crack across which the soil has little or no tensile strength. Parallel or sub parallel to layering (e.g. bedding). May be open or closed.		SOFTENED ZONE	A zone in clayey soil, usually adjacent to a defect in which the soil has a higher moisture content than elsewhere.	
FISSURE	A surface or crack across which the soil has little or no tensile strength, but which is not parallel or sub parallel to layering. May be open or closed. May include desiccation cracks.		TUBE	Tubular cavity. May occur singly or as one of a large number of separate or inter-connected tubes. Walls often coated with clay or strengthened by denser packing of grains. May contain organic matter.	
SHEARED SEAM	Zone in clayey soil with roughly parallel near planar, curved or undulating boundaries containing closely spaced, smooth or slickensided, curved intersecting fissures which divide the mass into lenticular or wedge-shaped blocks.		TUBE CAST	An infilled tube. The infill may be uncemented or weakly cemented soil or have rock properties.	
SHEARED SURFACE	A near planar curved or undulating, smooth, polished or slickensided surface in clayey soil. The polished or slickensided surface indicates that movement (in many cases very little) has occurred along the defect.		INFILLED SEAM	Sheet or wall like body of soil substance or mass with roughly planar to irregular near parallel boundaries which cuts through a soil mass. Formed by infilling of open defects.	

Appendix B

Pairwise Assessment Values

Hazard Zone	Pairwise Assessment Value	Likelihood of Erosion
Acceptable hazard zone (all gently to moderately sloping 'pure' hard-rock shores)	24	0.001
Acceptable hazard zone (very coarse boulder clay soft rocks)	1023	0.04
Acceptable hazard zone (normal soft rocks)	2022	0.08
Acceptable hazard zone (all soft sed. shores) - landwards of likely and possible natural recession limits	3021	0.13
Acceptable hazard zone (all soft sed. shores) - to possible natural recession limit	4020	0.17
Acceptable hazard zone (all soft sed. shores) - to likely natural recession limit	5217	0.22
Resilient artificial shores (Acceptable recession zones landwards of resilient artificial shores)	5316	0.22
Resilient artificial shores (Low hazard storm bite zone landwards of resilient artificial shores)	5316	0.22
Longer-term potential settling & slumping hazard (very coarse boulder clay soft rocks) - 20m	5514	0.23
Recession (S3) to 2100 Low hazard zone (sheltered soft sed. shore) to possible natural recession limit	7215	0.3
Regression & slump hazard zone (steep to cliffed hard rocks)	7413	0.31
Longer-term potential recession hazard zone (normal soft rocks) - Low hazard zone 63m to 2100	7512	0.31
Recession (S3) to 2100 Low hazard zone (open coast soft sed. shore) - to possible natural recession limit	9312	0.39
Recession (S3) to 2100 Low hazard zone (sheltered soft sed. shore) - to likely natural recession limit	10311	0.43
Recession (S3) to 2050 Med hazard zone (sheltered soft sed. shore) - to possible natural recession limit	12309	0.51
Recession (S3) to 2100 Low hazard zone (open coast soft sed. shore) - to likely natural recession limit	13110	0.54
Medium-term potential recession hazard zone (normal soft rocks) - Med hazard zone 28m to 2050	14307	0.59
Recession (S3) to 2050 Med hazard zone (open coast soft sed. shore) - to possible natural recession limit	15207	0.63
Recession (S3) to 2050 Med hazard zone (sheltered soft sed. shore) - to likely natural recession limit	15306	0.64
Recession (S3) to 2050 Med hazard zone (open coast soft sed. shore) - to likely natural recession limit	17205	0.71
Near-term potential recession hazard zone (normal soft rocks) - high hazard zone 14m to 2030	18105	0.75
Storm bite (S1 + S5) hazard zone for sheltered shores (sandy shores backed by moderately rising hard bedrock)	20202	0.84
Storm bite (S1 + S5) High hazard zone (sheltered soft sed. shore) - to possible natural recession limit	21003	0.87
Storm bite (S1 + S5) High hazard zone (open coast soft sed. shore) - to possible natural recession limit	21102	0.88
Storm bite (S1 + S5) High hazard zone (sheltered soft sed. shore) - to likely natural recession limit	22101	0.92
Storm bite (S1 + S5) hazard zone for exposed shores (sandy shores backed by moderately rising hard bedrock)	24000	0.996
Storm bite (S1 + S5) High hazard zone (open coast soft sed. shore) to likely natural recession limit	24100	1

Appendix C

Certificate Forms

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)
building work, plumbing work or plumbing installation or demolition work: ☐
or
a building, temporary structure or plumbing installation: ☒

In issuing this certificate the following matters are relevant –

Documents:	Geoton Pty Ltd, Report Reference No. GL24577Ab Rev.2, dated 01/05/2025
Relevant calculations:	Refer to report
References:	AS 1726 - 2017 Geotechnical Site Investigation AS 2870 – 2011 Residential Slabs and Footings Construction AS 4055 – 2021 Wind Loads for Housing CSIRO Building Technical File 18 Building Act 2016: Director's Determination – Coastal Erosion Hazard Areas Building Act 2016: Director's Determination – Coastal Inundation Hazard Areas DPAC Coastal Hazards Technical Report – Mitigating Natural Hazards through Land Use Planning and Building Control – 1st December 2016 DPAC Coastal Hazards in Tasmania Summary Report – Consultation Draft released 1st of March 2016

Substance of Certificate: (what it is that is being certified)

AS 1726 - 2017 Geotechnical Site Investigation
Site Classification in accordance with AS2870 - 2011
Wind Loading in accordance with AS 4055 - 2021
Findings and recommendations of report

Coastal hazards assessment.
Findings and recommendations of report

We Recommend:

- **Disturbance to the site be minimised as far as possible, deep-rooted vegetation shall be maintained, and that any vegetation that is removed be replanted as soon as possible on the seaward side of the site;**
- **Inspections of the site with regard to erosion shall be carried out annually and after all significant storm events; and**
- **The site is within mapped low and medium Coastal Inundation Hazard Bands. Habitable rooms to be raised to 2.5m AHD.**

The site is also partially within a mapped low and medium Coastal Erosion Hazard Band. Provided that the recommendations above are adhered to, we consider that the proposed work:

- Is unlikely to cause or contribute to coastal erosion or inundation on the land or on adjacent land;
- Is not proposed on actively mobile landforms; and
- Will achieve and maintain a tolerable risk for the intended life of the building (50 years) having regard to:

- o The intensity and duration of the use;
- o The type, form and duration of the development;
- o The likely change in the risk across the intended life of the building;
- o The ability to adapt to a change in the risk;
- o The ability to maintain access to utilities and services; The need for specific coastal erosion or inundation hazard reduction or protection measures on the site;
- o The need for coastal erosion or inundation hazard reduction or protection measures beyond the boundary of the site; and
- o Any coastal erosion or inundation management plan in place for the site and/or adjacent land.

Therefore, based on the findings of the investigation and the above Coastal Hazard Assessment, we consider that the proposed development would not adversely impact the site and immediate surroundings nor significantly increase its current assessed Coastal Erosion or Inundation risk.

This is a performance solution under the Tasmanian Planning Scheme, Sections C10.6.1 and C11.6.1, and also subdivision provisions of Sections C10.7.1 and C11.7.1.

Scope and/or Limitations

The classification applies to the site as investigated at the time and does not account for any future alteration to foundation conditions resulting from earthworks, drainage condition changes or site maintenance variations.

The recommendations provided herein are in accordance with prevailing geological conditions described in the report for the site and assessed coastal hazard risks.

This report provides an assessment as to the coastal erosion and inundation risks at the site and provides recommendations to maintain, improve and possibly reduce the risk of coastal erosion and inundation so as to not cause or contribute to the risk of coastal erosion or inundation on the site and lands in the locality.

I certify the matters described in this certificate.

	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
Qualified person:		GL24577Ab Rev.2	01/05/2025

Bushfire Hazard Management Report: Subdivision

Report for: Jason Sherriff

Property Location: 10 Richard Court, Akaroa

Prepared by: Scott Livingston
Livingston Natural Resource Services

Date: 20th June 2025
Version: 1



Summary

Client: Jason Sherriff

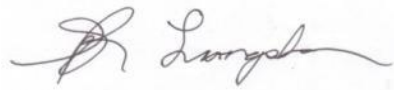
**Property
identification:**

CT 24007/10, PID 7220970
10 Richard Court, Akaroa
Current zoning: General Residential, Tasmanian Planning Scheme -
Break O'Day.

Proposal:

A 2 lot subdivision is proposed from an existing title CT 24007/10 at
10 Richard Court, Akaroa.

**Assessment
by:**



Scott Livingston,
Master Environmental Management,
Natural Resource Management Consultant.
Accredited Person under part 4A of the Fire Service Act 1979:
Accreditation # BFP-105.

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Figure 8: west across lots.....	9
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Version

Version	Date	Notes
1	20/6/2025	

DESCRIPTION

A 2 lot subdivision is proposed from an existing title CT 24007/10 at 10 Richard Court, Akaroa. The area is mapped as Bushfire Prone in Planning Scheme Overlays.

Lot 1 has an existing dwelling and outbuilding; proposed Lot 2 has no buildings. Both lots are maintained as low threat. Surrounding land is generally residential and low treat, with a narrow band of vegetation along the foreshore to the west and larger tracks to the south and east of the site. The area is serviced by a reticulated water supply.

See Appendix 1 for maps and site plan, and appendix 2 for photographs.

BAL AND RISK ASSESSMENT

The land is mapped as Bushfire Prone in Planning Scheme Overlays.

VEGETATION AND SLOPE

Lot		Northeast	Southeast	Southwest	Northwest
1 #8	Vegetation within 100m of existing dwelling	0-100m low threat	0-100m low threat	0-100m low threat	0-50+m low threat, 50+-75+ shrubland, 75-100m rock, sand water-(low threat)
	Slope (degrees, over 100m)	Flat/ Upslope			
	BAL Rating at boundary, existing vegetation	BAL Low	BAL Low	BAL Low	BAL 12.5
2 #10	Vegetation within 100m of lot boundaries	0-100m low threat	0-100m low threat	0-100m low threat	0-13+m low threat, +-38+ shrubland, 38-100m rock, sand water-(low threat)
	Slope (degrees, over 100m)	Flat/ Upslope			
	BAL Rating existing vegetation	BAL Low	BAL Low	BAL Low	BAL 19
	BAL Rating with HMA and setbacks	BAL 12.5 / BAL 19			

BUILDING AREA BAL RATING

Setback distances for BAL Ratings have been calculated based on the vegetation that will exist after development and management of land within the subdivision and have also considered slope gradients.

Where no setback is required for fire protection other Planning Scheme setbacks may need to be applied,

The BAL ratings applied are in accordance with the Australian Standard AS3959-2018, *Construction of Buildings in Bushfire Prone Areas*, and it is a requirement that any habitable building, or building within 6m of a habitable building be constructed to the BAL ratings specified in this document as a minimum.

Bushfire Attack Level (BAL)	Predicted Bushfire Attack & Exposure Level
BAL-Low	Insufficient risk to warrant specific construction requirements
BAL-12.5	Ember attack, radiant heat below 12.5kW/m ²
BAL-19	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 12.5-19kW/m ²
BAL-29	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 19-29kW/m ²
BAL-40	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 29-40kW/m ²
BAL-FZ	Direct exposure to flames radiant heat and embers from the fire front

PROPOSED LOT BAL RATING

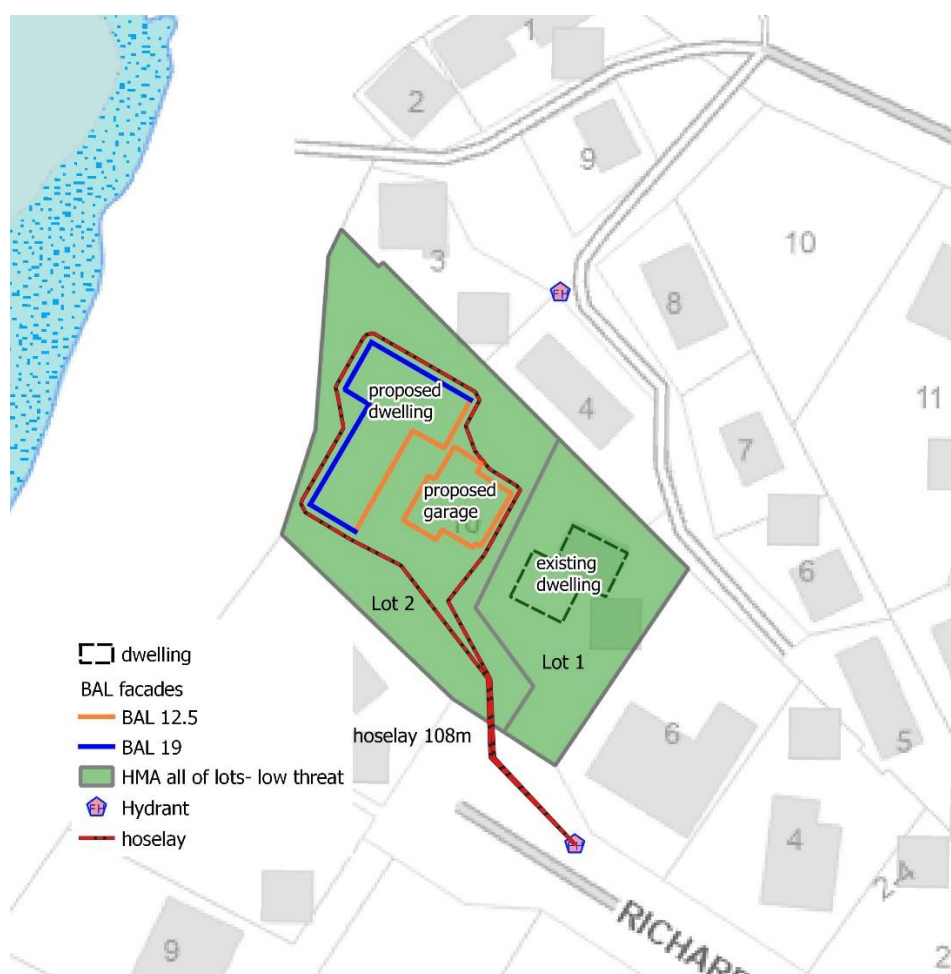


Figure 1: Lot 2 Building facades Bal Rating

HAZARD MANAGEMENT AREA

All areas of both lots must be maintained as low threat from sealing of titles and in perpetuity.

ROADS

Lots have frontage to Richard Court, no roads are required for the subdivision.

PROPERTY ACCESS

Access to a dwelling with must comply with the relevant elements of Table C13.2 Property Access - Bushfire-Prone Areas Code. No access is required to the water supply point (existing hydrant), There are no design of construction requirements for either lot access. (Element A).

FIRE FIGHTING WATER SUPPLY

The subdivision is serviced by a reticulated supply with the closest hydrant to the east of the access to lots. This hydrant services all areas of both lots with 120m. No additional water supply requirements apply for either lot.

CONCLUSIONS

A 2 lot subdivision is proposed from an existing title CT 24007/10 at 10 Richard Court, Akaroa. The area is mapped as bushfire prone.

There is sufficient area on proposed Lot 1 (#8) to provide for a BAL 19 hazard management area for the existing dwelling and associated outbuilding within 6m. Lot 2 (#10) proposed dwelling must be constructed to BAL 19 from facades exposed to bushfire prone vegetation to the west, and BAL 12.5 for all other facades including the outbuilding within 6m of the dwelling. All areas of both lots must be maintained as low threat from sealing of titles and maintained in perpetuity. There are no water supply or access requirements for either lot.

REFERENCES

Tasmanian Planning Scheme – Break O’Day
Standards Australia. (2018). *AS 3959-2018 Construction of Buildings in Bushfire Prone Areas*

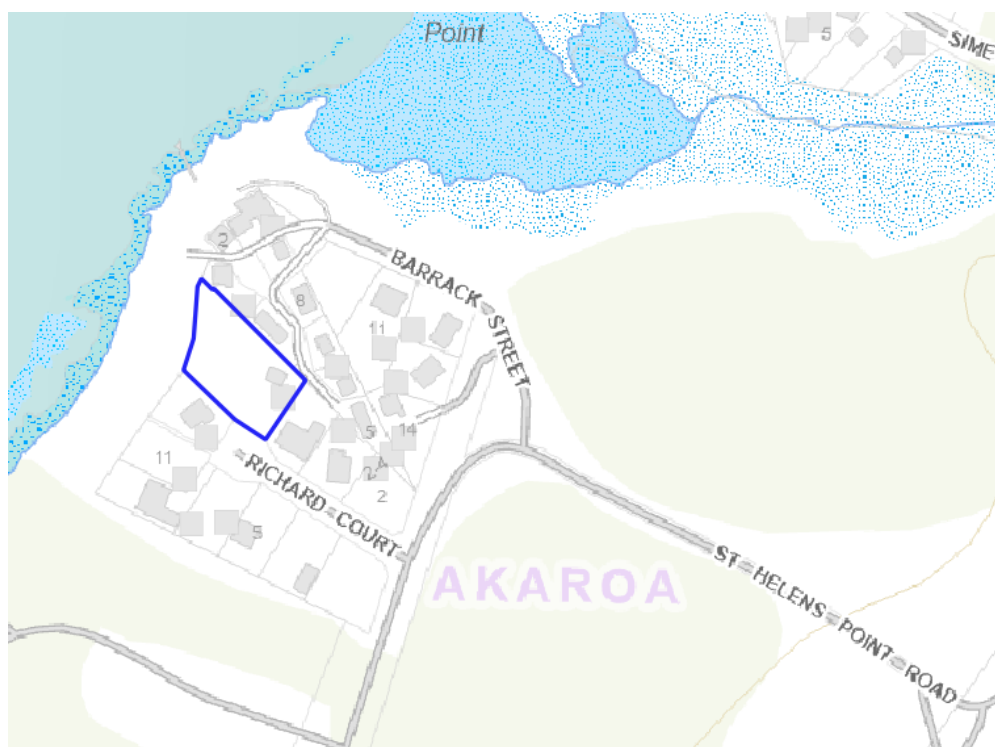


Figure 2: Location existing title in blue



Figure 3: Aerial Image



Figure 5: existing access



Figure 6: east across lot 2 boundary



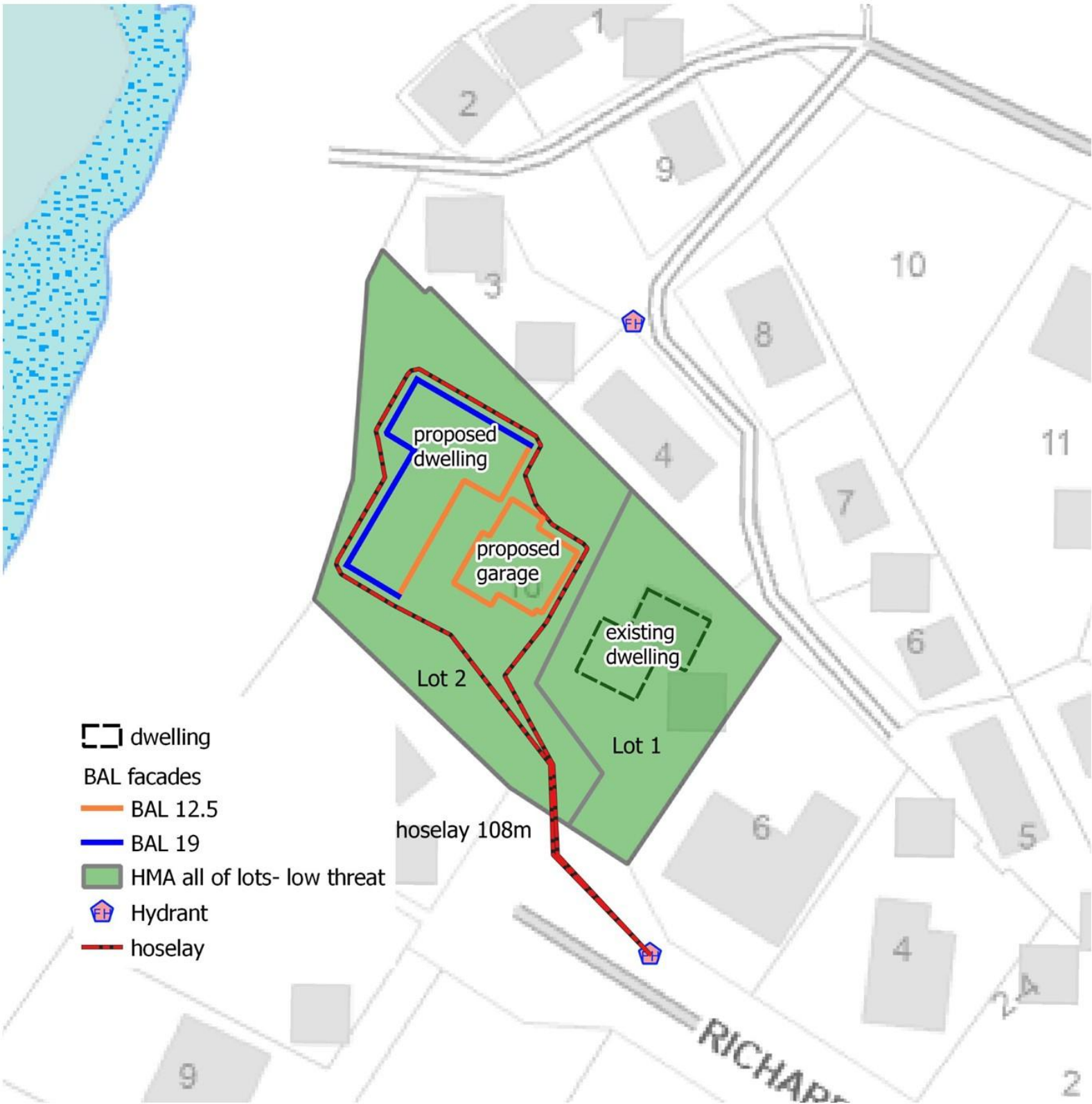
Figure 7 : south along lot 2 boundary



Figure 8: west across lots

Figure 9: lot 2 view east

Bushfire Hazard Management Plan: Subdivision



Construction: BAL 19/ BAL 12.5 as shown

Buildings in Bushfire Prone Area to be built in accordance with the Building Code of Australia and Australian Standard AS3959.

Building setbacks / BAL ratings apply to habitable buildings (Class 1, 2 3, 8 or 9) and class 10a buildings within 6m of a habitable building

Proposed Development	2 lot subdivision from 1 title
Plan of Subdivision	Gillian van der Schans
Landowner	Jason Sherriff
Address	10 Richard Court, Akaroa
CT	24007/10
PID	7220970

Hazard Management Areas (HMA)

All areas of both lots must be maintained as low threat in perpetuity. Low threat vegetation, includes maintained lawns (<100mm in height) gardens and orchards.

Access and Water Supply

No specific requirements—existing hydrant)

See report for detail

This BHMP has been prepared to satisfy the requirements of the Tasmanian Planning Scheme -*West Tamar* . This plan should be read in conjunction with the report titled: Bushfire Hazard Management Report 57 10 Richard Court Akaroa. Livingston Natural Resource Services

Scott Livingston
Accreditation: BFP – 105: 1, 2, 3A, 3B, 3C
Date 20/6/2025

SRL25/325



BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

10 Richard Court, Akaroa

Certificate of Title / PID:

CT 24007/10, PID 7220970

2. Proposed Use or Development

Description of proposed Use and Development:

2 lot subdivision from 1 existing title

Applicable Planning Scheme:

Tasmanian Planning Scheme – Break O’Day

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Bushfire Hazard Management Report 10 Richard Court Akaroa	Scott Livingston	20/6/2025	1
Bushfire Hazard Management Plan, 10 Richard Court Akaroa	Scott Livingston	20/6/2025	1
Site Plan	Gillian van der Schans	20/1/2025	

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

☐	E1.4 / C13.4 – Use or development exempt from this Code	
	Compliance test	Compliance Requirement

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

☐	E1.4(a) / C13.4.1(a)	Insufficient increase in risk
--------------------------	----------------------	-------------------------------

☐	E1.5.1 / C13.5.1 – Vulnerable Uses	
	Acceptable Solution	Compliance Requirement
☐	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
☐	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

☐	E1.5.2 / C13.5.2 – Hazardous Uses	
	Acceptable Solution	Compliance Requirement
☐	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
☐	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

☒	E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
	Acceptable Solution	Compliance Requirement
☐	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
☐	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
☒	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 :
☐	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

☒	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
☐	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>

☐	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
☒	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

☒	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
☐	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
☐	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
☒	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
☐	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
☐	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
☐	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name: Scott Livingston

Phone No: 0438 951 021

Postal Address: PO Box 178, Orford 7190

Email Address: scottlivingston.lnrs@gmail.com

Accreditation No: BFP – 105

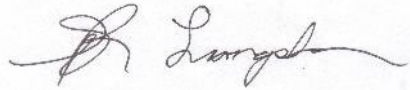
Scope: 1, 2, 3A, 3B, 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- ☐ Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- ☒ The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier



Name: Scott Livingston

Date: 20/6/2025

Certificate
Number: SRL 25/32S

(for Practitioner Use only)

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcod

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director of Building Control's Determination)*

Speciality area of expertise: *(description from Column 4 of the Director of Building Control's Determination)*

Details of work:

Address: Lot No:
 Certificate of title No
The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)*

This certificate is in relation to the above assessable item, at any stage, as part of - *(tick one)*

building work, plumbing work or plumbing installation or demolition work:

☒

or

a building, temporary structure or plumbing installation:

☐

In issuing this certificate the following matters are relevant –

Documents:

- Bushfire Attack Level Assessment & Report

Relevant
calculations:

References:

Australian Standard 3959
Building Amendment Regulations 2016
Director of Building Control (2024) Director's Determination for Bushfire
Hazard Areas v1.2 2024

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level (BAL) to Australian Standards 3959

Assessed as - BAL 19/ BAL 12.5

2. Bushfire Hazard Management Plan

Proposal is compliant with DTS requirements, Director's Determination for Bushfire Hazard Areas v1.2 2024

Scope and/or Limitations

Scope:

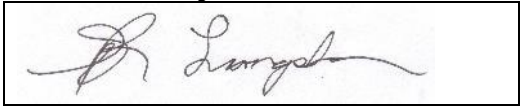
This report was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with Tasmanian Planning Scheme Bushfire-Prone Areas Code issued by the Tasmanian Planning Commission, the Building Code of Australia and Australian Standards, AS 3959-2018, Construction of buildings in bushfire-prone areas.

Limitations:

The inspection has been undertaken and report provided on the understanding that;-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
Qualified person:		SRL 25/32S	20/6/2025