

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00070
Applicant	J Binns
Proposal	Storage - 2 x Industrial Sheds and (1) Shipping Container
Location	37 Beaulieu Street, St Helens

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 11th October, 2025 **until 5pm Friday 24th October, 2025.**

John Brown
GENERAL MANAGER

industrial sheds

d + l tucker
37 beaulieu street st helens tasmania 7216

planning compliance report

april 23 2025

jennifer binns building design
52 cecilia street st helens tasmania 7216
mail@jenniferbinnsdesign.com.au : 0439 765 452

Introduction

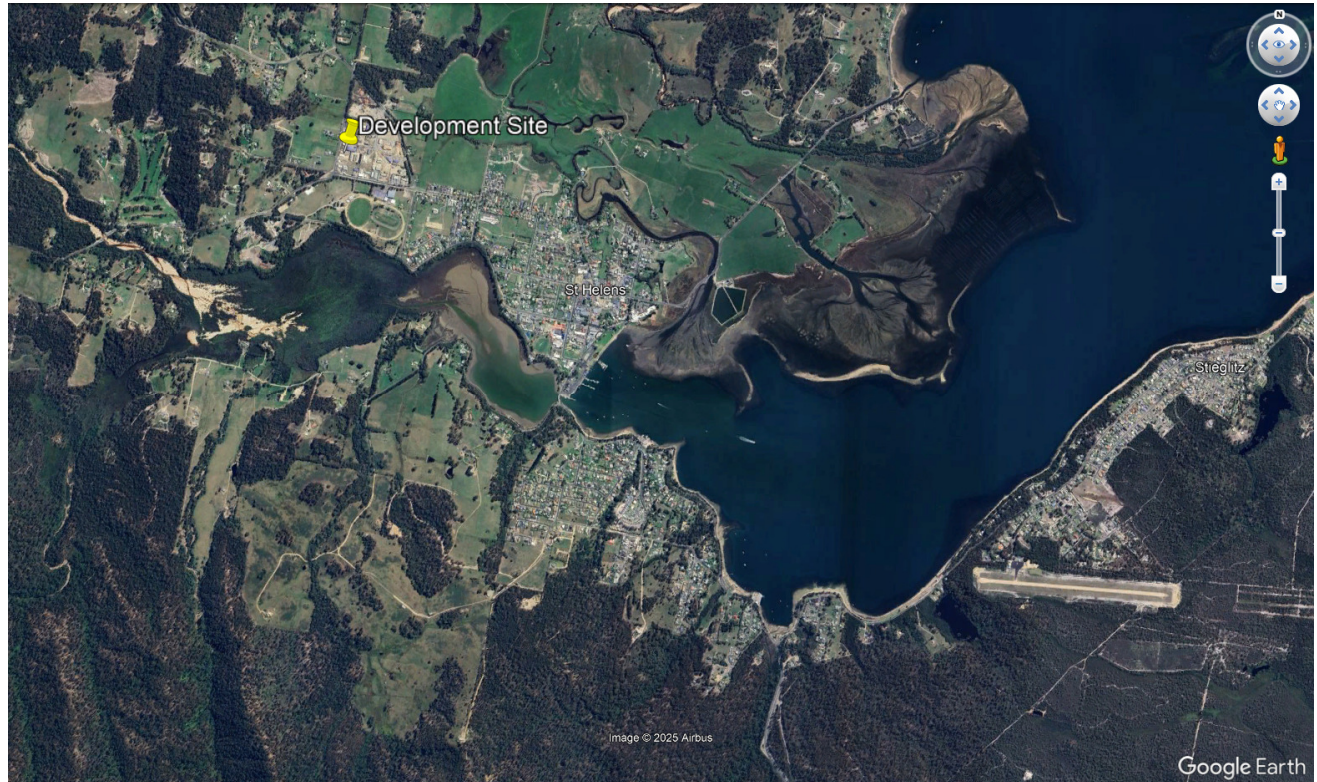
This report aims to demonstrate compliance with relevant planning standards for proposed industrial sheds for Damian + Larissa Tucker at 37 Beaulieu Street St Helens (c.t.144446/1). The report aims to take into consideration the intent, values and objectives of the Tasmanian Planning Scheme and address all scheme standards applicable to this development.

The proposed development satisfies the **Acceptable Solutions** for all relevant planning standards and this application is to be read in conjunction with drawings submitted for the development.

Development Site Details

The development site is a fully serviced lot within the St Helens industrial estate. No alteration is proposed to the existing vehicle access provisions.

Zone: General Industrial



Development Details

The proposed development comprises two prefabricated steel kit sheds and a 40ft shipping container.

shed 1 area: 288.0m²

shed 2 area: 288.0m²

shipping container area: 29.7m²

Total area of development: 605.7m²

Use Class: Storage

Applicable Planning Codes

The proposed development is in the *Storage* use class which in the *General Industrial Zone* is a *Permitted* use.

The following zone standards and codes of the Tasmanian Planning Scheme are applicable to the proposed development:

- **Zone 19.0 GENERAL INDUSTRIAL ZONE**
- **Code 2.0 PARKING AND SUSTAINABLE TRANSPORT CODE**

Table 19.3 GENERAL INDUSTRIAL USE STANDARDS

19.3.1 Discretionary uses**A1 Not Applicable**

The proposed development is not a *Discretionary* use.

Table 19.4 GENERAL INDUSTRIAL DEVELOPMENT STANDARDS

19.4.1. Residential density for multiple dwellings**A1 Acceptable Solution**

The proposed sheds are < 20m in height.

19.4.2 Setback**A1 Acceptable Solution**

The proposed development has a front setback of 3.1m which is the same as the setback of the existing shed on the adjoining property.

19.4.3 Landscaping**A1 Acceptable Solution**

Landscaping is proposed within the front setback.

Table 19.5 GENERAL INDUSTRIAL SUBDIVISION STANDARDS

Not Applicable

No subdivision of land is proposed

Table C2.5 CAR PARKING USE STANDARDS

C2.5.1 Car parking numbers

A1 Acceptable Solution

The proposed dwelling requires the provision of 9 parking spaces which have been provided within the site boundaries.

C2.5.2 Bicycle parking numbers

Not Applicable

The proposed development does not require the provision of bicycle parking.

C2.5.3 Motorcycle parking numbers

Not Applicable

The proposed development does not require the provision of motorcycle parking.

C2.5.4 Loading bays

Not Applicable

The proposed development does not require provision of a loading bay.

C2.5.5 Number of car parking spaces within the General Residential zone and Inner Residential zone

A1 Not Applicable

The proposed development is in the *General Industrial* zone.

Table C2.6 CAR PARKING DEVELOPMENT STANDARDS

C2.6.1 Construction of parking areas

A1 Acceptable Solution

The proposed driveway + parking area will be sealed and drained to an existing stormwater connection to Council's stormwater system.

C2.6.2 Design and layout of parking areas

A1 Acceptable Solution

The layout of the development site meets the prescribed requirements for parking spaces and facilitates forward egress from the site.

A1.2 Not Applicable

No accessible parking is required for the proposed development.

C2.6.3 Number of accesses for vehicles

A1 Not Applicable

The development site has one access point only.

A2 Not Applicable

The development site is in the *General Industrial* zone.

C2.6.4 Lighting of parking areas within the Gen. Business zone and Central Business zone

A1 Not Applicable

The development site is in the *General Industrial* zone.

C2.6.5 Pedestrian Access

A1.1 Not Applicable

The proposed development does not require the provision of pedestrian access paths.

A1.2 Acceptable Solution

The proposed development does not require the provision of accessible parking.

C2.6.6 Loading bays

A1 Not Applicable

The proposed development does not require the provision of a loading bay.

A2 Acceptable Solution

The layout of the development site facilitates forward egress of vehicles associated with the use of the site.

C2.6.7 Bicycle parking and storage facilities within the Gen. Business zone and Central Business zone

A1 Not Applicable

The proposed development does not require the provision of bicycle parking.

A2 Not Applicable

The proposed development does not require the provision of bicycle parking.

C2.6.8 Siting of parking and turning areas

A1 Not Applicable

The proposed development is in the *General Industrial* zone.

A2 Not Applicable

The proposed development is in the *General Industrial* zone.

Table C2.7 PARKING PRECINCT PLAN

C2.7.1 Construction of parking areas

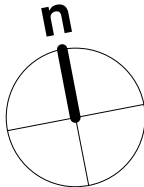
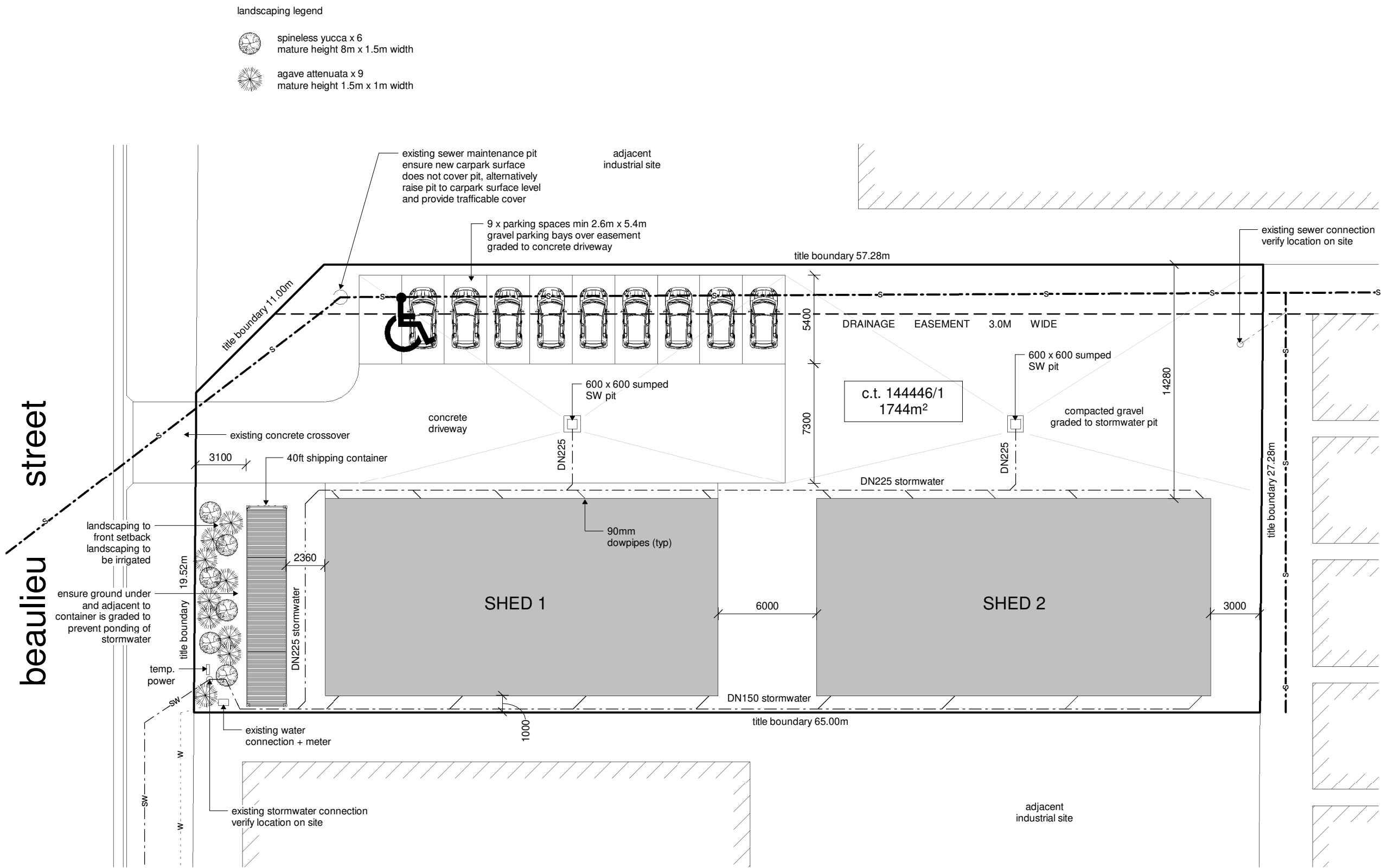
A1 Not Applicable

The development site is not within a parking precinct plan.

Design of system allows for safe disposal of all typical rain events that do not cause flooding in the area as documented in the BODC flood maps.

The flooding maps demonstrate a H1 overlay, safe for buildings and people.

In my opinion the development won't increase risk or severity of flooding to neighbouring properties during a local area flooding event.



1 site plan
1 : 250

REV:	DESCRIPTION:	DATE:
PROJECT: propsoed 2 x sheds		
FOR: AMB tas group 37 beaulieu street st helens tasmania 7216		
DRAWING TITLE: site plan		
DRAWING NO: a03	DRAWN BY: JB	
	DATE: 03.09.25	
SCALE: 1 : 250	PROJECT: 0222TU	
 jennifer binns www.jenniferbinnsdesign.com.au 0439 765 452 : mail @ jenniferbinnsdesign.com.au 52 cecilia street st helens tasmania 7216  BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA ACCREDITATION NO: CC 1269L		

MV Consulting (TAS) Pty Ltd
40 Kellatie Road, Rosny
Meindert van der Molen
Certificate No.: MV0925-09
Acc: 565H Date: 03/09/25
Ph.: 0407 802037

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "41.84m/s", WIND REGION "A4", TERRAIN CATEGORY "2.08", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: D & L Tucker Superannuation Fund
Site Address: 37 Beaulieu Street, Saint Helens TAS 7216

Main Building: Span: 12, Length: 24, Height: 6, Roof Pitch: 11 degrees
The length being comprised of 4 bays, the largest bay is 6m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 8587.59kg

INTERNAL PORTALS	END PORTALS
Column: C30030 Rafter: C30030 Knee Brace: C15024 Knee Brace Length: 2500 Apex Brace: C15024 Apex Brace Length: 4600	Column: C30030 Rafter: C30030 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C30030
LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA	Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: TH120100 Side Wall Girts: TH120100 Front End Wall Girts: TH120100 Back End Wall Girts: TH120100 Roof Purlins: TH120100	Max Spacing: 1250 Max Spacing: 1250 Max Spacing: 1250 Max Spacing: 1000	Overlap: 10% Overlap: 10% Overlap: 10% Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor Frame Bolts: M16x45 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: 32mm x 1.2 strap Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Slate Grey External Wall Sheets: Slate Grey Roller Doors: Slate Grey Flashings: Slate Grey PA Doors: Slate Grey Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"-"P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

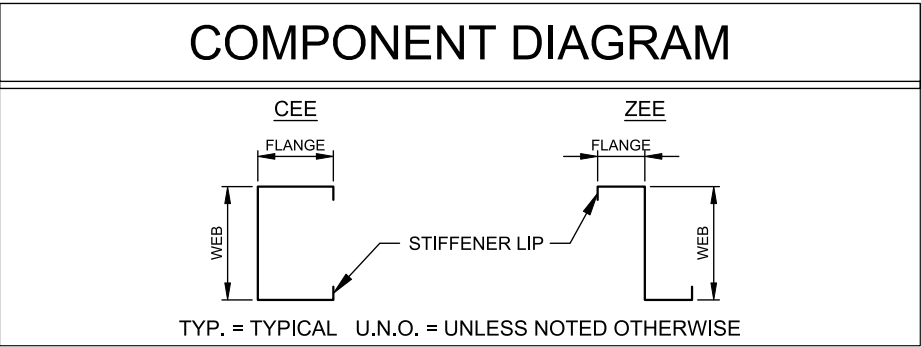
Occupational Health and Safety Regulations and with plans provided.

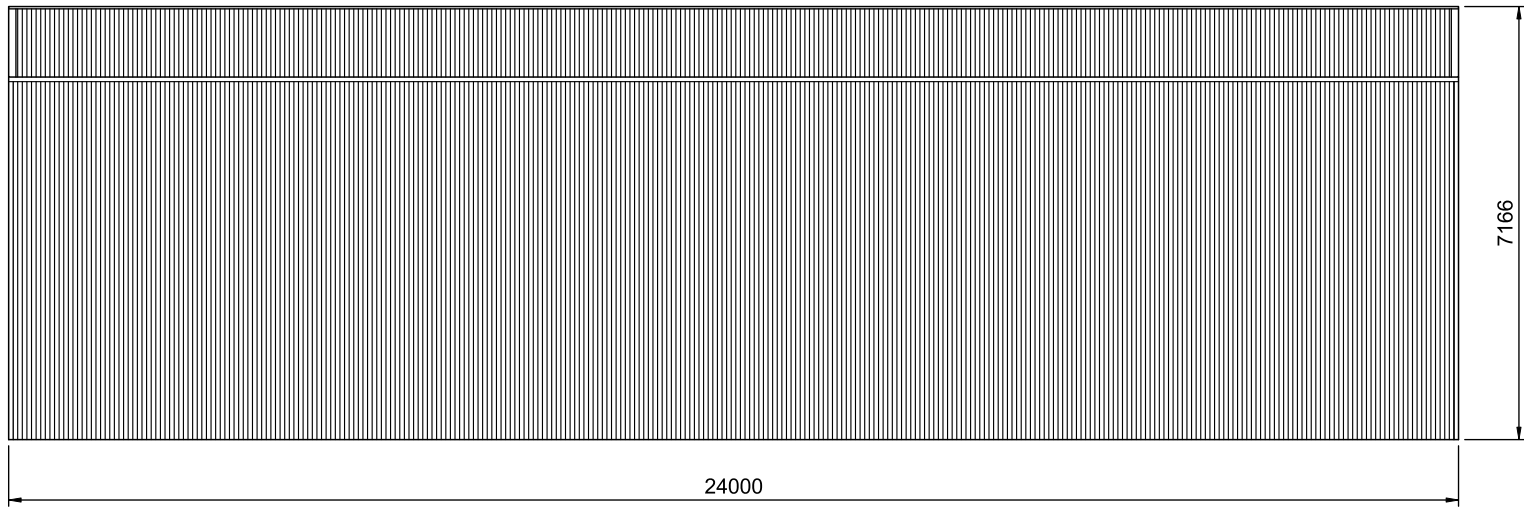
GENERAL

The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

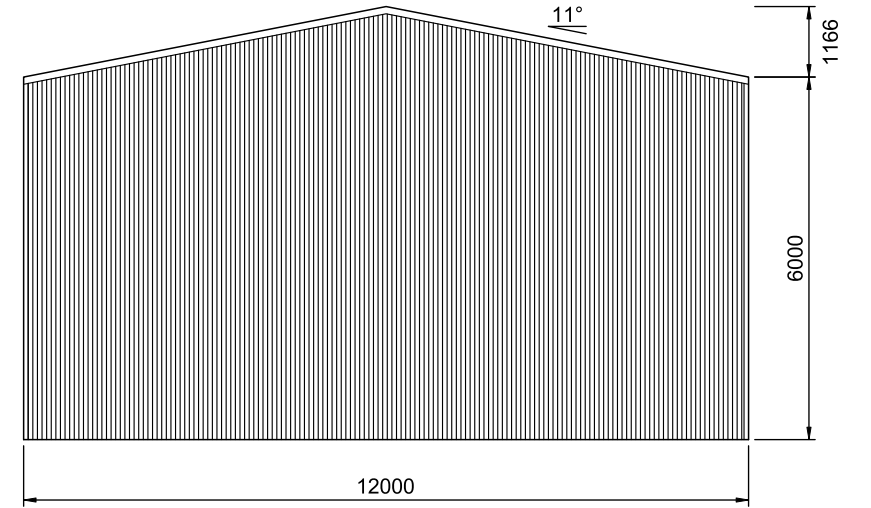
Following conditions only apply to buildings with snow loading:
No maintenance or roof traffic permitted on the roof while there is snow present.
No other structure to be erected within 500mm of the gutters of this building.





2 LEFT ELEVATION
2

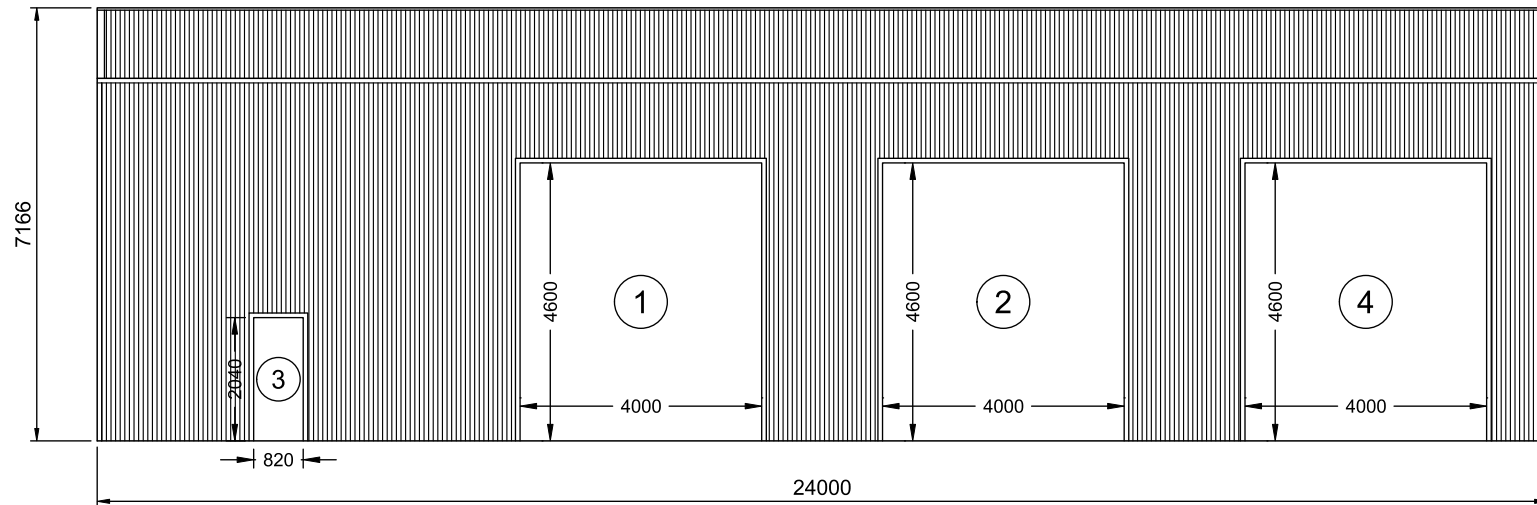
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3 REAR ELEVATION
2

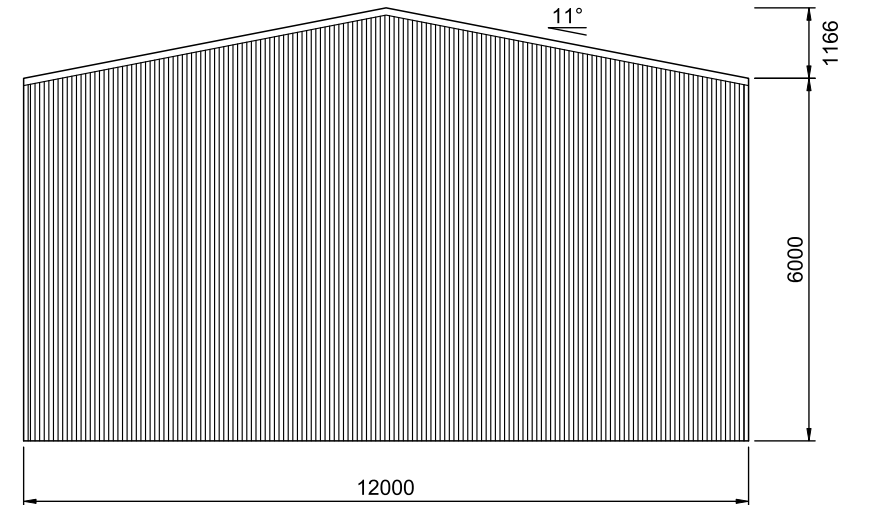
SCALE: 1:125

FRAME #5



1 RIGHT ELEVATION
2

SCALE: 1:125



4 FRONT ELEVATION
2

SCALE: 1:125

FRAME #1



151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au



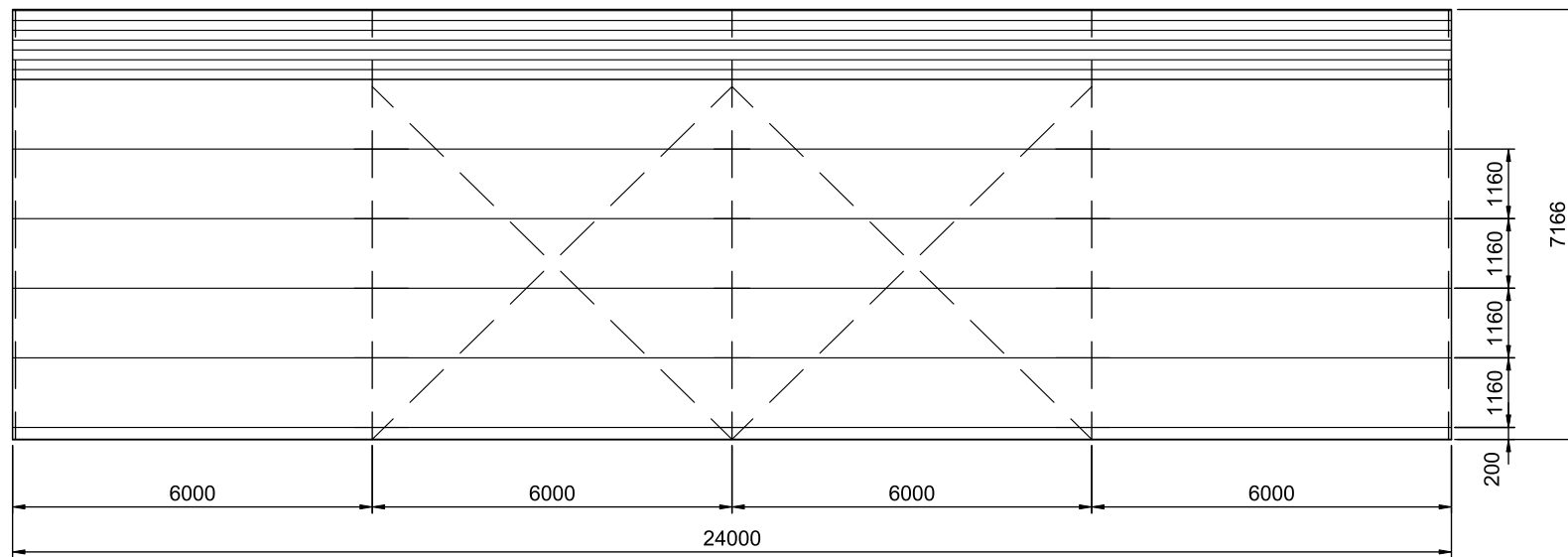
CIVIL & STRUCTURAL ENGINEERS
COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

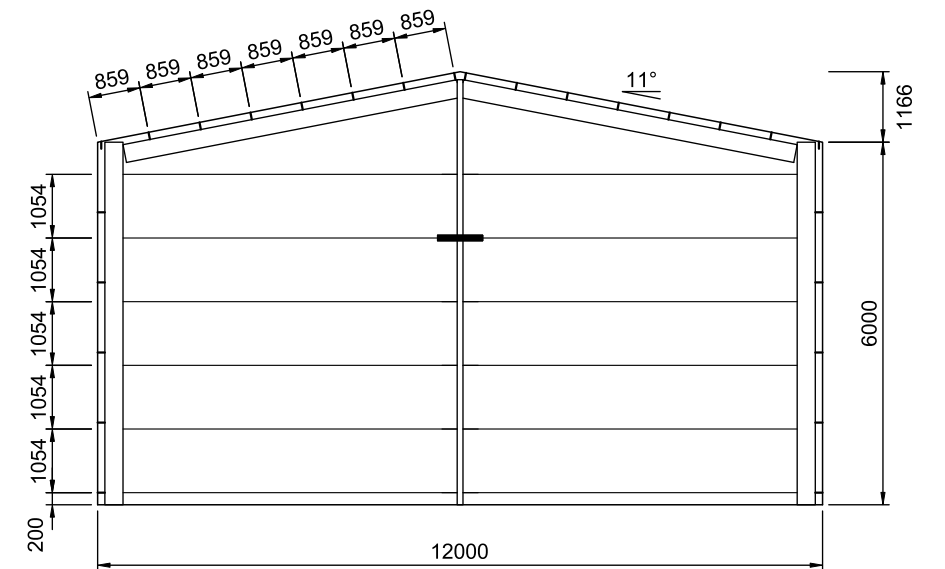
Date: 12.04.2024

Customer Name: D & L Tucker Superannuation Fund
Site Address: 37 Beaulieu Street
Saint Helens,
TAS, 7216

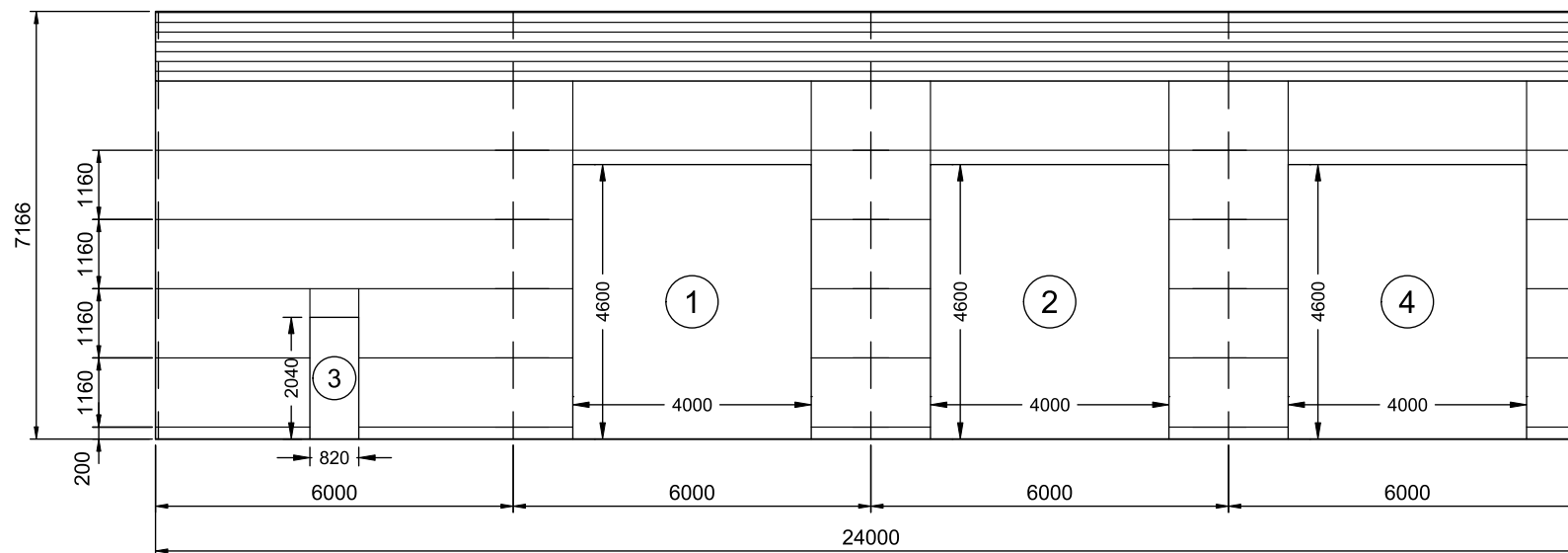
DATE 12-04-2024
JOB NO. 2796395757
SHEET 2 of 7



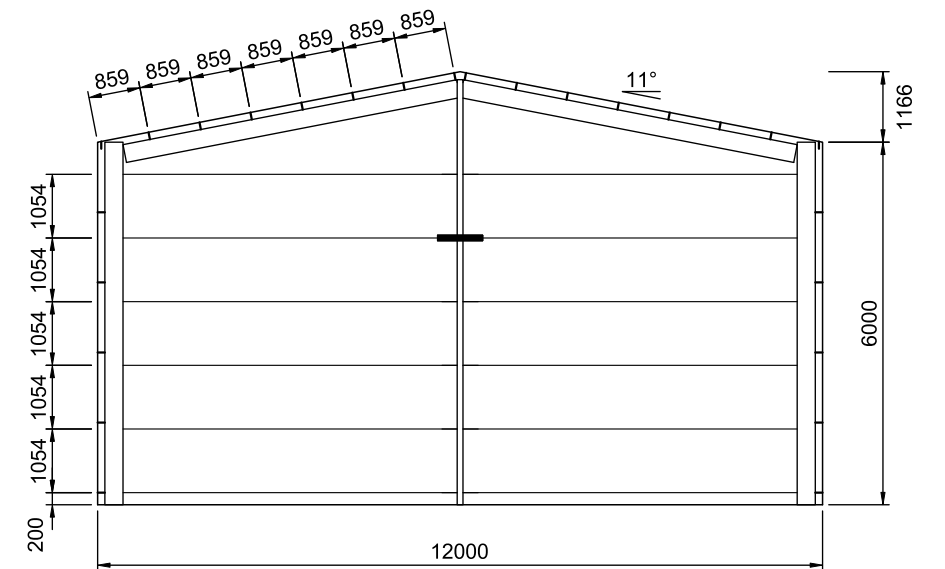
2 LEFT ELEVATION
3 SCALE: 1:125



3 REAR ELEVATION
3 SCALE: 1:125 FRAME #5



1 RIGHT ELEVATION
3 SCALE: 1:125



4 FRONT ELEVATION
3 SCALE: 1:125 FRAME #1



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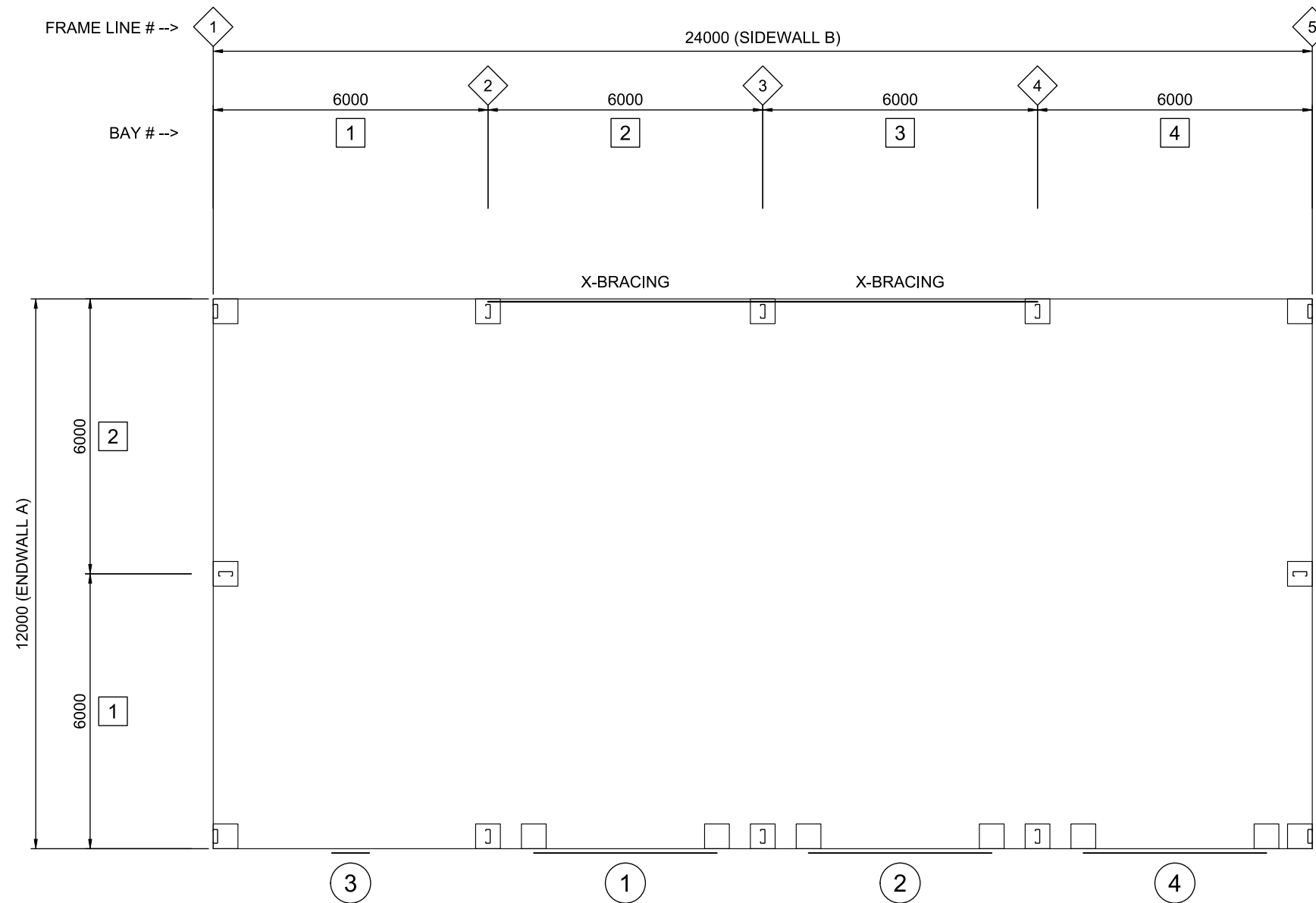
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COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

Signature:

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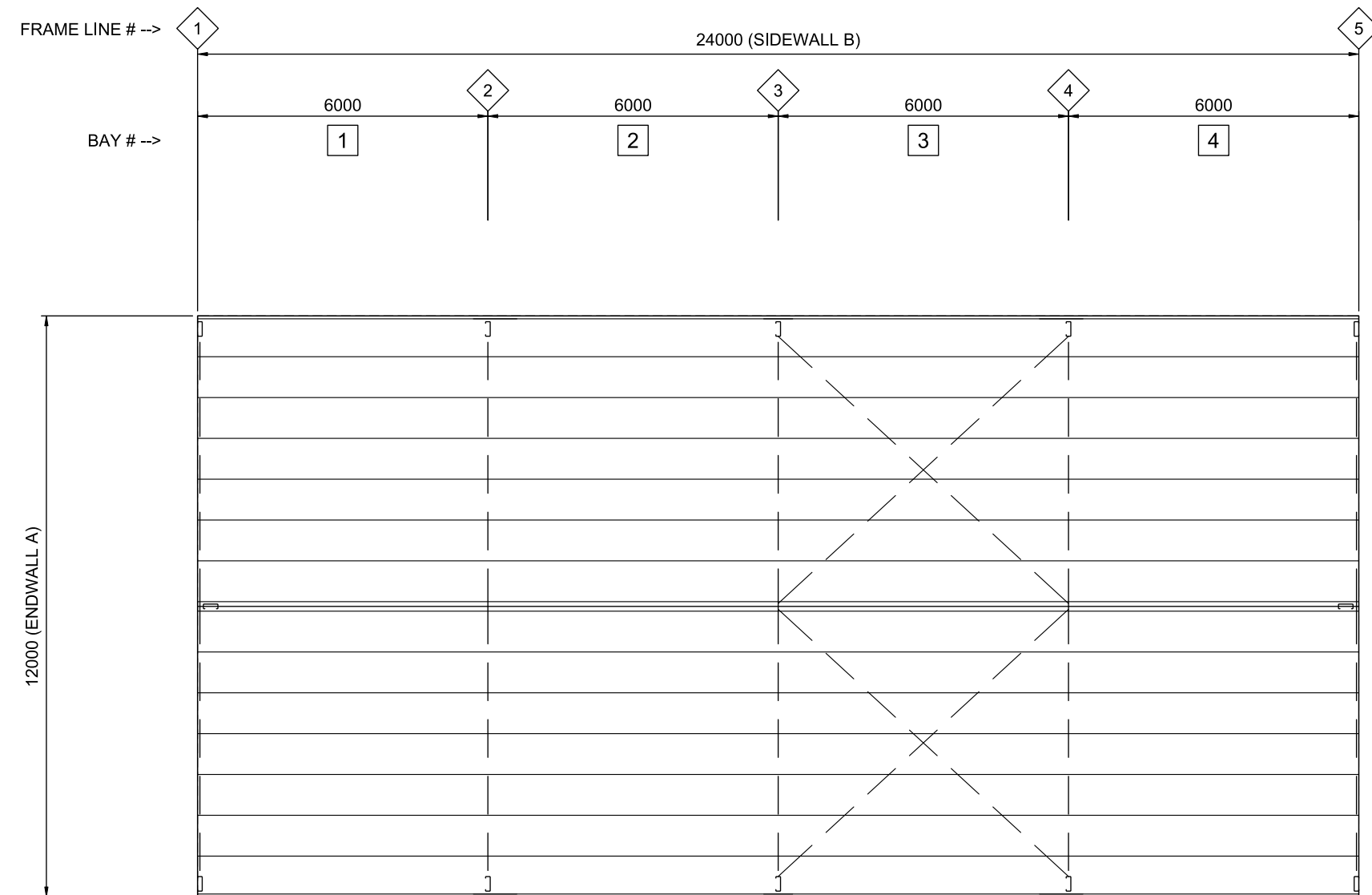
DATE 12-04-2024
JOB NO. 2796395757
SHEET 3 of 7



1 FLOOR PLAN

4

SCALE: 1:125



1
5

ROOF FRAMING PLAN

SCALE: 1:125

SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL
(100mm MINIMUM CONCRETE SLAB INCLUDED)

SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

STRENGTH: 25mPa

2 x M16 BOLTS

2 X 16MM DIA SLEEVE ANCHORS, 12MM DIA INTERNAL ROD-MIN 110MM LONG

REFER TO SLAB TABLE FOR MESH TYPE - 30MM COVER

POLYTHENE WATERPROOF MEMBRANE ON CONSOLIDATED SUB-BASE SHOWN DASHED

DEPTH

WIDTH

100

Z

ALTERNATE PIER DETAIL

NOTE: ENSURE EARTH/SOIL IS KEPT CLEAR OF WALL CLADDING AT ALL TIMES.

C30030 COLUMN

1500

600

I

ROOF SHEETING

12g x14 x 35mm LONG ROOF SCREWS

RIDGE PURLIN
(EVERY SECOND SCREW TO GO THROUGH THE RIDGE CAPPING AND ROOF SHEETING AND INTO THE RIDGE PURLIN)

INTERMEDIATE PURLIN

EAVE PURLIN

0.42 BMT CORRUGATED ROOF SHEETING

J

WALL SHEETING

10g x 16mm LONG WALL SCREWS

WALL GIRT

EAVE PURLIN

0.42 BMT CORRUGATED WALL SHEETING

Y

SLAB DETAIL

INDICATES 16 mmø GRADE 4.6 BOLT

8 X 14G TEK SCREWS

C30030 FRAME RAFTER

C30030 FRAME COLUMN

SGL. 3mm 11" HAUNCH BRACKET (SAME DEPTH AS MEMBERS)

(2) 16 mmø GRADE 4.6 BOLTS AT EACH END OF KNEE BRACE

C15024 KNEE BRACE, 2500 mm LONG (OMIT AT ENDWALLS)

4947 mm TO TOP OF CONCRETE FOUNDATION

F

GIRT CONNECTION

C30030 FRAME RAFTER

SGL. 3mm 11" APEX BRACKET, WITH (8) 16 mmø GRADE 4.6 BOLTS PER BRACKET

8 X 14G TEK SCREWS

2250 mm

(2) 16 mmø GRADE 4.6 BOLTS AT EACH END OF APEX BRACE

C15024 APEX BRACE (OMIT AT ENDWALLS), 4600 mm LONG

G

TOP HAT CONNECTION

50mm x 200mm x 200mm TALL MFA BRACKET WITH 8 X 14G TEK SCREWS INTO APEX BRACKET AND 12 X 14G TEK SCREWS INTO MULLION

C30030 (OPEN SIDE OF CEE MAY FACE EITHER DIRECTION, U.N.O.)

C30030 ENDWALL RAFTER

NOTE: SEE DETAIL M/7 FOR ENDWALL MULLION BASE CONNECTION

H

EAVE CONNECTION

TOPHAT 120 ROOF PURLIN WITH 10% MINIMUM OVERLAP

12G X 35MM SHEETING SCREW, REFER TO SCREW SPACING DIAGRAM FOR FREQUENCY

C30030 RAFTER

4 X 14G TEK SCREW

A

HAUNCH CONNECTION

B

APEX CONNECTION

C

ENDWALL MULLION TO RAFTER PEAK CONDITION

E

PURLIN CONNECTION

Value & Quality Direct to You

151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au

DESIGN & CONSTRUCTION

CIVIL & STRUCTURAL ENGINEERS
COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
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Signature:

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DATE 12-04-2024
JOB NO. 2796395757
SHEET 6 of 7

TOPHAT 120, EAVE PURLIN NOTCH OUT 'Z' PURLIN ROLLER DOOR COLUMN 'Z' SECTION' ROLLER DOOR HEADER 4 X 14G TEK SCREWS, PER EACH SIDE OF BRACKET		ENDWALL MULLION ENDWALL GIRT 14G TEK SCREWS FIXING STRAP TO INSIDE OF ENDWALL GIRT FLY BRACE STRAP 14G TEK SCREW FIXING STRAP TO INSIDE FLANGE OF ENDWALL MULLION		1 7 TYP. FRAME CROSS-SECTION SCALE: 1:125 FRAMES 2-4			
O	TH120 SIDE ROLLER DOOR DETAIL	P	FLYBRACE				
C30030 BASE PLATE 140 200 125 136 SLAB EDGE		C30030 BASE PLATE 140 200 125 SLAB EDGE		200 140 125 BASE PLATE C30030 SLAB EDGE		END WALL GIRT BRACKET 4 x 14G TEK SCREWS END WALL COLUMN END WALL GIRT BRACKET END WALL GIRT	
K	CORNER COLUMN BASE	L	INTERNAL COLUMN BASE	M	ENDWALL MULLION BASE	N	ENDWALL GIRT BRACKET

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (Description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (Description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of -(tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents: Plan No.s: Jennifer Binns Project Number 0222TU, sheet a03.

Relevant Calculations: Stormwater disposal to Council requirements.

References: AR&R, AS3500, Tasmanian Plumbing Code.
BOM local rainfall data.
BODC flood mapping.

Substance of Certificate: (what it is that is being certified)

Stormwater disposal system for proposed sheds.

If constructed as per details on plans and manufacturers specifications work will comply with relevant Australian Standards and the BCA.

Scope and/or Limitations

Certificate applies to submitted plans, any deviation from plans must be checked by certificate issuer to ensure design remain adequate.

Design of system allows for safe disposal of all typical rain events that do not cause flooding in the area as documented in the BODC flood maps.

The flooding maps demonstrate a H1 overlay, safe for buildings and people.

In my opinion the development won't increase risk or severity of flooding to neighbouring properties during a local area flooding event.

I certify the matters described in this certificate.

Signed: 
Qualified person:

Certificate No.:

MV0925-09

Date:

03/09/25