

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00115
Applicant	Coactive Building Design
Proposal	Transport Depot and Distribution – Construction of a New Aircraft Hangar
Location	21 Aerodrome Road, Stieglitz (CT 184394/1) with access achieved via CT 182768/1 and CT 154876/4

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th October 2025 **until 5pm Monday 10th November 2025.**

John Brown
GENERAL MANAGER

Proposed Aircraft Hangar

at

21 Aerodrome Road, Stieglitz

for

Plane Works

Project No.

25015

Drawings:

Ap01	Location Plan
Ap02	Site Plan
Ap03	Floor Plan
Ap04	Elevations

Issue:

For Approval

coactive
building design

Mark Benson Lic. 916876147 | ABN 55 657 809 151
Level 1, 52-60 Brisbane Street, Launceston TAS 7250
Email: info@coactivebuildingdesign.com.au
Phone: 0455 669 949 coactivebuildingdesign.com.au



Location Plan
Scale 1:5000



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ABN 55 657 809 151
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Phone: 0455 669 949

coactivebuildingdesign.com.au

Proposed Aircraft
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at
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A3	17.09.25	Response to RFI	MB
A2	12.08.25	Response to RFI	MB
A1	09.07.25	For Planning Approval	MB
REV.	DATE	DESCRIPTION	INT.

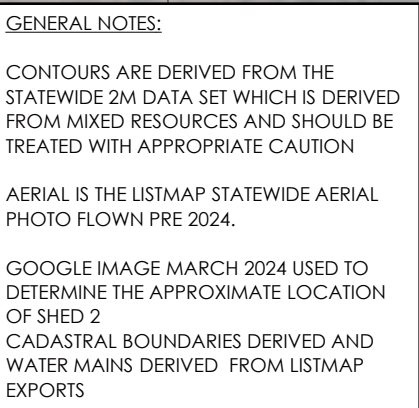
F O R A P P R O V A L

DESIGNED: MJB	DRAWN: MJB	CHECKED: -	SCALES: 1:5000 @ A2
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DRAWING TITLE:
Location Plan



PROJECT NO: 25015	DRAWING NO: Ap01	REV. A3
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ABN 55 657 809 151
Mark Benson Lic. 916876147
Lvl 1, 52-60 Brisbane St, Launceston TAS 7250
Email: info@coactivebuildingdesign.com.au
Phone: 0455 669 949

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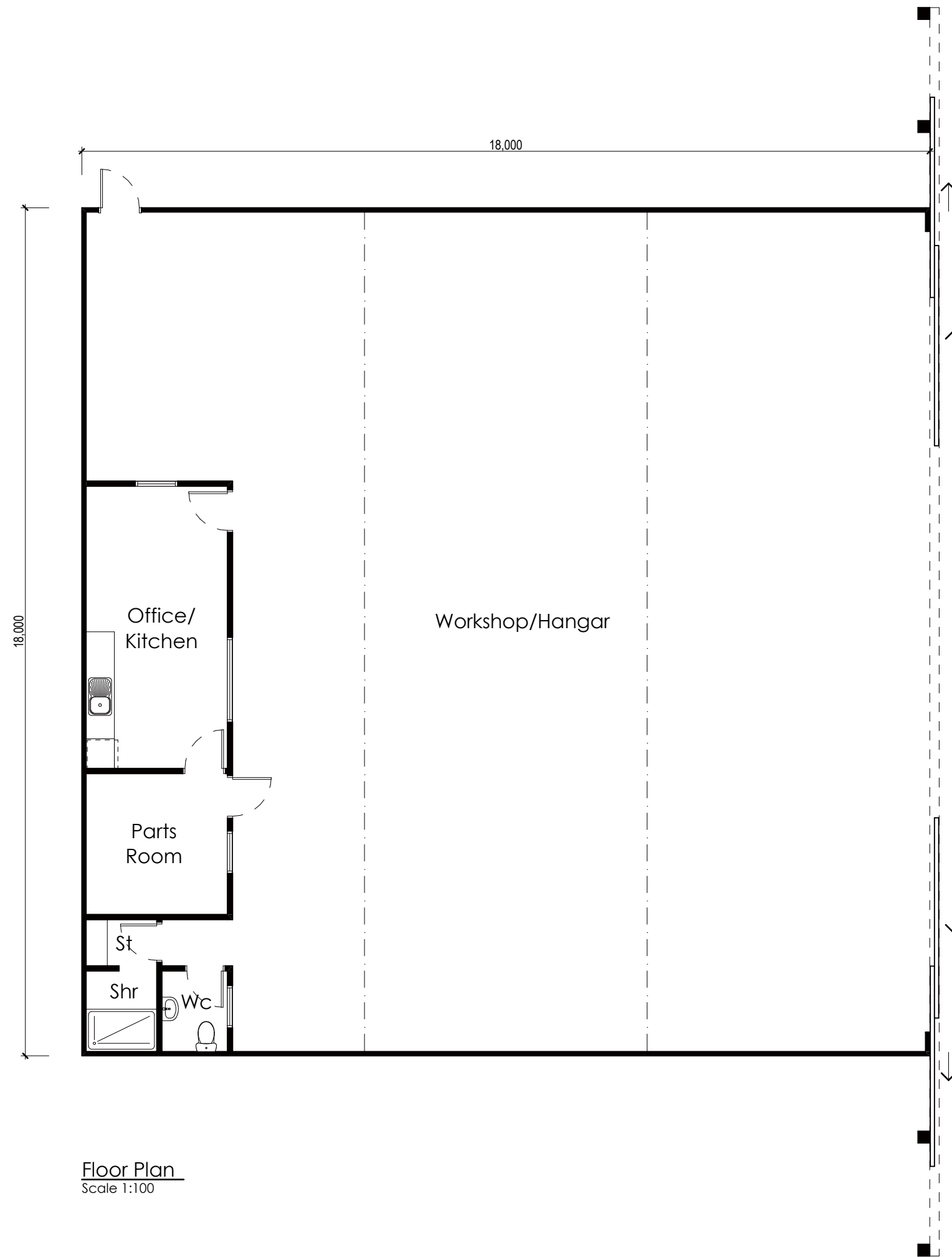
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DESIGNED: MJB DRAWN: MJB CHECKED: - SCALES: 1:500 @ A2

NORTH: 

A3

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NOTE:
ANY HAZARDOUS MATERIALS SHALL BE STORED, HANDLED AND MAINTAINED IN STRICT ACCORDANCE WITH WORKSAFE TASMANIA REQUIREMENTS AND RELEVANT SAFETY DATA SHEETS.

Floor Plan
Scale 1:100



coactive
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ABN 55 657 809 151
Mark Benson Lic. 916876147
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Email: info@coactivebuildingdesign.com.au
Phone: 0455 669 949

coactivebuildingdesign.com.au

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F O R A P P R O V A L

DESIGNED: MJB	DRAWN: MJB	CHECKED: -	SCALES: 1:100 @ A2
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DRAWING TITLE: Floor Plan

NORTH:

PROJECT NO: 25015	DRAWING NO: Ap03	REV. A3
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coactive
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ABN 55 657 809 151
Mark Benson Lic. 916876147
Lvl 1, 52-60 Brisbane St, Launceston TAS 7250
Email: info@coactivebuildingdesign.com.au
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coactivebuildingdesign.com.au

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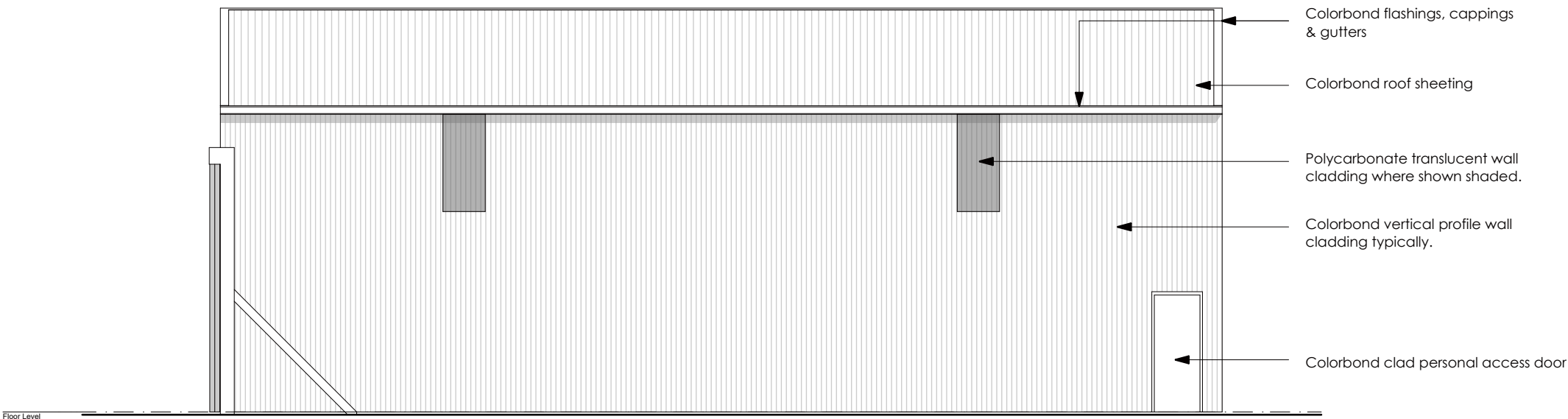
F O R A P P R O V A L

DESIGNED: MJB	DRAWN: MJB	CHECKED: -	SCALES: 1:100 @ A2
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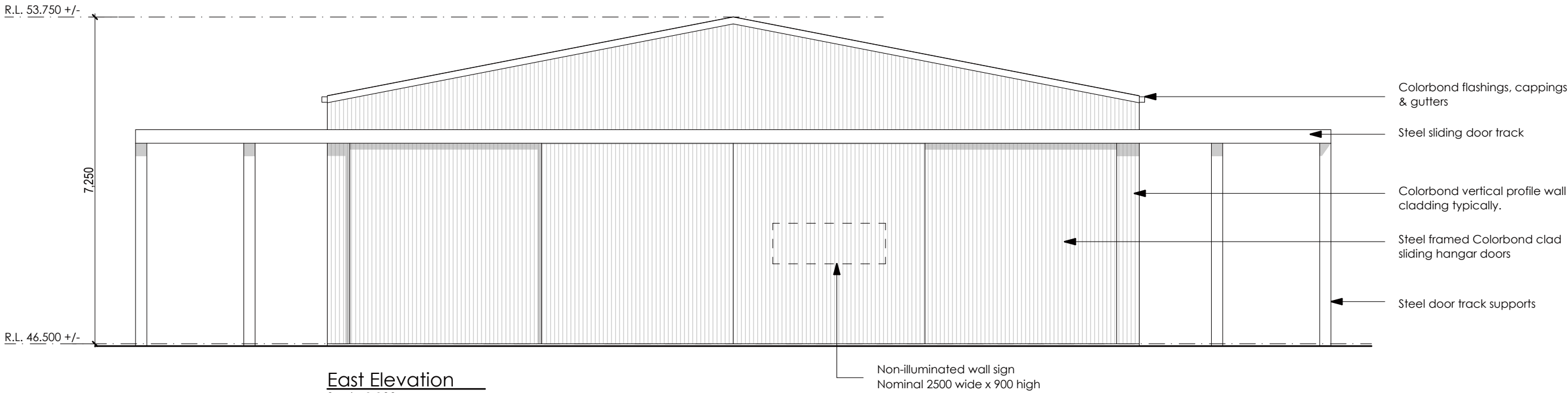
DRAWING TITLE: NORTH:

Elevations

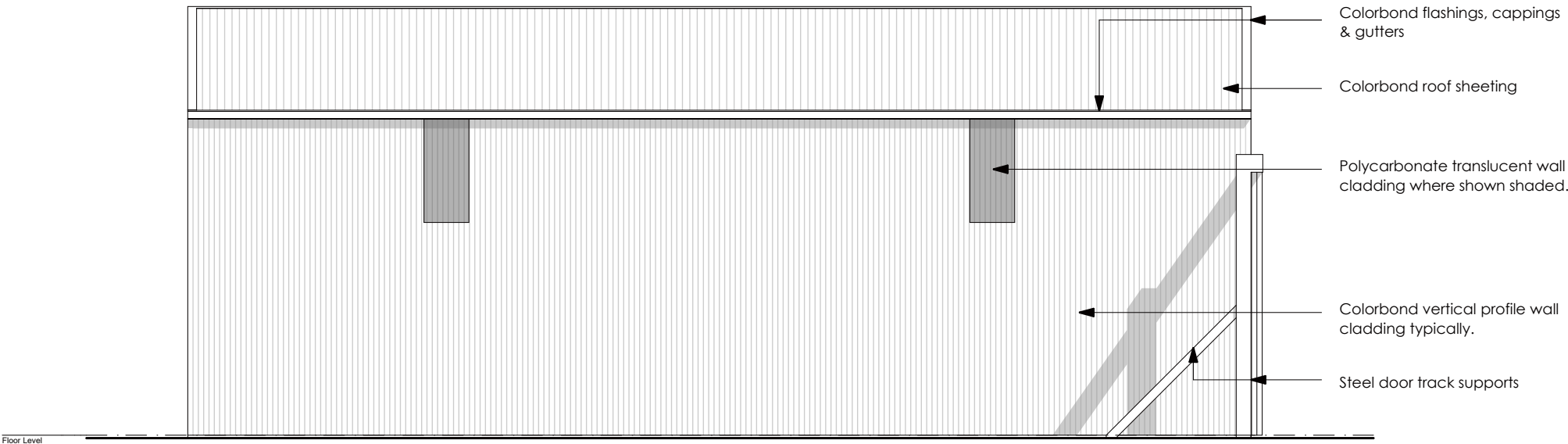
PROJECT NO: 25015	DRAWING NO: Ap04	REV. A3
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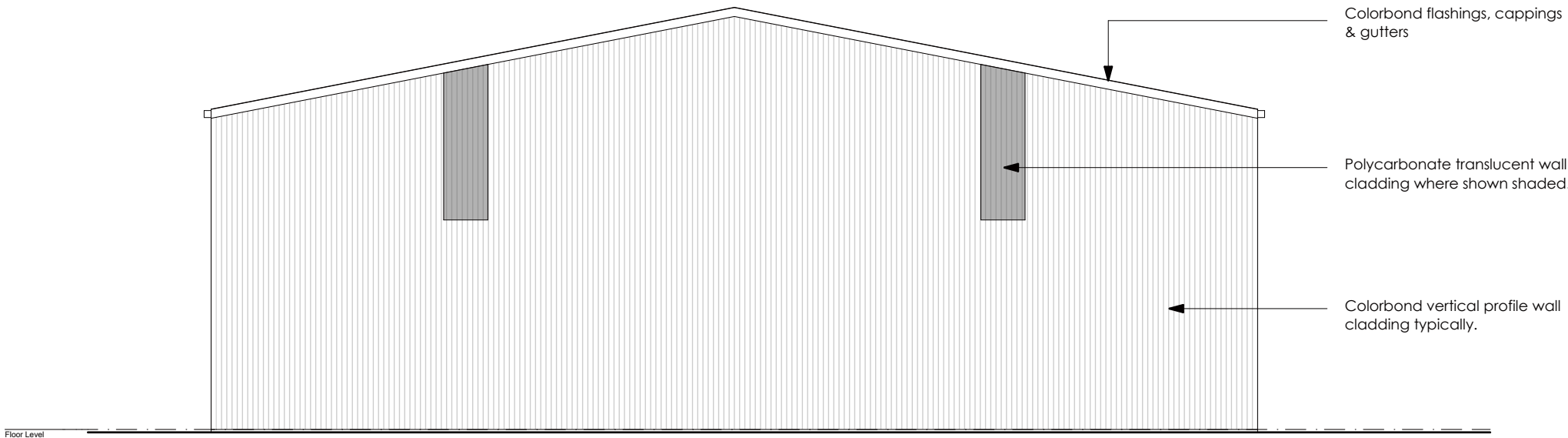
North Elevation
Scale 1:100



East Elevation
Scale 1:100



South Elevation
Scale 1:100



West Elevation
Scale 1:100

Ref: 25015

ABN: 55 657 809 151

Level 1, 52-60 Brisbane Street
Launceston TAS 7250

P 0455 66 99 49
E mark@coactive.au

9th July 2025

Jake Ihnen
Development Services Coordinator
Break O'Day Council
32-34 Georges Bay Esplanade
ST HELENS TAS 7216

Dear Jake,

PLANE WORKS – PROPOSED AIRCRAFT HANGAR
21 AERODROME ROAD, STIEGLITZ

Please accept this application seeking approval for a new aircraft hangar at the above address, being the existing aerodrome site.

Plane Works is an aircraft maintenance business maintaining small general aviation aircraft.

On average there will be two to three aircraft a week coming to the hangar for maintenance and on average they would stay two to three days for maintenance. This can vary depending on what type of inspection/maintenance is due at the time.

Noise levels from this type of business are relatively low, they use air tools, but these are occasional, a lot of their work is screwdrivers, torch and mirror type work which is quiet.

Aircraft engine runs are minimal, usually no more than a couple of minutes to perform engine performance runs at the conclusion of maintenance. The current noise levels from the adjacent RFDS aircraft would be higher.

There is occasional spray painting, this is also minimal - only required if corrosion treatment is required and only on localized areas of the aircraft. Such work is far less intensive than an automotive panel beating shop and carried out within the confines of the hangar, the doors of which face away from neighbours, mitigating any minor noise and odor issues from the hangar to nearby neighbours.

Regarding parking, it is proposed to utilise the existing shared parking within the aerodrome site, of which there are 11 spaces.

Ref: 23002

The business will be run by a sole employee, and visitors to the building generally arrive by aircraft.

Please refer to the attached Planning Scheme Response for our responses to applicable clauses of the planning scheme.

Also attached is confirmation from the Lessee of proposed hazardous materials to be stored on site. Fuel storage will be less than 800L.

We trust the above and attached information is satisfactory, however please feel free to contact me if any further clarification is required.

Yours sincerely
Coactive Building Design



Mark Benson
Director

Plane Works - Proposed Aircraft Hangar

21 Aerodrome Rd, Stieglitz

26.0 Utilities Zone

26.2 Use Table

The proposed development falls under the category of Transport Depot and Distribution which is listed as Permitted

26.3 Use Standards

26.3.1 All Uses

A1

Complies – Hours of operation will be within the hours of 7.00am to 9.00pm Monday to Saturday; and 8.00am to 9.00pm Sunday and public holidays.

A2

Complies – External lighting will not operate within the hours of 11.00pm and 6.00am, excluding security lighting which will be baffled so that direct light does not extend into the adjoining property.

A3

Complies – Vehicle movements will be during hours of operation only.

26.4 Development Standards for Buildings and Works

26.4.1 Building Height

A1

Complies – Proposed building height is <10m

A2

N/A – Proposed building is >10m from an adjoining property

26.4.2 Setbacks

A1

Complies – Proposed building is set back from nearest boundary approximately 31m.

A2

Complies – All air extraction, refrigeration systems, compressors or generators will be contained within the proposed lease area, which is >10m from the nearest boundary and adjoining planning zone.

26.4.3 Fencing

N/A – No new fencing is proposed

26.4.4 Outdoor storage areas

A1

Complies – Outdoor storage areas will not be visible from any road or public open space adjoining the site.³

C1 Signs Code

C1.6 Development Standards for Buildings and Works

C1.6.1 Design and siting of signs

A1

a) Complies – A wall sign is acceptable within the Utilities Zone

b) Complies – Proposed wall sign does not extend beyond the wall or above the top of the wall to which it is attached; has an area <4.5m²; and does not occupy more than 25% of the wall area.

A2

Complies – Sign is >2m from the nearest adjoining boundary.

A3

Complies – Only 1 sign is proposed.

C1.6.2 Illuminated Signs

N/A – proposed sign will not be illuminated

C2 Parking & Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

P1

The proposed development relies on performance criteria P1. No additional on-site parking is proposed. The availability of 11 existing parking spaces for the aerodrome complex, which are shared with similar facilities on the same site, is deemed appropriate. The proposed building will have only 1 employee, and any visitors to the site are generally arriving by plane to have their aircraft serviced.

C2.5.2 Bicycle parking numbers

P1

The proposed development relies on performance criteria P1. No on-site bicycle parking is proposed. The omission of bicycle parking is deemed appropriate for the use, given its location and lack of visitors to the facility. In the unlikely event that an employee was to travel by bicycle, there is considerable space available within the building.

C2.5.3 Motorcycle Parking

A1

Complies – Less than 20 parking spaces are provided

C2.5.4 Loading Bays

A1

Not Applicable – Proposed building is <1000m²

C2.5.5 Number of Carparking spaces within the General Residential Zone and Inner Residential Zone

A1

Not Applicable

C2.6 Development Standards for Buildings and Works

Not Applicable – No new on-site car parking is proposed

C2.7 Parking Precinct Plan

Not Applicable – The proposed development is not within a Parking Precinct Plan



Coordinates are approximate and subject to final survey

	E mga2020	N mga2020	Pt #	Latitude(gda2020)	Longitude(gda2020Dec)
1	607152.4651	5423061.35	B1	-41.3368135	148.2806121
2	607134.4651	5423061.35	B2	-41.3368159	148.280397
3	607134.4651	5423079.35	B3	-41.3366538	148.2803938
4	607152.4651	5423079.35	B4	-41.3366514	148.2806089
5	607150.0151	5423083.55	B5	-41.3366139	148.2805789
6	607152.6651	5423083.6	B6	-41.3366131	148.2806106
7	607152.6651	5423057.1	B7	-41.3368518	148.2806152
8	607150.0151	5423057.15	B8	-41.3368517	148.2805836

Subject: Re: Site Plans for Plane Works

Hi Mark

The following are what we will have stored on site, types of products can obviously fluctuate from time to time depending on what type of work is required but never large quantities.

- Acetone qty 4L
- Wax & Grease Remover qty 4L
- Metal Conditioner qty 2L
- Alodine qty 2L
- Isopropyl 1L
- Degreaser qty 20L
- Grease Mobil 28 qty 2KG Tin.
- Grease SHC 100 qty 2KG Tin.
- Grease Aeroshell 6 qty 2 Cartridges 380g
- Grease NYCO qty 2 Cartridges 380g
- Hydraulic Fluid MIL-5606 qty 10 quarts
- Jet Oil 2380 qty 10 quarts
- Various Aerosol Cans: - WD40 qty 4 (350g each)
 - Contact Cleaner qty 2 (350g each)
 - Inox qty 4 (350g each)
 - Matt Black Paint qty 4 (350g each)
 -
- Oil Aeroshell W100 Plus qty 200L drum.

On average this is about it.

Kind Regards

Dave

Further Information Received 12/08/2025

1. Stormwater will be directed to the existing stormwater system via the existing stormwater pipe to the west of the existing sheds. Refer revised site plan showing connection of downpipes as well as stormwater pit for pavement surface drainage.
2. My client has confirmed chemical storage will not be of a manifest quantity.
3. The use will not include works considered panel beating. Occasional minor spray painting will be touch up work only, for corrosion protection.