

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00118
Applicant	A Locatelli
Proposal	Residential - Dwelling; Change of Use: Residential to Visitor Accommodation (Existing Structure)
Location	132 Riverview Road, Scamander

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th October 2025 **until 5pm Friday 10th November 2025**.

John Brown
GENERAL MANAGER



illian van der Schans
M.Arch (research) B.Arch
(1st class Hon.) B.Env.Des (dist.)

Environmentally aware design
architecture, interior design,
furniture & colour consultation.

12 Salisbury crescent
West Launceston
7250

T: 63 341010
M: 0488 586 076
E: vanderschans@bigpond.com

DRAWING:
Cover Page /
Planning Responses

DATE: 6th April 2025
ACCREDITATION
No CC633U

SCALE:

REVISION:

PAGE NO:

D.A 1/6

DRAWN:

GvdS

Amanda Jane Locatelli &
Eric Jean Hodgson
132 Riverview Road
Scamander 7215

132 Riverview Drive, Scamander, 7215

PROPOSED - New two bedroom residence

DWG No.	TITLE	SCALE
D.A 1/7	Cover page / Planning Responses	
D.A 2/7	Site Plan	1:1000
D.A 3/7	Ground Floor & First Floor Plan	1:100
D.A 4/7	Elevations	1:100
D.A 5/7	Elevations	1:100
D.A 6/7	Sections	1:100

PROPERTY ID
7229115

TITLE REFERENCE
25186/65

SITE AREA
2.028 Ha

ZONING
22.0 Landscape Conservation

CODES
13 Bush fire Prone areas

PROJECT SPECIFICATION
Proposed New Residence (Class 1a building)

BUILDING AREAS

PROPOSED NEW RESIDENCE FLOOR AREA
- Ground floor 154 sq mtrs
- First floor 28.9 sq mtrs

Total residence floor area 186.8 sq mtrs

NEW DECK AREA
- 52.5 sq mtrs

EXISTING ANCILLARY BUILDING
- 58 sq mtrs

EXISTING GARAGE
- 88.5 sq mtrs

SITE COVERAGE 1.5%
Total Building Area - 300.5 sq mtrs

75 sq mtrs

22.4.3 Access to a road
A1
New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.

The site has access from Riverview Road, Scamander

22.4.4 Landscape protection

A1
Building and works must be located within a building area, if shown on a sealed plan.

A2
Buildings and works must:
(a) be located within a building area, if shown on a sealed plan; or
(b) be an alteration or extension to an existing building providing it is not more than the existing building height; and
(c) not include cut and fill greater than 1m; and
(d) be not less than 10m in elevation below a skyline or ridgeline.

The new build is located in an existing site clearing and no site vegetation is proposed to be removed. The selected area has a minimal slope and the building sits parallel with the gently sloping site contours therefore no cut and fill is required. The small home also sits well under the skyline as the majority of the mature eucalyptus vegetation canopy is over 15m in height.

PLANNING RESPONSES

22.4.1 Site coverage
A1 Site coverage must be not more than 400m².

The total building area proposed on the site equates to 316.5 square metres

22.4.2 Building height, siting and exterior finishes
A1 Building height must be not more than 6m.

The building has a maximum height of 7.055m

P1
Building height must be compatible with the landscape values of the site, having regard to:
(a) the height, bulk and form of proposed buildings;
(b) the height, bulk and form of existing buildings;
(c) the topography of the site;
(d) the visual impact of the buildings when viewed from roads and public places; and
(e) the landscape values of the surrounding area.

The building is composed of a series of smaller broken down forms of varying heights and volumes. Indented spaces create relief and shadowing breaking down the visual scale of the building. The proposed residence has a small footprint of 154 square metres and less than half of the building footprint exceeds the acceptable 6m height condition. The majority of the building height is a single level structure with a maximum height of 4.261m. The new home is located near the centre of its well vegetated 20.028 hectare site and is surrounded by mature eucalyptus, blackwood, boobyalla and banksia vegetation. The height of this vegetation dwarfs the scale of the building with the majority of trees in excess of 15m in height. The minimum setback of the building to a boundary is over 24.3m and there is significant vegetation screening between the dwelling and all the site boundaries. The new build is located in an existing clearing on the site and no existing site vegetation is proposed to be removed.

A2
Buildings must have a setback from a frontage not less than 10m.

The minimum Riverview Road setback is 58.9m

A3
Buildings must have a setback from side and rear boundaries not less than 20m.

The minimum side/rear setback is 24.307m

A4 N/A

A5
Exterior building finishes must have a light reflectance value not more than 40%, in dark natural tones of grey, green or brown.

The residence is clad in matte Monument coloured Nailstrip cladding, light mottled grey Cemented Barestone cladding and vertical board weathered ironbark. All selected materials have low light reflectivity and are of a complimentary tone and colour to the sites dry eucalyptus forest vegetation.



illian van der Schans
M.Arch (research) B.Arch
(1st class Hon.) B.Env.Des (dist.)

Environmentally aware design
architecture, interior design,
furniture & colour consultation.

12 Salisbury crescent
West Launceston
7250

T: 63 341010
M: 0488 586 076
E: vanderschans@bigpond.com

DRAWING:
Site plan

DATE: 6th April 2025

ACCREDITATION
No CC633U

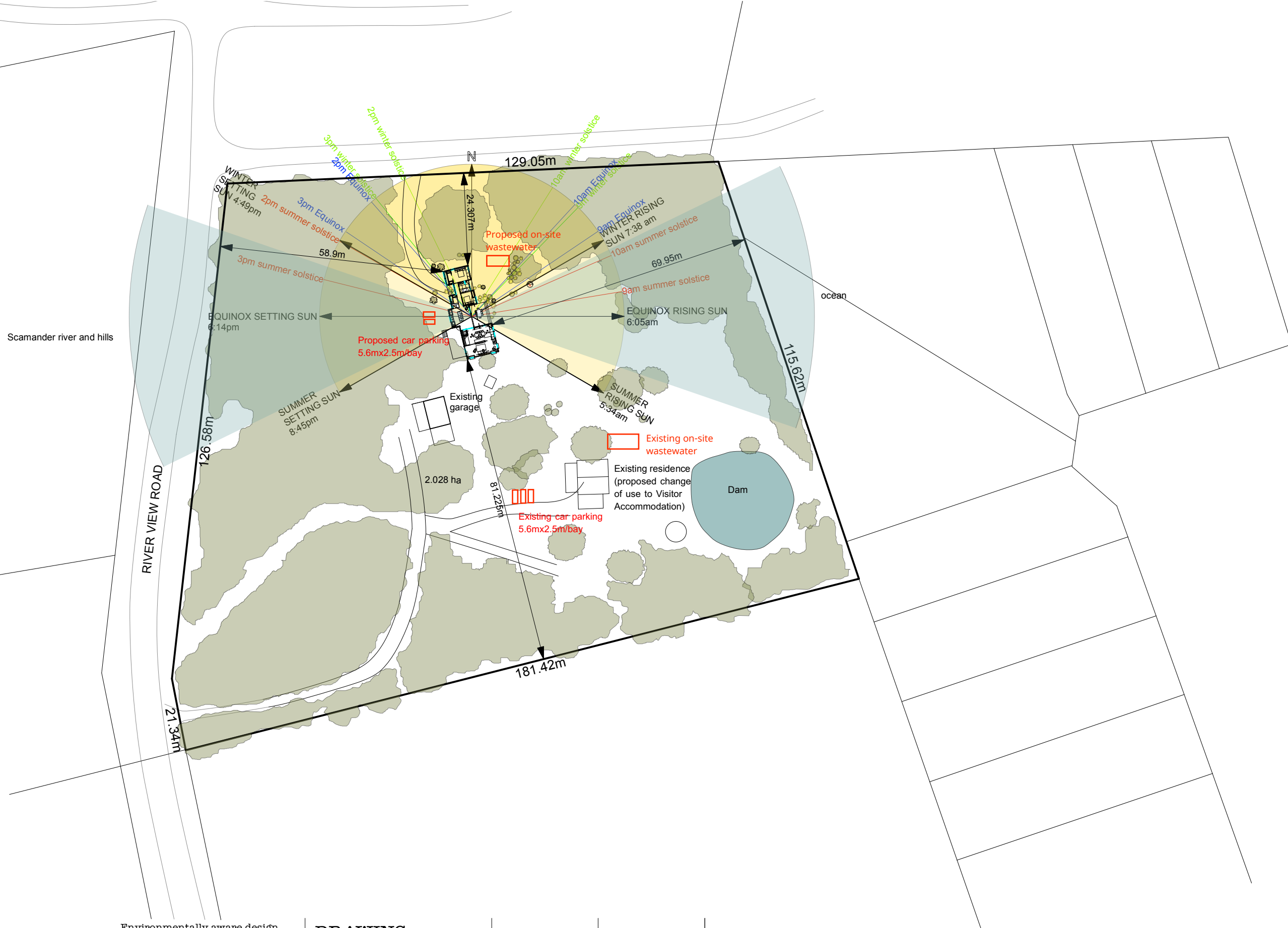
SCALE:
1:1000 @ A3

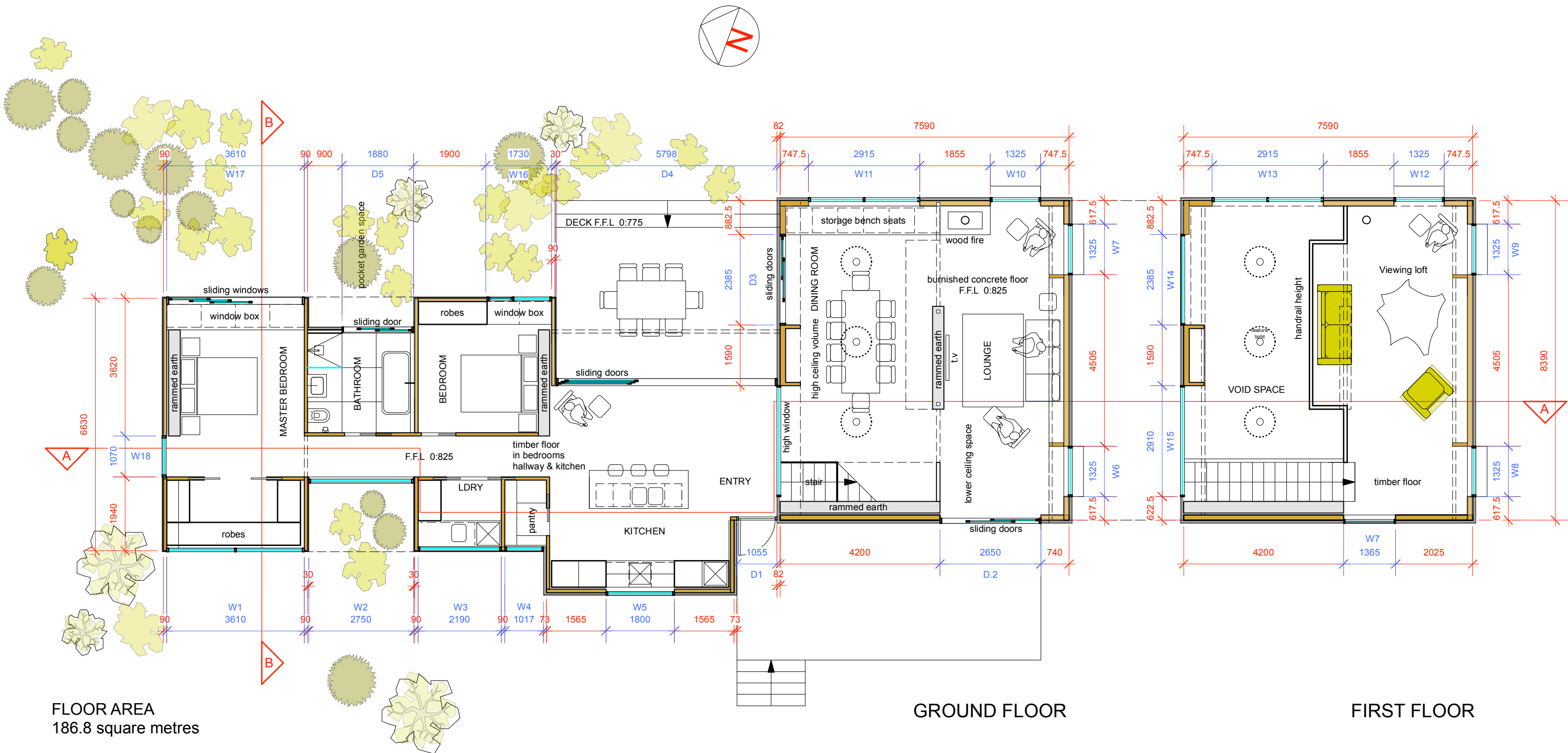
REVISION:

PAGE NO:
D.A 2/6

DRAWN:
GvdS

Amanda Jane Locatelli &
Eric Jean Hodgson
132 Riverview Road
Scamander 7215





ARCHITECTURAL



illian van der Schans
M.Arch (research) B.Arch
(1st class Hon.) B.Env.Des (dist.)

Environmentally aware design
architecture, interior design,
furniture & colour consultation.

12 Salisbury crescent
West Launceston
7250

T: 63 341010
M: 0488 586 076
E: vanderschans@bigpond.com

DRAWING:
Ground Floor Plan &
First Floor Plan

DATE: 6th April 2025

ACCREDITATION
No CC633U

SCALE:
1:100 @ A3

REVISION:

PAGE NO:
D.A 3/6

DRAWN:
GvdS

Amanda Jane Locatelli &
Eric Jean Hodgson
132 Riverview Road
Scamander 7215

WINDOWS& DOORS
Thermal heart thermally broken double glazed, Aluminum frame

POWDERCOAT COLOUR: Monument
BAL 19 RATING

SLIDING DOORS
CAPRAL 900 Series Sliding doors
DOOR HANDLE: ANDO mortice lock,
double cyl with ICON D pull

POWDER COATED HOODS
3mm powder coated aluminum
COLOUR: Monument

CLADDING
Nailstrip cladding
width 265mm
25mm rib height
COLOUR: Colourbond
Monument matte finish

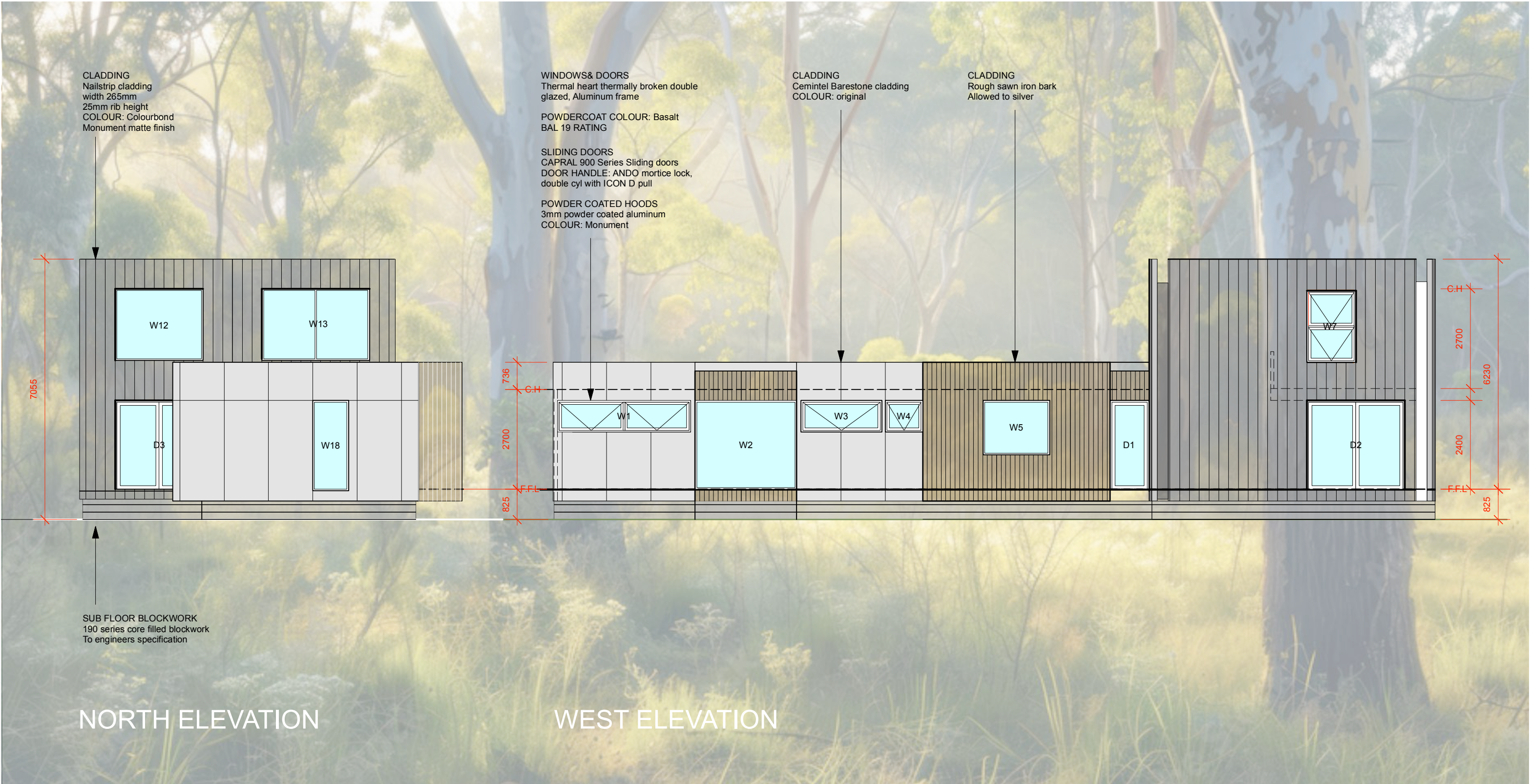
CLADDING
Rough sawn iron bark
Allowed to silver

CLADDING
Cemintel Barestone cladding
COLOUR: original



SOUTH ELEVATION

EAST ELEVATION





illian van der Schans
M.Arch (research) B.Arch
(1st class Hon.) B.Env.Des (dist.)

Environmentally aware design
architecture, interior design,
furniture & colour consultation.

12 Salisbury crescent
West Launceston
7250

T: 63 341010
M: 0488 586 076
E: vanderschans@bigpond.com

DRAWING:
Section A:A
Section B:B

DATE: 6th April 2025
ACCREDITATION
No CC633U

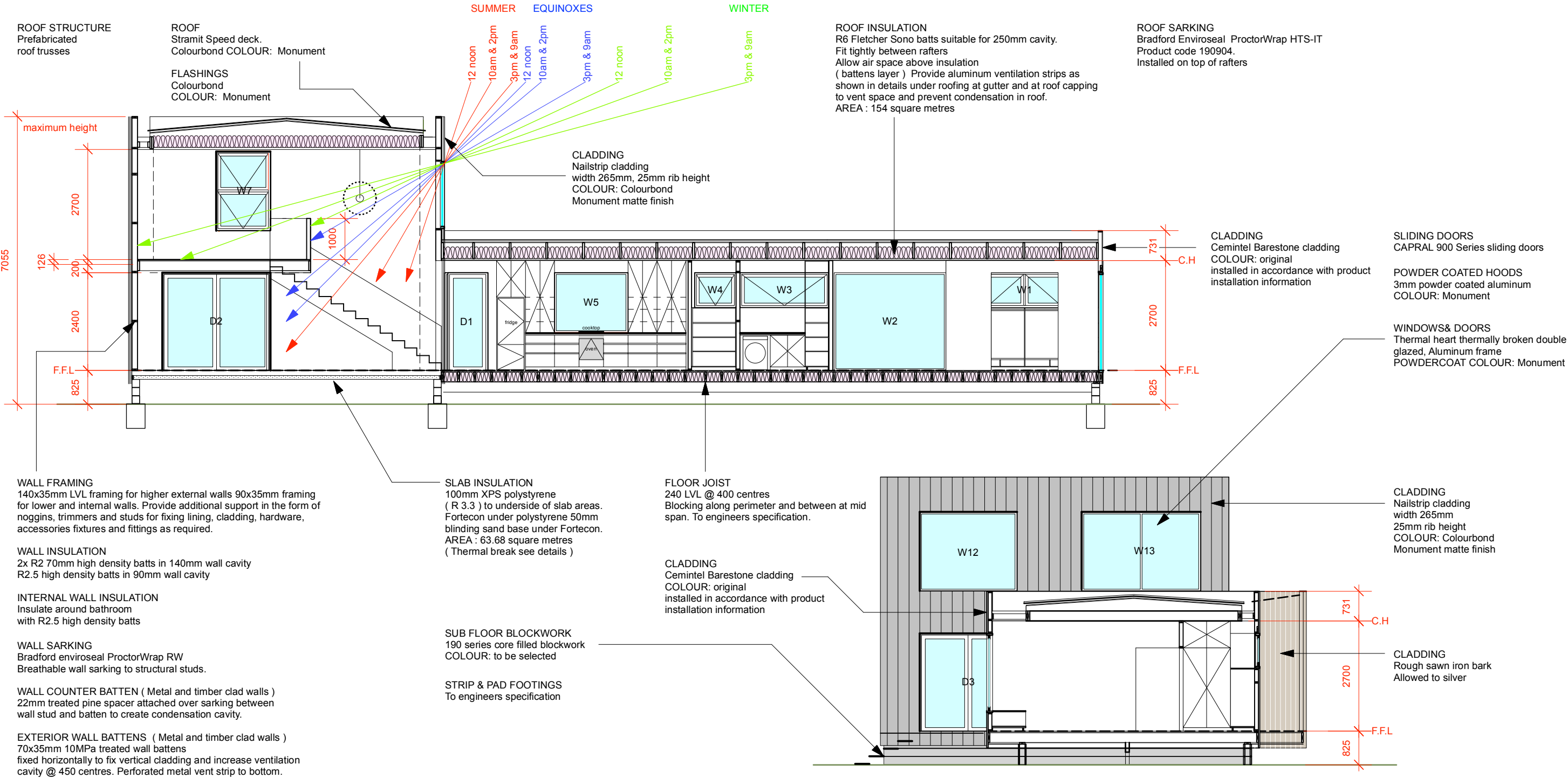
SCALE:
1:100 @ A3

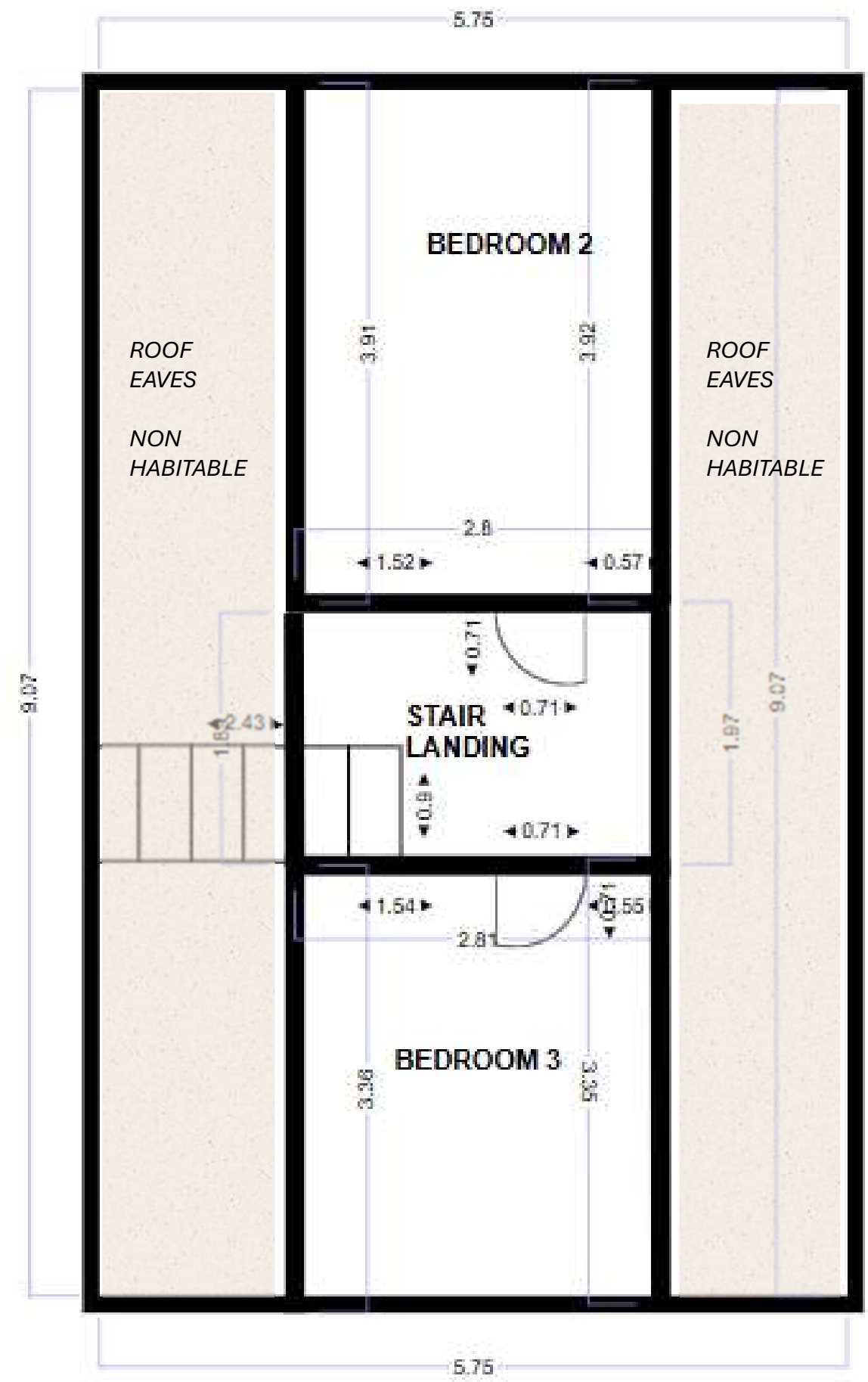
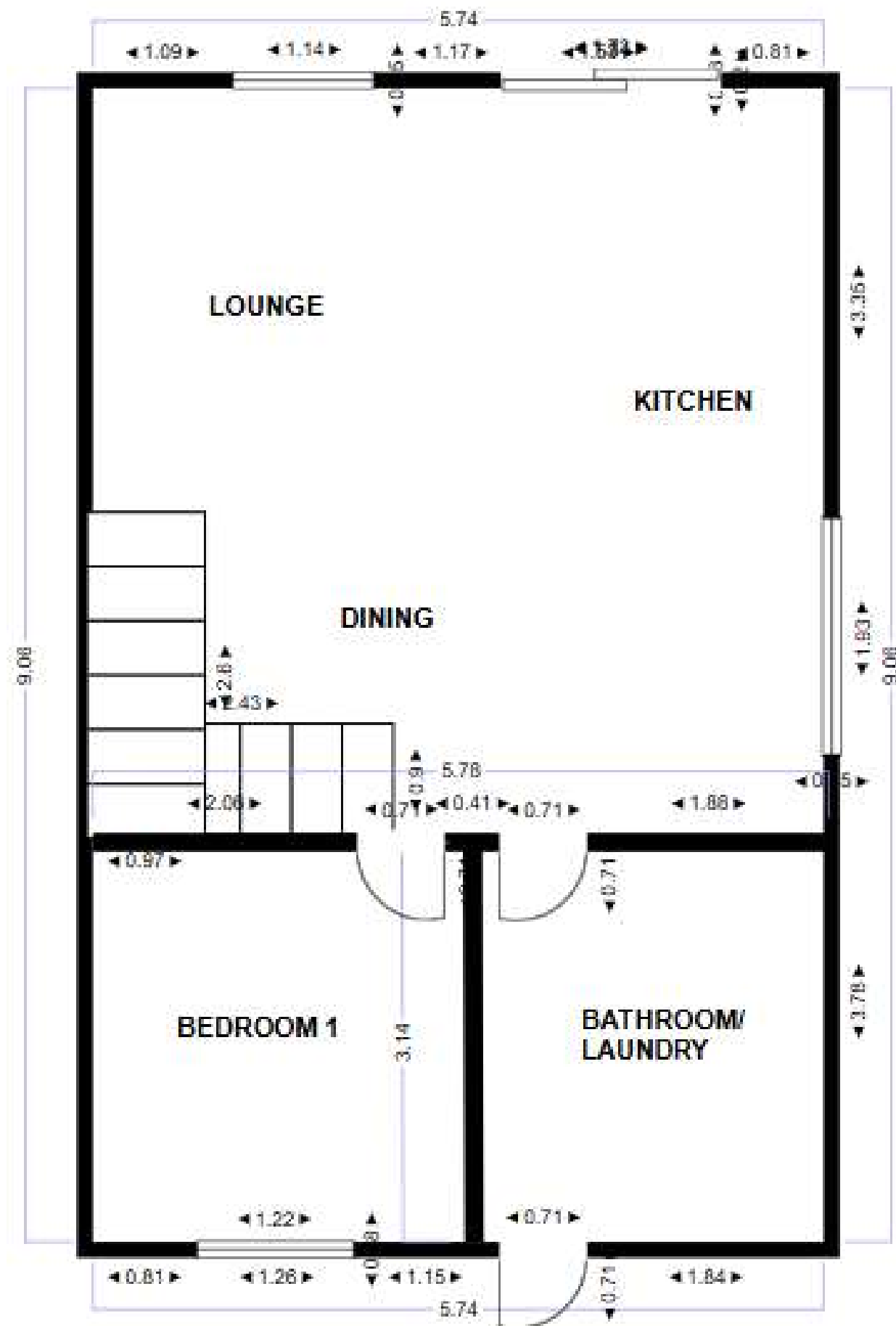
REVISION:

PAGE NO:
D.A 6/6

DRAWN:
GvdS

Amanda Jane Locatelli &
Eric Jean Hodgson
132 Riverview Road
Scamander 7215





Site:	132 Riverview Road Scamander	Drawing:	Ground Floor Plan & Mezzanine Floor Plan	Drawn:	A Locatelli	Amanda Locatelli & Eric Hodgson 132 Riverview Road Scamander 7215	
Title:	Floor Plans	Floor Area:	Ground Floor: 52 m2 / Mezzanine: 25.6 m3	Rev:	A		Page No:

Request for Further Information (Ref: DA 2025/00118)

132 Riverview Road, Scamander 7215

1. Amended Site Plan
 - a) An amended site plan has been provided demonstrating the location of the exiting on-site wastewater and proposed onsite wastewater
 - b) No stormwater will be collected in tanks. All stormwater will be disposed of on-site. Stormwater will be run to ground to disperse into open bushland and garden beds. There is extensive land available for on-site stormwater disposal on the property.
 - c) Existing and proposed car parking has been included on the amended site plan. The Change of Use to Visitor Accommodation for the existing dwelling has 3 existing bays with dimensions of 5.6m x 2.5m. The proposed new dwelling will have 2 car parking bays with dimensions of 5.6mx2.5m.
2. A Bushfire Hazard Management Report will be submitted at the building stage.
3. No new pedestrian pathways are proposed to be developed on site.
4. A floor plan for the existing dwelling has been provided to demonstrate gross floor area to support a change to Visitor Accommodation Use.