

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00157
Applicant	Prime Design
Proposal	Residential - Partial Demolition and Alterations/Additions to Dwelling plus Addition to Existing Garage
Location	1 Barrack Street, Akaroa

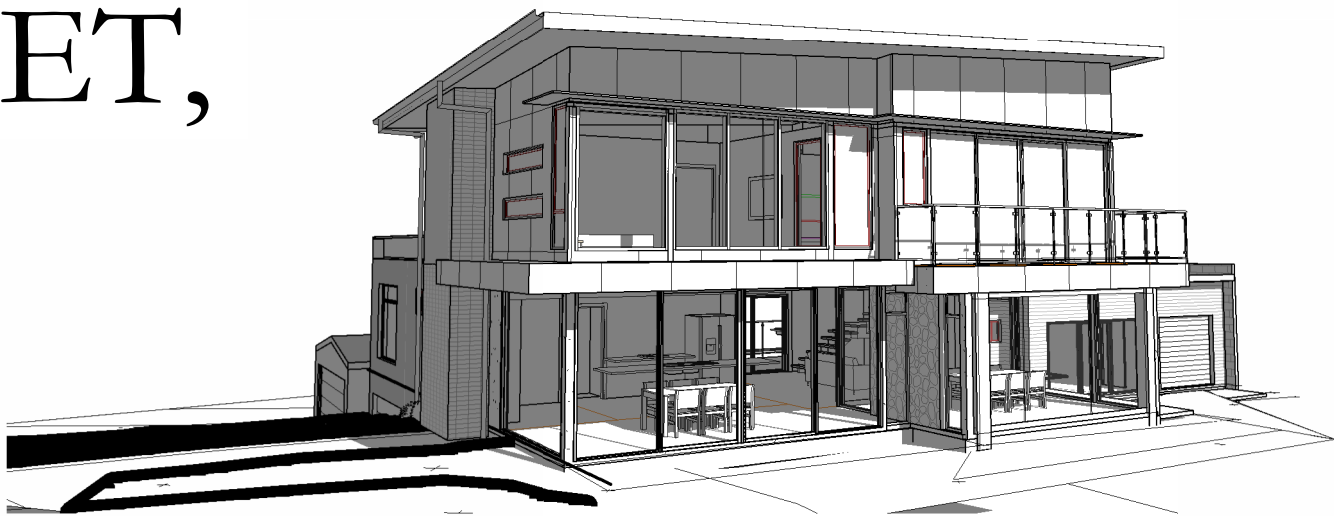
Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 8th November 2025 **until 5pm Friday 21st November 2025**.

John Brown
GENERAL MANAGER

PROPOSED ALTERATIONS & SHED EXTENSION 1 BARRACK STREET, AKAROA

G.P. & M.M.THURLOW
PD23089



PLANNING

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	PART SITE PLAN
03	PART SITE DRAINAGE PLAN
04	SHADOW DIAGRAMS
05	LOCALITY PLAN
06	GROUND FLOOR DEMOLITON PLAN
07	FIRST FLOOR DEMOLITON PLAN
08	ROOF DEMOLITON PLAN
09	EX. GARAGE FLOOR PLAN
10	GROUND FLOOR PLAN
11	FIRST FLOOR PLAN
12	WINDOW AND DOOR SCHEDULES
13	ELEVATIONS
14	ELEVATIONS
15	ROOF PLAN
16	PERSPECTIVES
17	PERSPECTIVES

SHED DRAWINGS REFER PD25197 FOR DETAILS

No	DRAWING
S01	SHED PLAN
S02	SHED ELEVATIONS
S03	SHED ROOF PLAN

EX. GROUND FLOOR	161.20	m2	(	17.35	SQUARES)
EX. GARAGE FLOOR	56.86	m2	(	6.12	SQUARES)
EX. FIRST FLOOR AREA	54.68	m2	(	5.89	SQUARES)
EX. FIRST FLOOR	31.38	m2	(	3.38	SQUARES)
PROPOSED FIRST FLOOR AREA	57.64	m2	(	6.20	SQUARES)
PROPOSED SHED AREA	62.05	m2	(	6.68	SQUARES)
TOTAL AREA	423.81			45.62	

GENERAL PROJECT INFORMATION

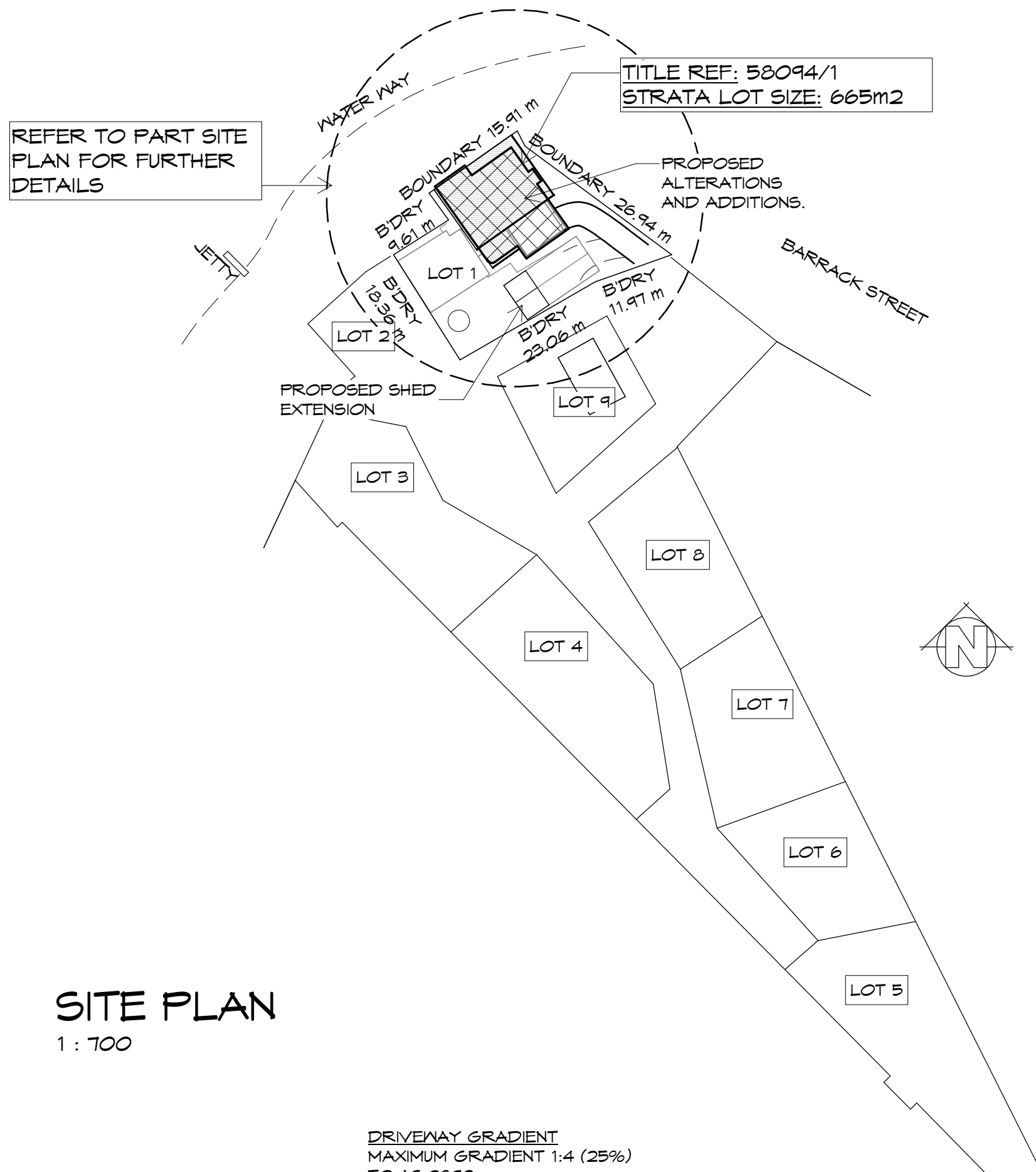
TITLE REFERENCE: 1/58094
SITE AREA: 665m2
DESIGN WIND SPEED: ASSUMED N4
SOIL CLASSIFICATION: ASSUMED H1
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: VERY HIGH
BAL RATING: TBC
OTHER KNOWN HAZARDS: COASTAL EROSION
HAZARD BAND (MEDIUM), BUSHFIRE PRONE AREA,
WATERWAY & COASTAL PROTECTION AREA

NOTE: READ IN CONJUNCTION WITH
PD25197 FOR SHED DRAWINGS AND
DETAILS



10 Goodman Court , Invermay Launceston 7248
p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@primedesignntas.com.au primedesignntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

NOVEMBER 2025



SITE PLAN

1 : 700

DRIVEWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**
Client name:
G.P. & M.M.THURLOW

Drawing:
SITE PLAN

Drafted by: **M.R.** Approved by: **Approver**

Date: **05.11.2025** Scale: **1 : 700**

Project/Drawing no: **PD23089 -01** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

GEORGES BAY

PROPOSED
EXTENSION TO
BOUNDARY
EXTENT.

PROPOSED
ALTERATIONS AND
RENOVATIONS SHOWN
HATCHED.

DASHED LINE
SHOWS EXISTING
BUILDING EXTENT.

TITLE REF: 58094/1
LOT SIZE: 665m²

PART SITE PLAN

1 : 200

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

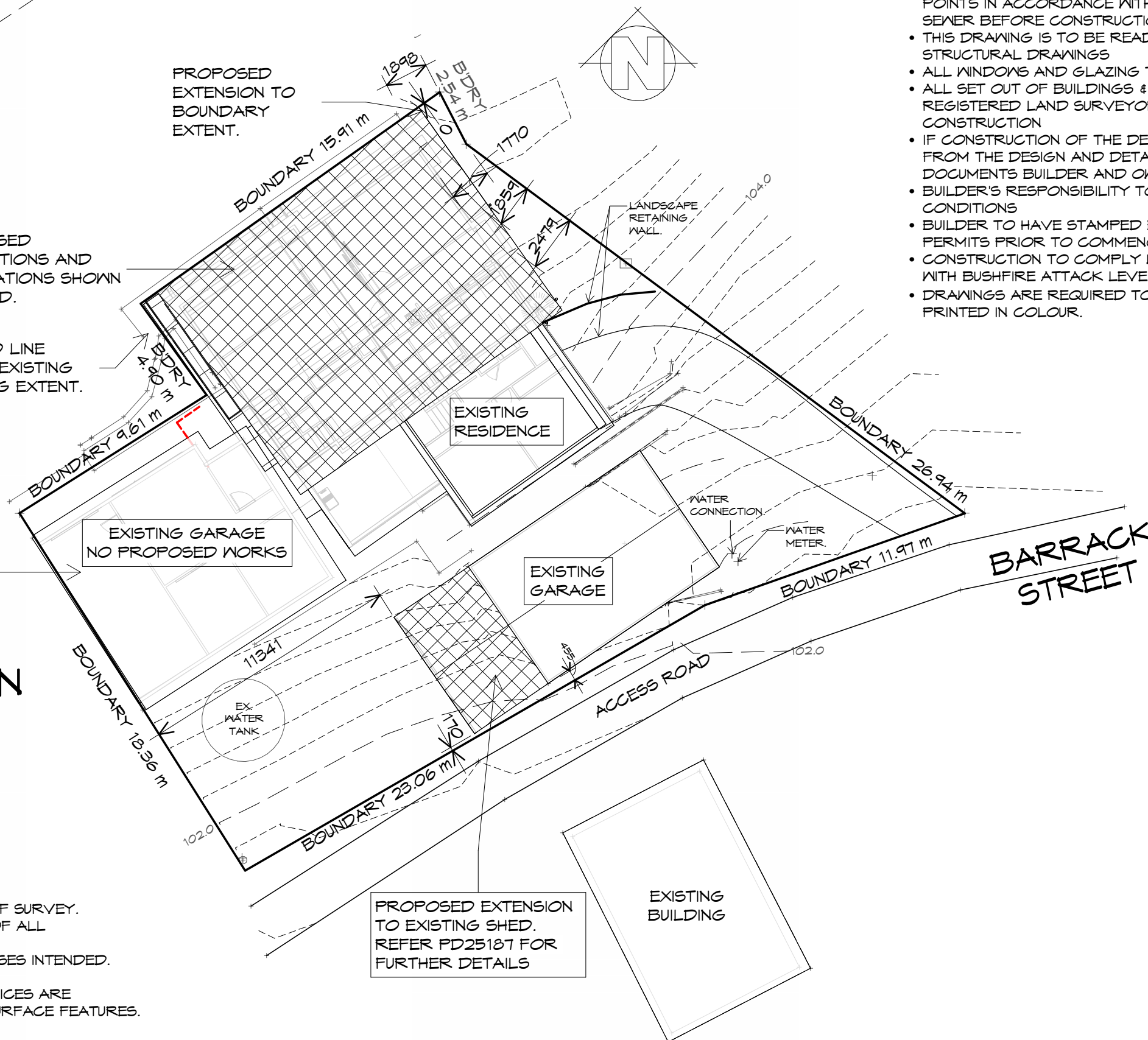
WARNINGS:

- THE DETAIL SHOWN / RECORDED
- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.10m



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**

Client name:
G.P. & M.M.THURLOW

Drawing:
PART SITE PLAN

Drafted by:
M.R.

Approved by:
Approver

Date:
05.11.2025

Scale:
1 : 200

Project/Drawing no: **PD23089 -02**

Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A



BINALONG BAY

GEORGES BAY

NEW SEWER FROM FIRST FLOOR, CONNECT TO EXISTING SEWER LINES, CONFIRM ON SITE

PROPOSED ALTERATIONS AND RENOVATIONS SHOWN HATCHED.

DASHED LINE SHOWS EXISTING BUILDING EXTENT.

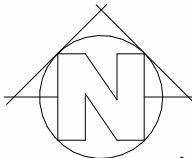
TITLE REF: 58094/1
LOT SIZE: 665m2

PART SITE DRAINAGE

1 : 200

ASSUMED EXISTING STORMWATER/SEWER LOT CONNECTION LOCATION. CONFIRM ON SITE

TO STORMWATER MAIN



NEW STORMWATER, CONNECT TO EXISTING STORMWATER. CONFIRM ONSITE

EXISTING LANDSCAPE RETAINING WALL.

EXISTING NO PROPOSED WORKS

GARAGE

EXISTING GARAGE

BARRACK STREET

EXISTING BUILDING

LEGEND

- PIT: 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- EX. SEWER LINE
- SEWER LINE
- EX. STORMWATER LINE
- STORMWATER LINE

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

Prime Design

10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**
Client name:
G.P. & M.M.THURLOW

Drawing:
PART SITE DRAINAGE PLAN

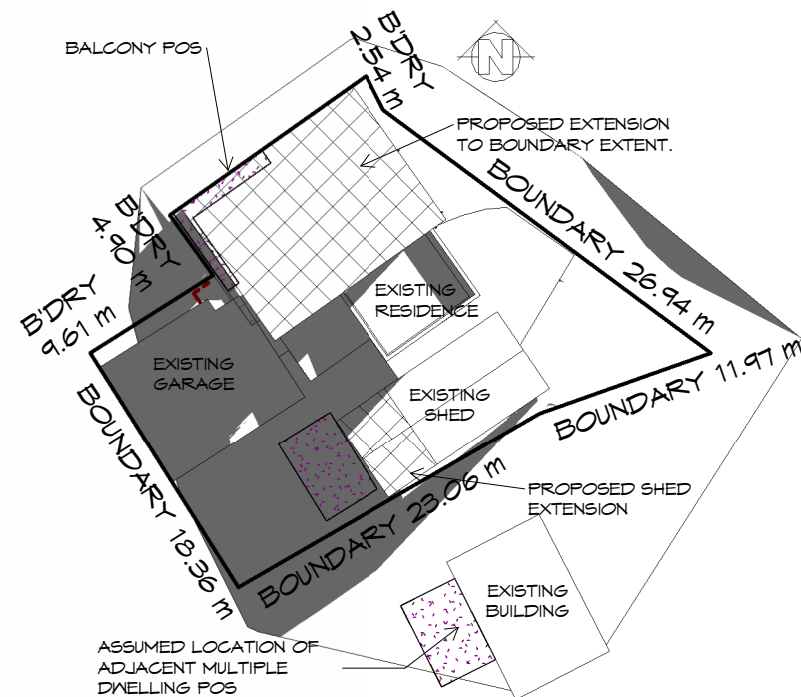
Drafted by: **M.R.** Approved by: **Approver**
Date: **05.11.2025** Scale: **As indicated**

Project/Drawing no: **PD23089 -03** Revision: **07**
Accredited building practitioner: Frank Geskus -No CC246A



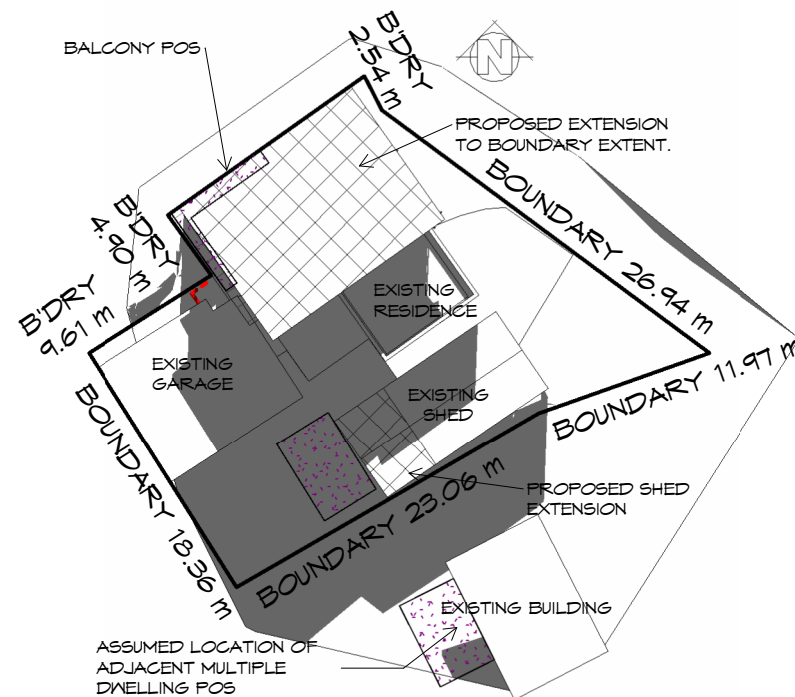
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



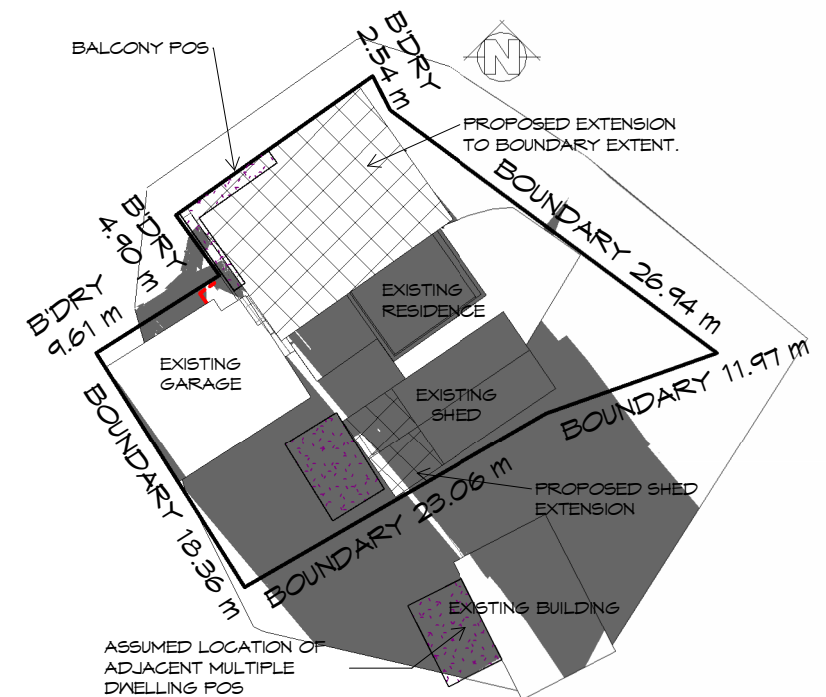
SHADOW DIAGRAM 9AM

1 : 500



SHADOW DIAGRAM 12PM

1 : 500



SHADOW DIAGRAM 3PM

1 : 500



10 Goodman Court, Invermay Tasmania 7248,
 p(l)+ 03 6332 3790
 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(h)+ 03 6228 4575
 info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED ALTERATIONS
 & SHED EXTENSION
 1 BARRACK STREET,
 AKAROA**

Client name:
G.P. & M.M.THURLOW

Drafted by: **T.C.P.** Approved by: **T.C.P.**



GENERAL INFORMATION
 NORTH: TRUE NORTH
 DAY LIGHT SAVINGS: OFF
 DATE: JUNE 21st 2025
 TIME: AS INDICATED

Drawing:
SHADOW DIAGRAMS

Date: **05.11.2025** Scale: **1 : 500**

Project/Drawing no: **PD23089 -04** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A





PROPOSED ALTERATIONS &
SHED EXTENSION
LOT 1, 1 BARRACK STREET,
AKAROA



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**
Client name:
G.P. & M.M.THURLOW

Drawing:
LOCALITY PLAN

Drafted by: M.R. Approved by: Approver

Date: 05.11.2025 Scale: 1 : 2000

Project/Drawing no: PD23089 -05 Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A

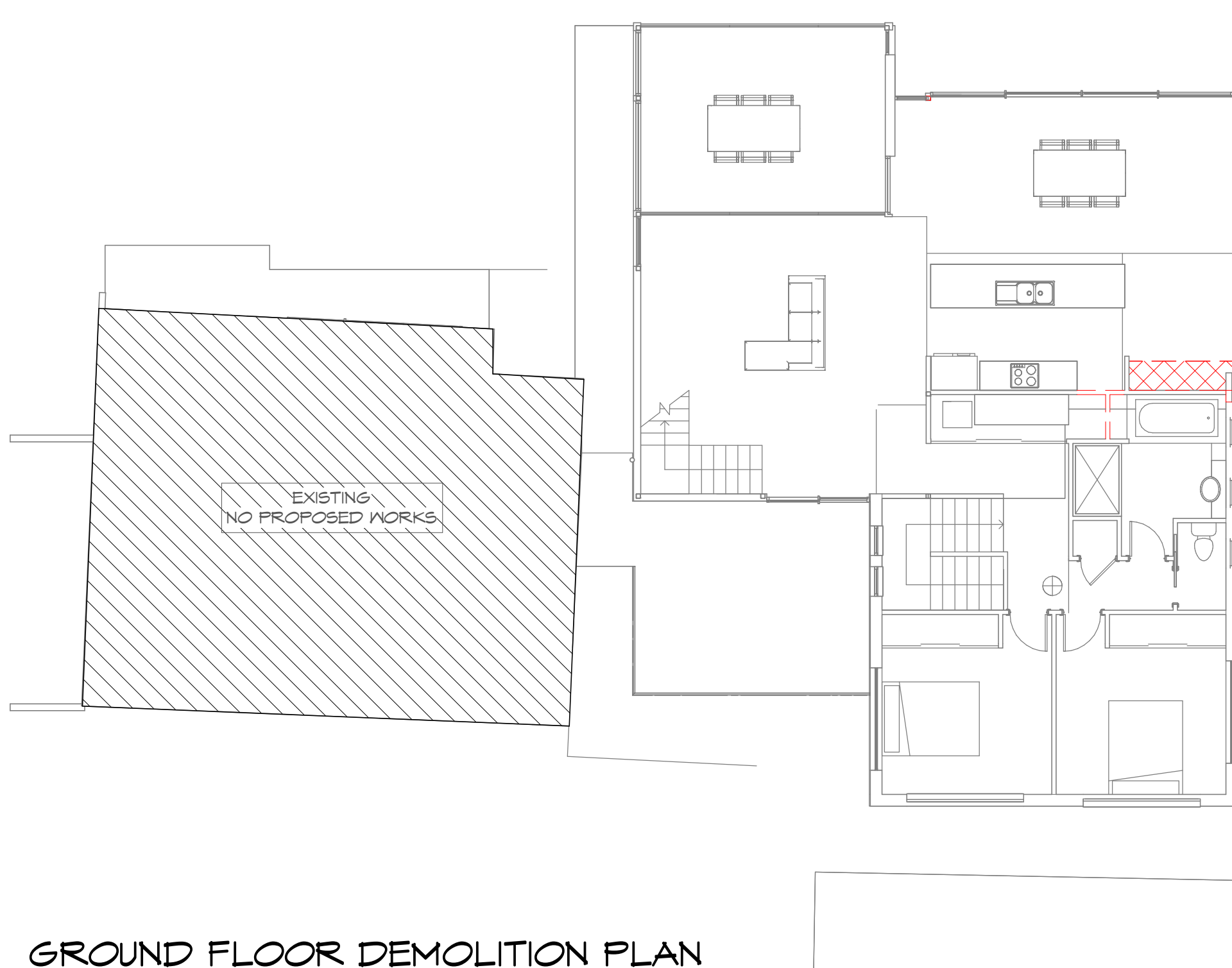


LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES A BUSHFIRE ASSESSMENT.**
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN



GROUND FLOOR DEMOLITION PLAN

1 : 100

REMOVE EXISTING
BRICKWORK AND FLOOR
FOR NEW LIFT

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



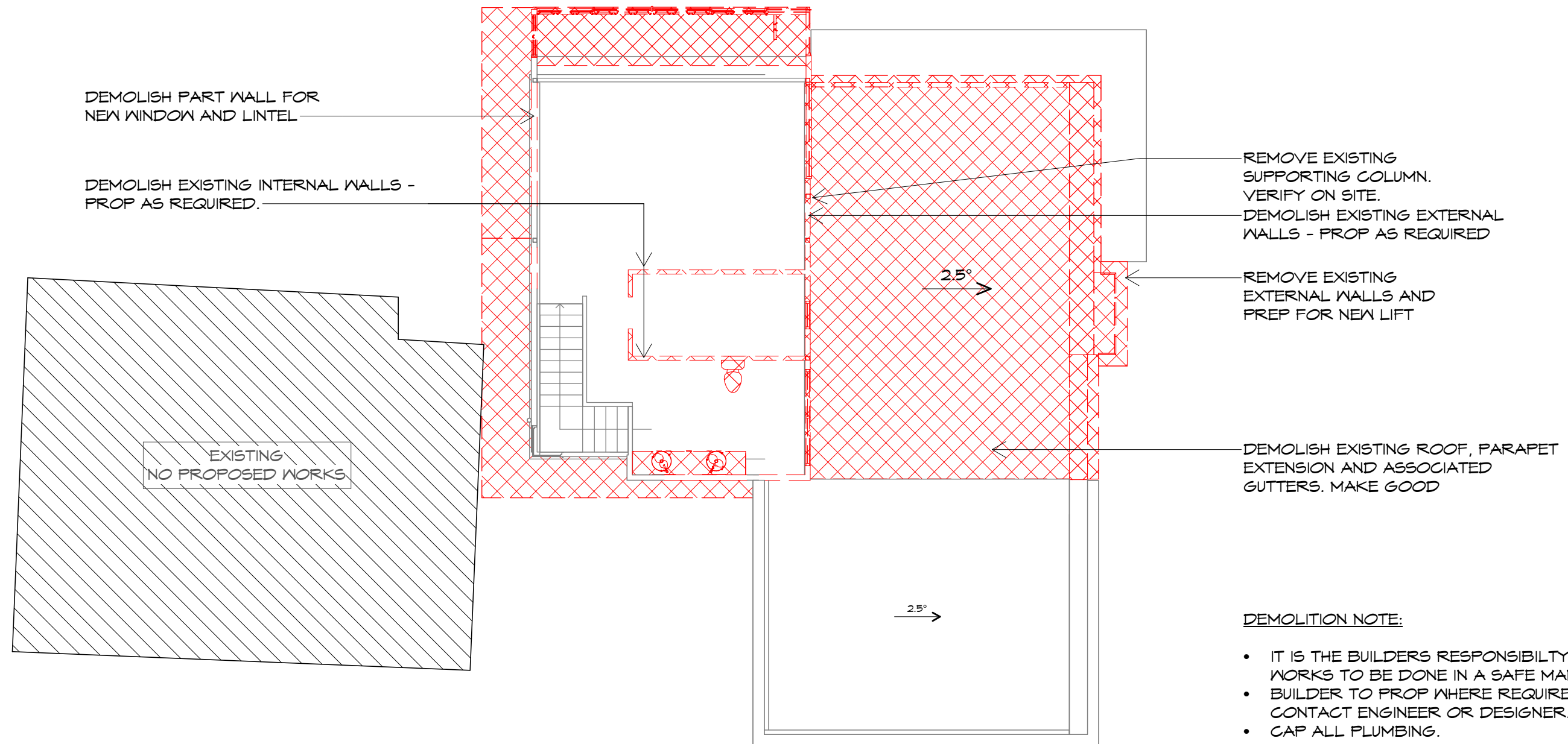
Drawing:
**GROUND FLOOR DEMOLITON
PLAN**

Date: **05.11.2025** Scale: **1 : 100**

Project/Drawing no: **PD23089 -06** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A





DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

FIRST FLOOR DEMOLITION PLAN

1 : 100



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



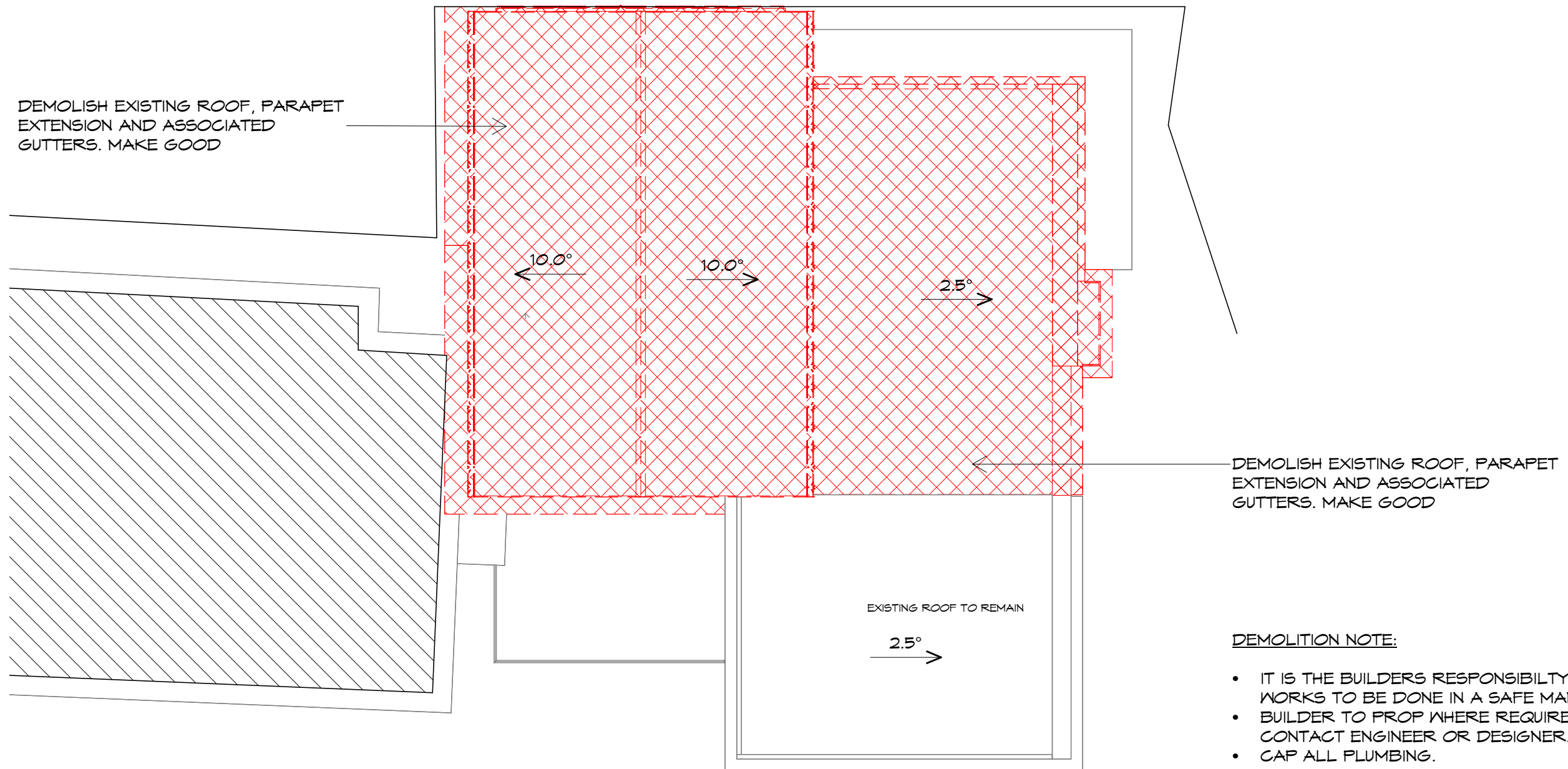
Drawing:
FIRST FLOOR DEMOLITON PLAN

Date: **05.11.2025** Scale: **1 : 100**

Project/Drawing no: **PD23089 -07** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A





ROOF DEMOLITION PLAN

1 : 100

DEMOLISH EXISTING ROOF, PARAPET
EXTENSION AND ASSOCIATED
GUTTERS. MAKE GOOD

EXISTING ROOF TO REMAIN

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



Drawing:
ROOF DEMOLITON PLAN

Date: 05.11.2025
Scale: 1 : 100

Project/Drawing no:
PD23089 -08

Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A

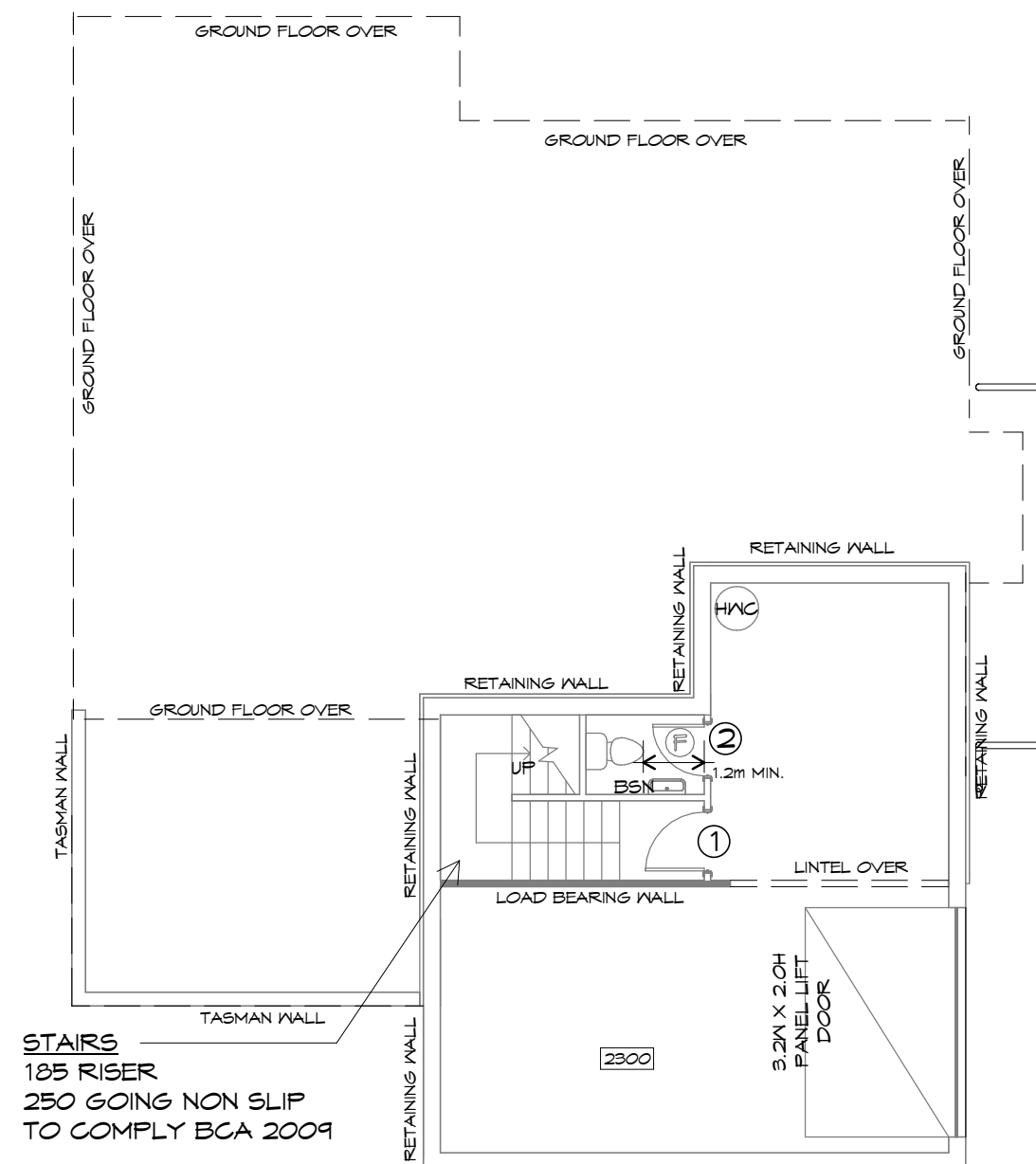


LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- R/H RANGE HOOD
- NEW WALLS
- S.Q. SQUARE STOP
- G.T. GRATED TRENCH

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



GARAGE FLOOR PLAN

1 : 100

EX. GROUND FLOOR	161.20	m2	(	17.35	SQUARES)
EX. GARAGE FLOOR	56.86	m2	(	6.12	SQUARES)
EX. FIRST FLOOR AREA	54.68	m2	(	5.89	SQUARES)
EX. FIRST FLOOR	31.38	m2	(	3.38	SQUARES)
PROPOSED FIRST FLOOR AREA	57.64	m2	(	6.20	SQUARES)
PROPOSED SHED AREA	62.05	m2	(	6.68	SQUARES)
TOTAL AREA	423.81			45.62	



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



Drawing:
EX. GARAGE FLOOR PLAN

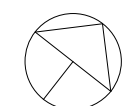
Date:
05.11.2025

Scale:
1 : 100

Project/Drawing no:
PD23089 -09

Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A

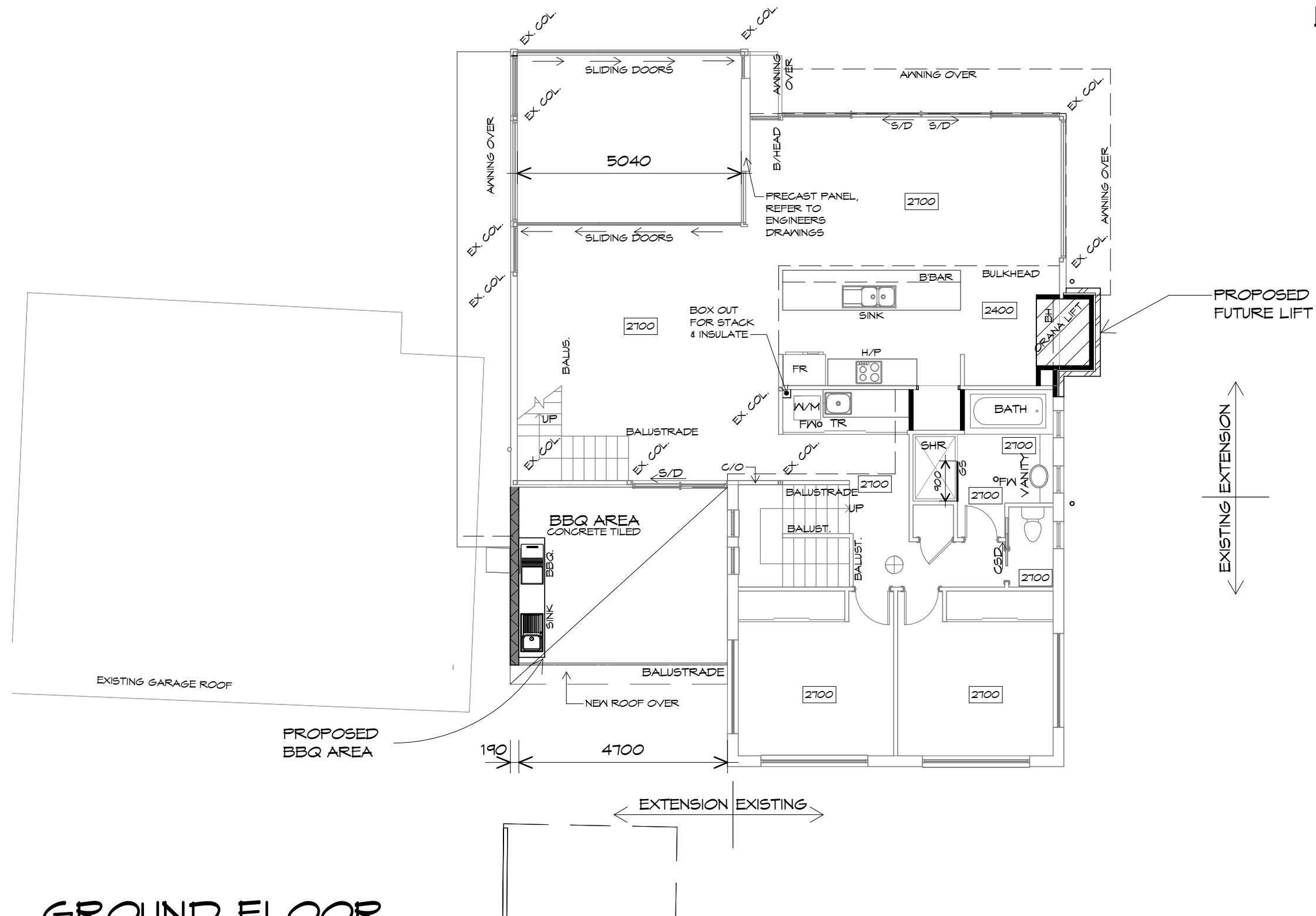


LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- R/H RANGE HOOD
- NEW WALLS
- S.Q. SQUARE STOP
- G.T. GRATED TRENCH

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



GROUND FLOOR

1 : 100

EX. GROUND FLOOR	161.20	m2	(17.35	SQUARES)
EX. GARAGE FLOOR	56.86	m2	(6.12	SQUARES)
EX. FIRST FLOOR AREA	54.68	m2	(5.89	SQUARES)
EX. FIRST FLOOR	31.38	m2	(3.38	SQUARES)
PROPOSED FIRST FLOOR AREA	57.64	m2	(6.20	SQUARES)
PROPOSED SHED AREA	62.05	m2	(6.68	SQUARES)
TOTAL AREA	423.81		45.62	



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



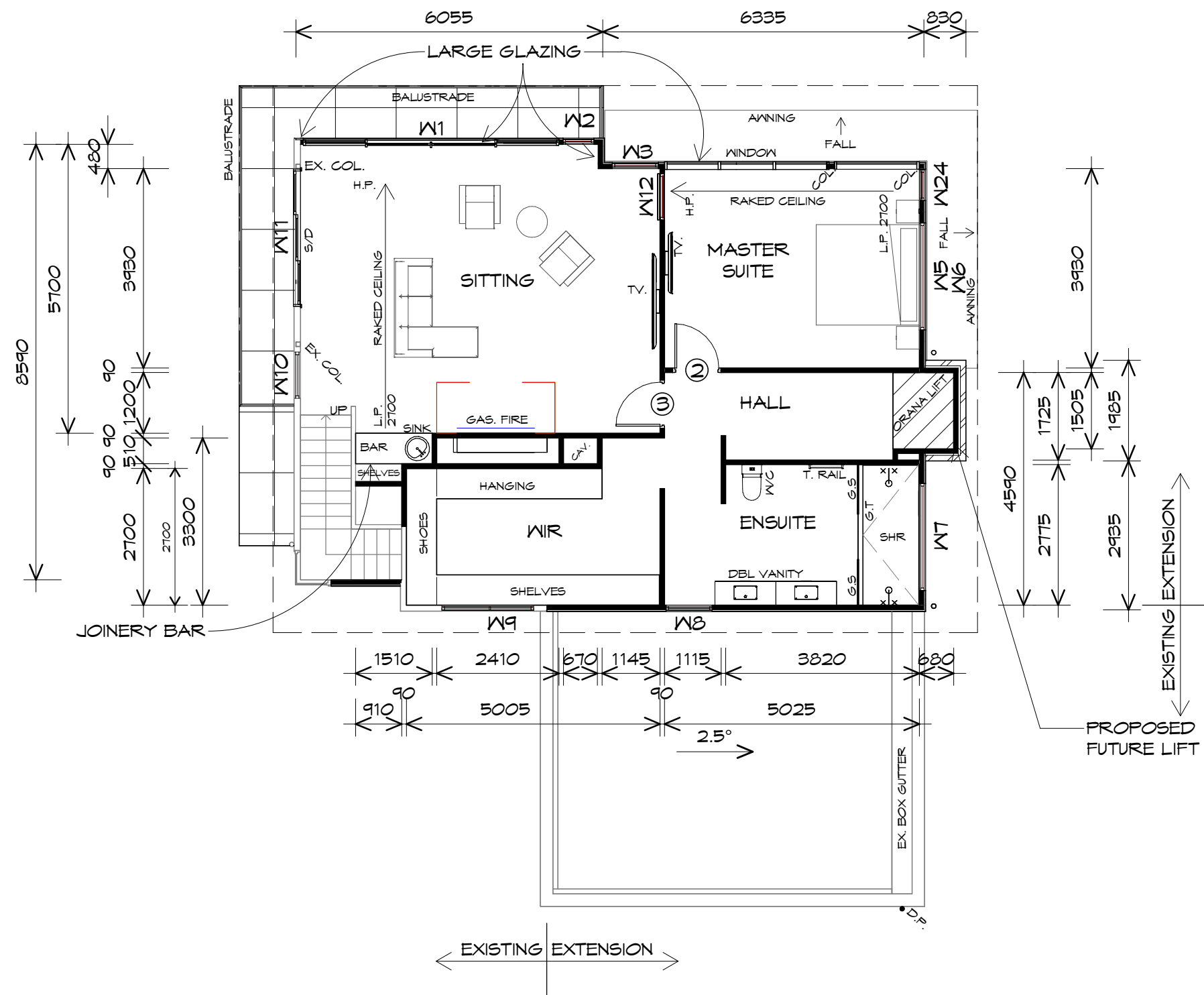
Drawing:
GROUND FLOOR PLAN

Date: 05.11.2025
Scale: 1 : 100

Project/Drawing no:
PD23089 -10

Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLAN

1 : 100

EX. GROUND FLOOR	161.20	m2	(17.35	SQUARES)
EX. GARAGE FLOOR	56.86	m2	(6.12	SQUARES)
EX. FIRST FLOOR AREA	54.68	m2	(5.89	SQUARES)
EX. FIRST FLOOR	31.38	m2	(3.38	SQUARES)
PROPOSED FIRST FLOOR AREA	57.64	m2	(6.20	SQUARES)
PROPOSED SHED AREA	62.05	m2	(6.68	SQUARES)
TOTAL AREA	423.81		45.62	



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION**
1 BARRACK STREET,
AKAROA

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



Drawing:
FIRST FLOOR PLAN

Date:
05.11.2025

Scale:
1 : 100

Project/Drawing no:
PD23089 -11

Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2600	5040	DOUBLE SLIDING DOOR	
W2	1500	610	AWNING WINDOW	
W3	2400	910	AWNING WINDOW	
W5	400	2110	FIXED WINDOW	
W6	400	2110	FIXED WINDOW	
W7	600	2110	FIXED WINDOW	2400 HEAD HEIGHT
W8	2100	910	AWNING WINDOW	OPAQUE
W9	1000	1810	AWNING WINDOW	2700 HEAD HEIGHT
W10	2400	910	FIXED WINDOW	2700 HEAD HEIGHT
W11	2700	2710	STACKING SLIDING DOOR	2700 HEAD HEIGHT
W12	2100	910	FIXED WINDOW	TOGGLED OPAQUE
W24	2400	610	AWNING WINDOW	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	

NOTE:
NEW WINDOWS SHOWN ONLY -
ALUMINIUM AWNING WINDOWS AND SLIDING DOORS, LOW E GLASS
COMPLETE WITH FLY SCREENS
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO
ORDERING.



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



Drawing:
WINDOW AND DOOR
SCHEDULES

Date: 05.11.2025

Scale:

Project/Drawing no: PD23089 -12

Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A

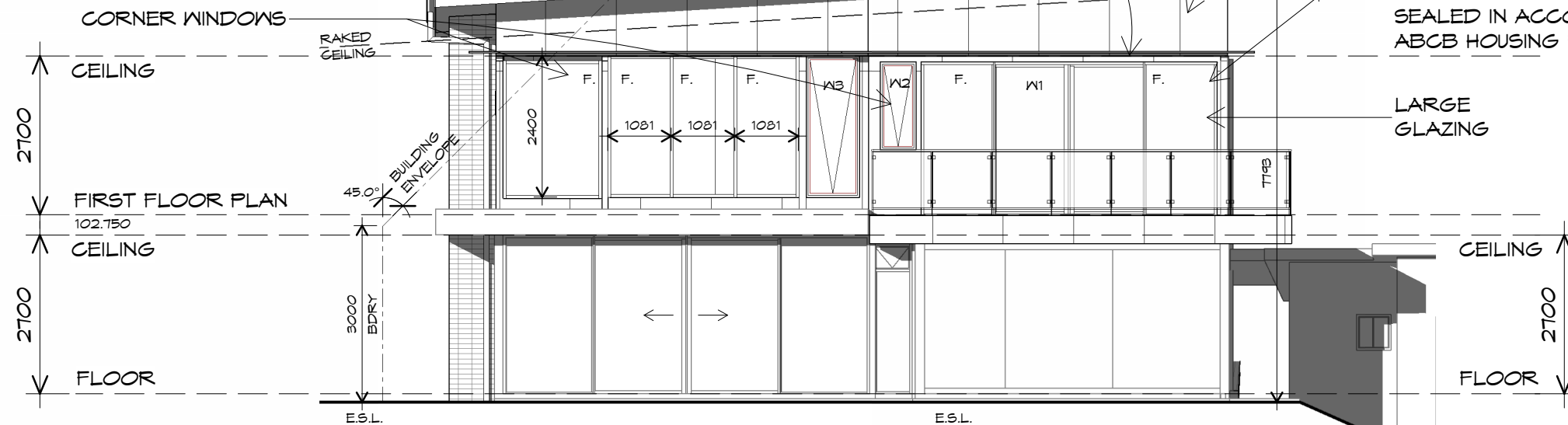
ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

FOLDED METAL WINDOW
SHADING AWNINGS

CLADDING TO BE
SELECTED BY CLIENT

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

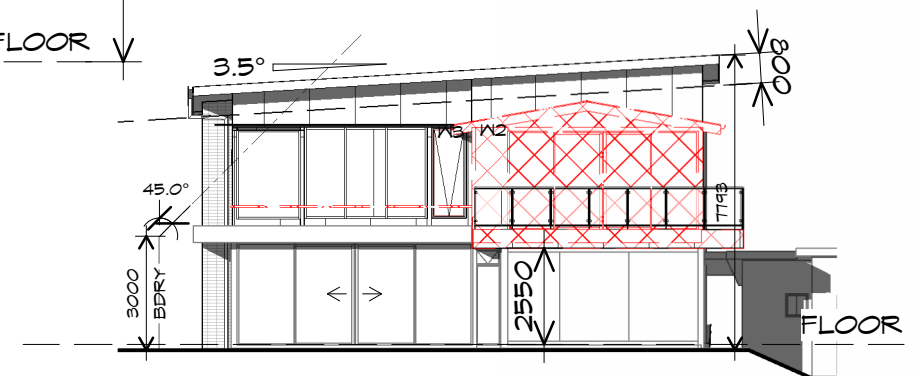
LARGE
GLAZING



NORTHERN ELEVATION

1 : 100

EXTENSION EXISTING

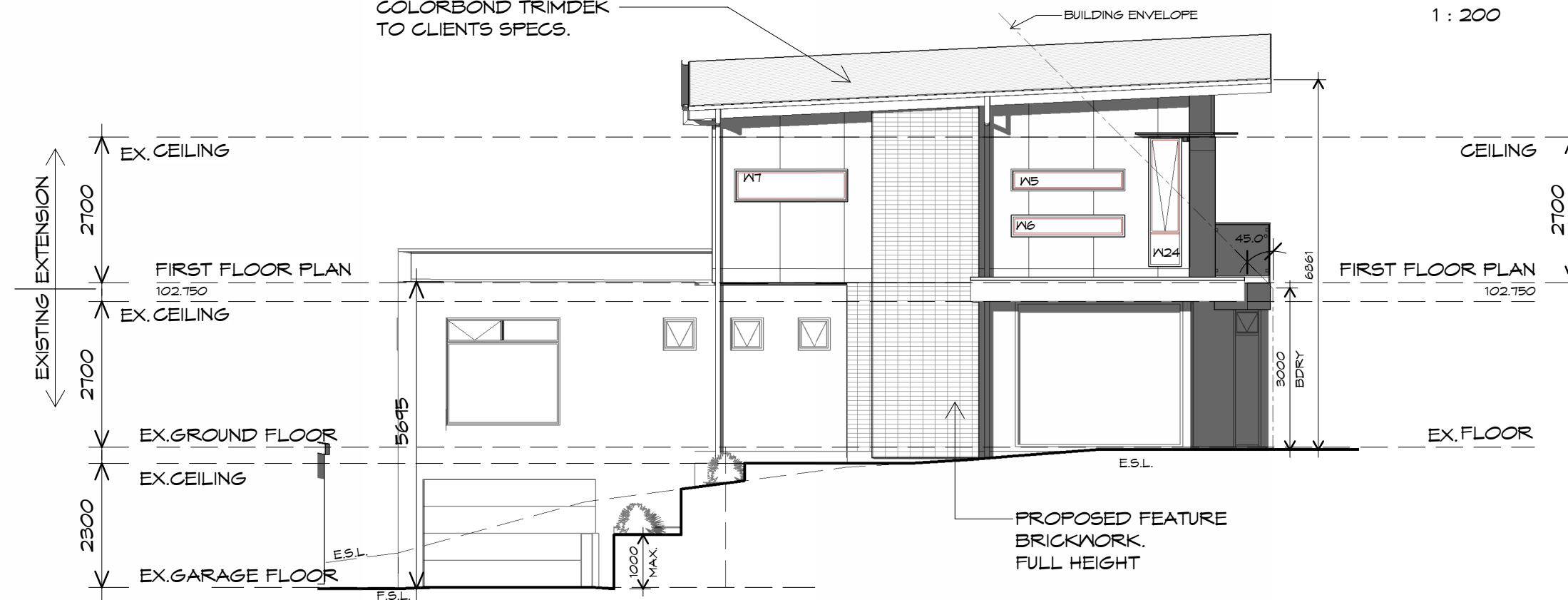


DEMO. NORTHERN ELEVATION

1 : 200

ROOF CLADDING
COLORBOND TRIMDEK
TO CLIENTS SPECS.

BUILDING ENVELOPE



EASTERN ELEVATION

1 : 100

PROPOSED FEATURE
BRICKWORK.
FULL HEIGHT



10 Goodman Court, Invermay Tasmania 7248,
p(l) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**
Client name:
G.P. & M.M. THURLOW

Drawing:
ELEVATIONS

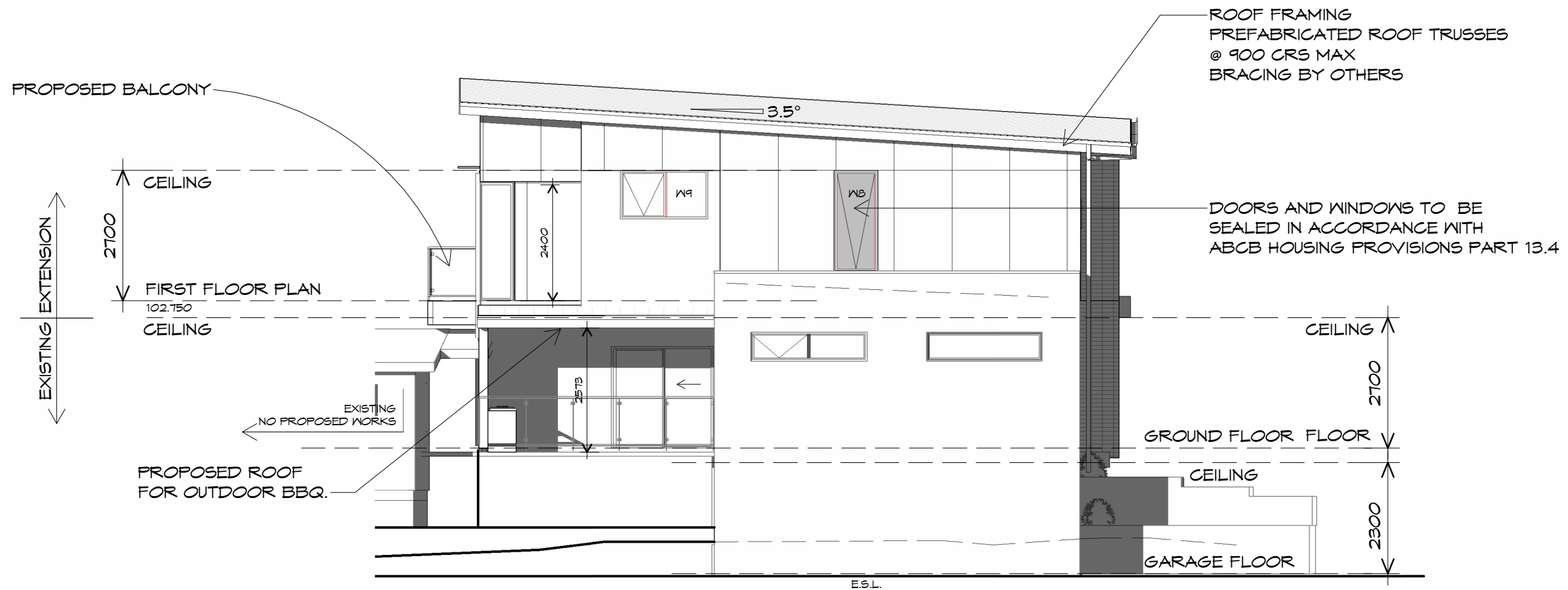
Drafted by: M.R. Approved by: Approver
Date: 05.11.2025 Scale: As indicated

Project/Drawing no: PD23089 -13 Revision: 07
Accredited building practitioner: Frank Geskus -No CC246A



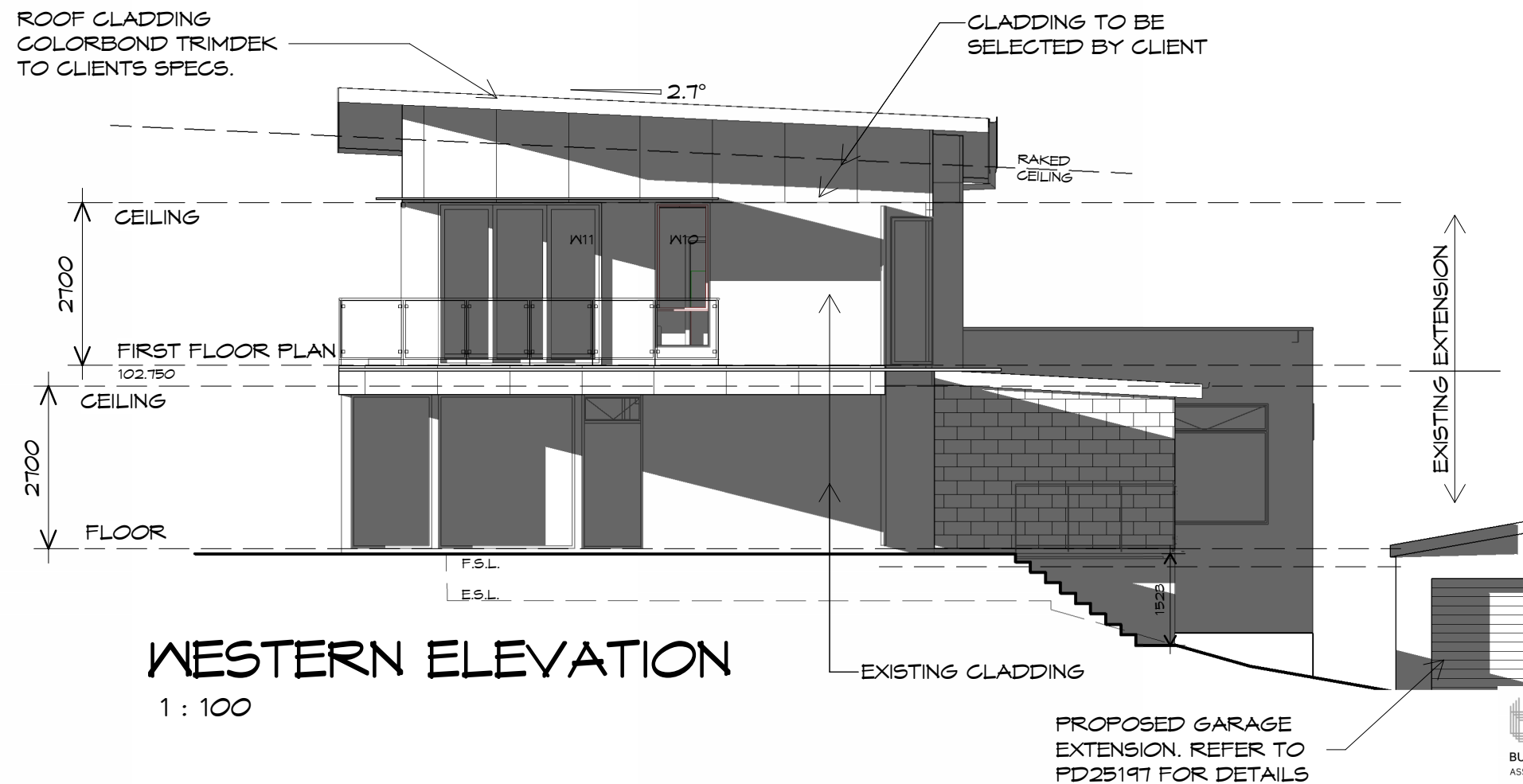
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION**
1 BARRACK STREET,
AKAROA
Client name:
G.P. & M.M.THURLOW

Drawing:
ELEVATIONS

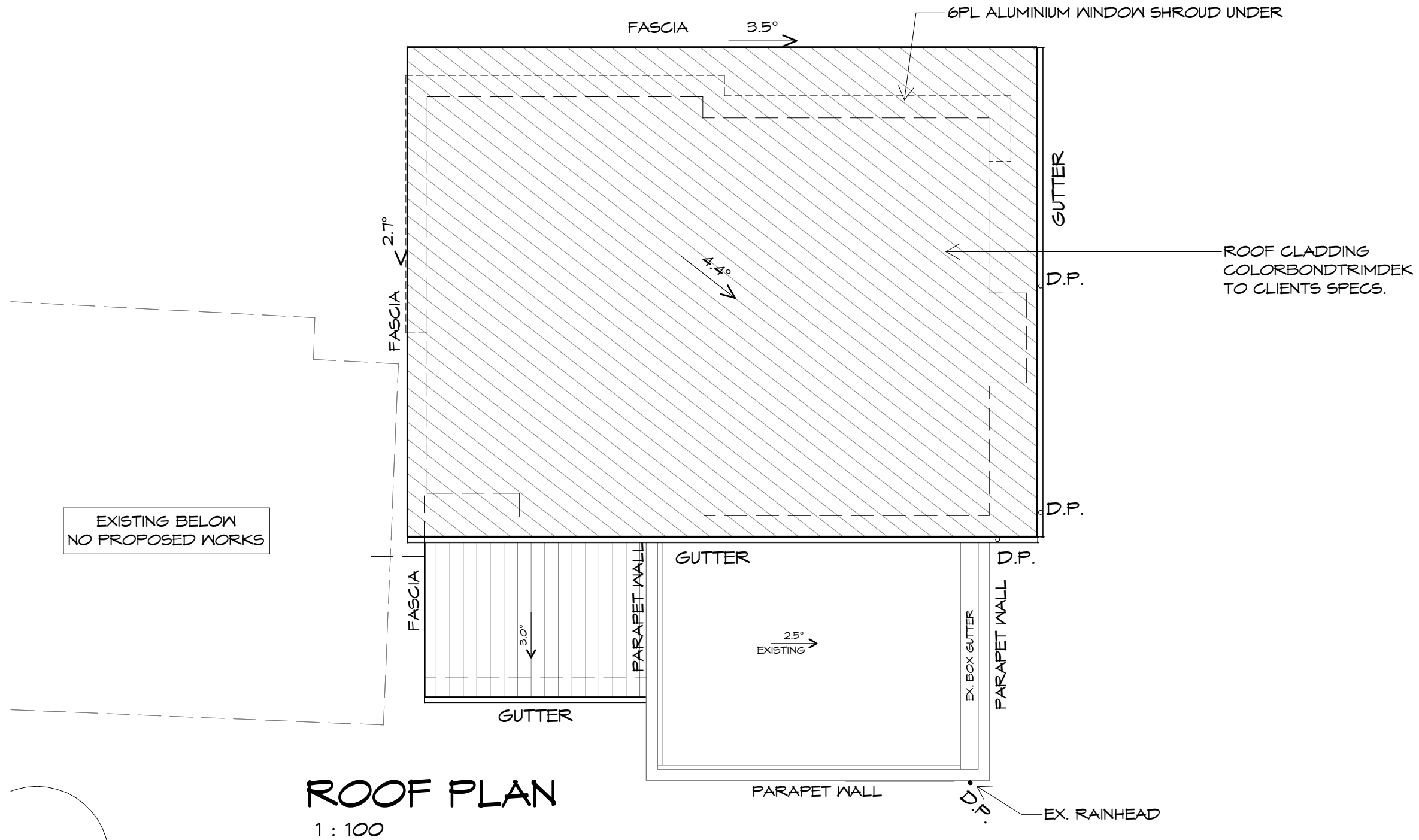
Drafted by:
M.R. Approved by:
Approver

Date:
05.11.2025 Scale:
1 : 100

Project/Drawing no:
PD23089 -14 Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A





10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA

Client name:
G.P. & M.M.THURLOW

Drafted by:
M.R.

Approved by:
Approver



Drawing:
ROOF PLAN

Date: 05.11.2025

Scale: 1 : 100

Project/Drawing no:
PD23089 -15

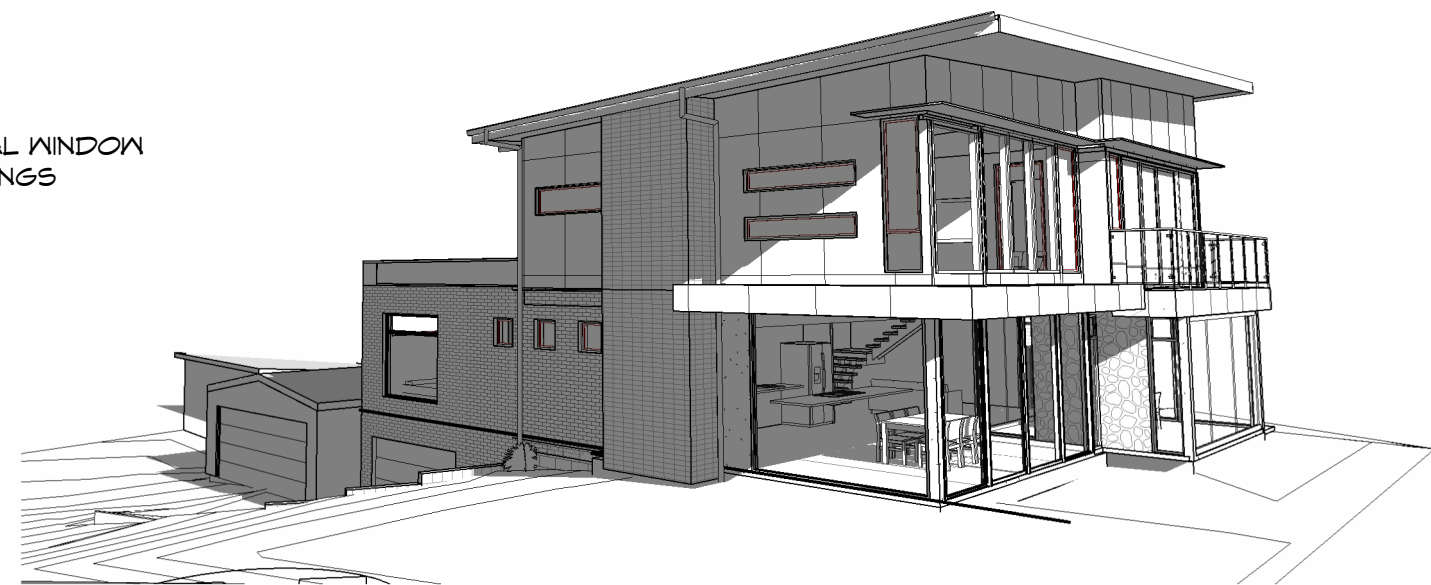
Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A





FOLDED METAL WINDOW
SHADING AWNINGS



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**
Client name:
G.P. & M.M.THURLOW

Drawing:
PERSPECTIVES

Drafted by: **M.R.** Approved by: **Approver**

Date: **05.11.2025** Scale:

Project/Drawing no: **PD23089 -16** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A





PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

FOLDED METAL WINDOW
SHADING AWNINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED ALTERATIONS
& SHED EXTENSION
1 BARRACK STREET,
AKAROA**
Client name:
G.P. & M.M.THURLOW

Drawing:
PERSPECTIVES

Drafted by: **M.R.** Approved by: **Approver**

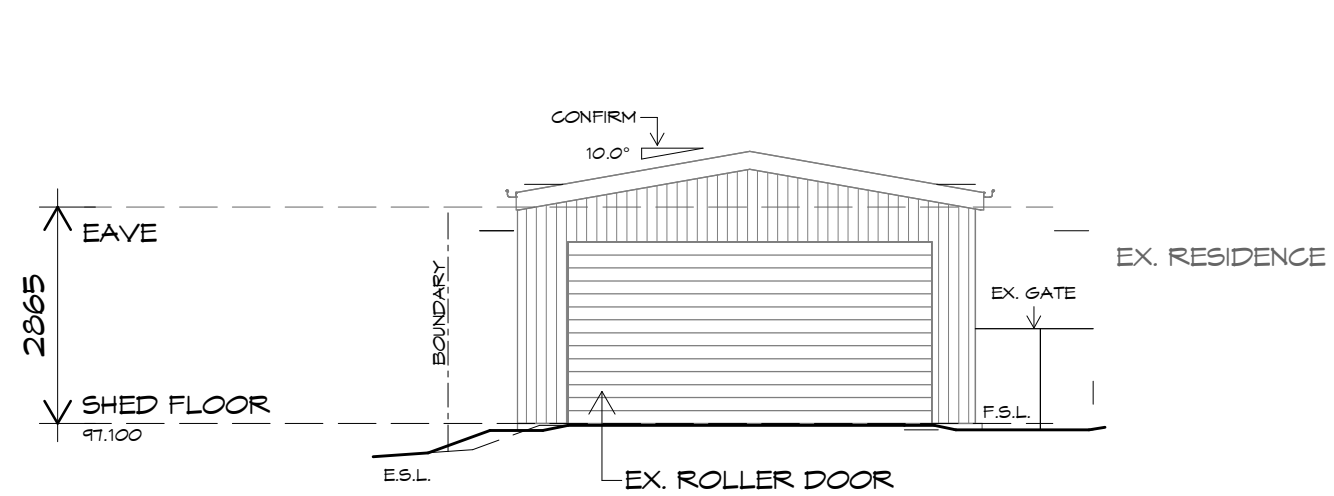
Date:
05.11.2025

Project/Drawing no:
PD23089 -17

Revision:
07

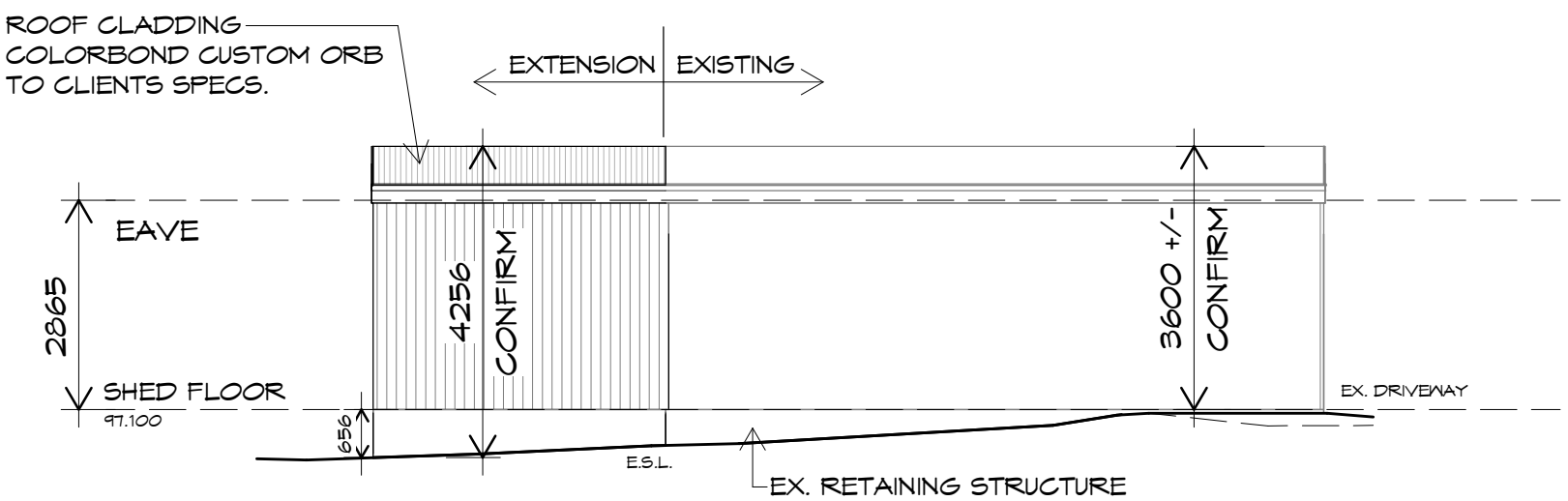
Accredited building practitioner: Frank Geskus -No CC246A





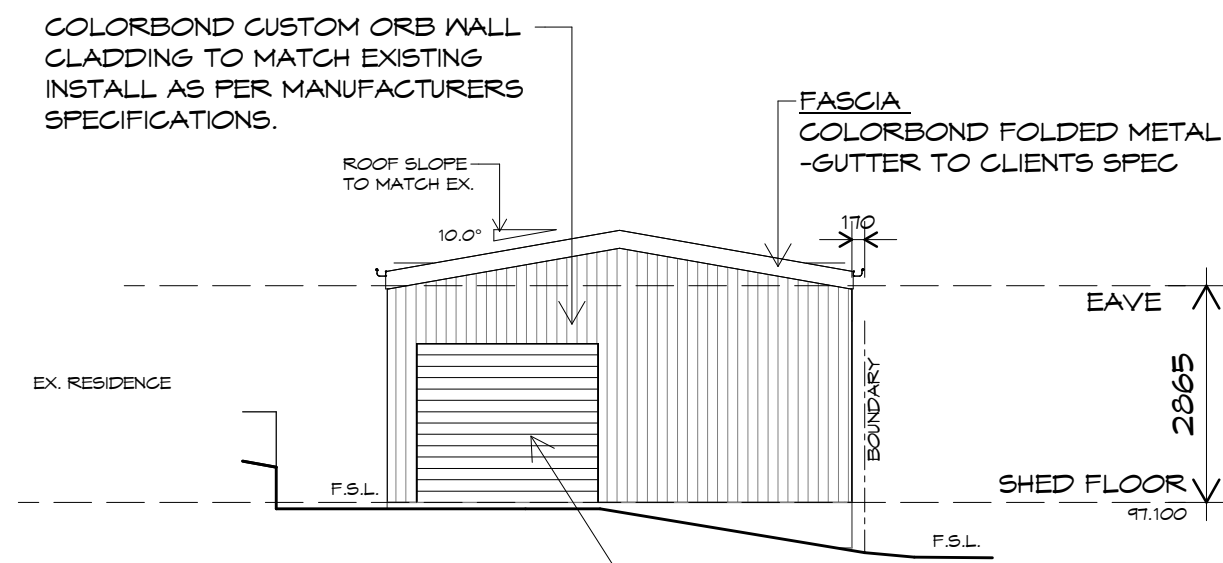
EX. EASTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

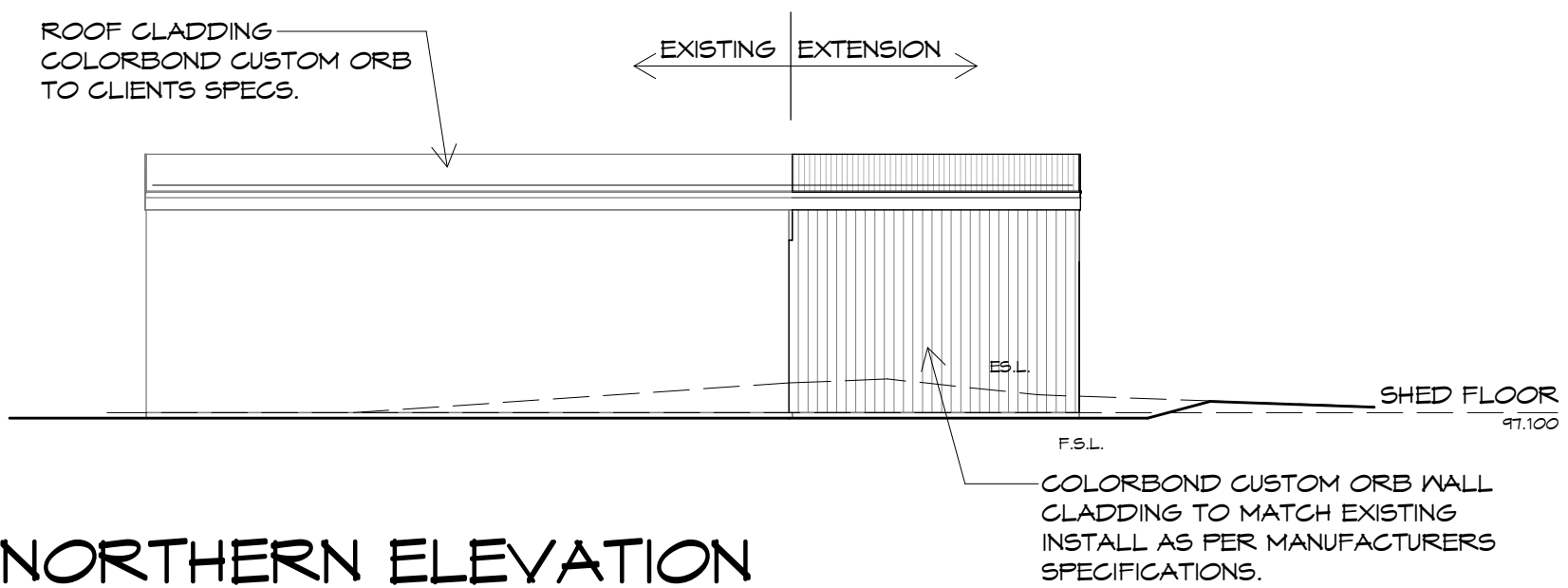
1 : 100



WESTERN ELEVATION

1 : 100

ROLLER DOOR 2100 HIGH x 2400 WIDE. COLOR TO CLIENT SPEC SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC



NORTHERN ELEVATION

1 : 100



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
G.P. & M. M. THURLOW

Project:
PROPOSED SHED EXTENSION
1 BARRACK STREET,
AKAROA

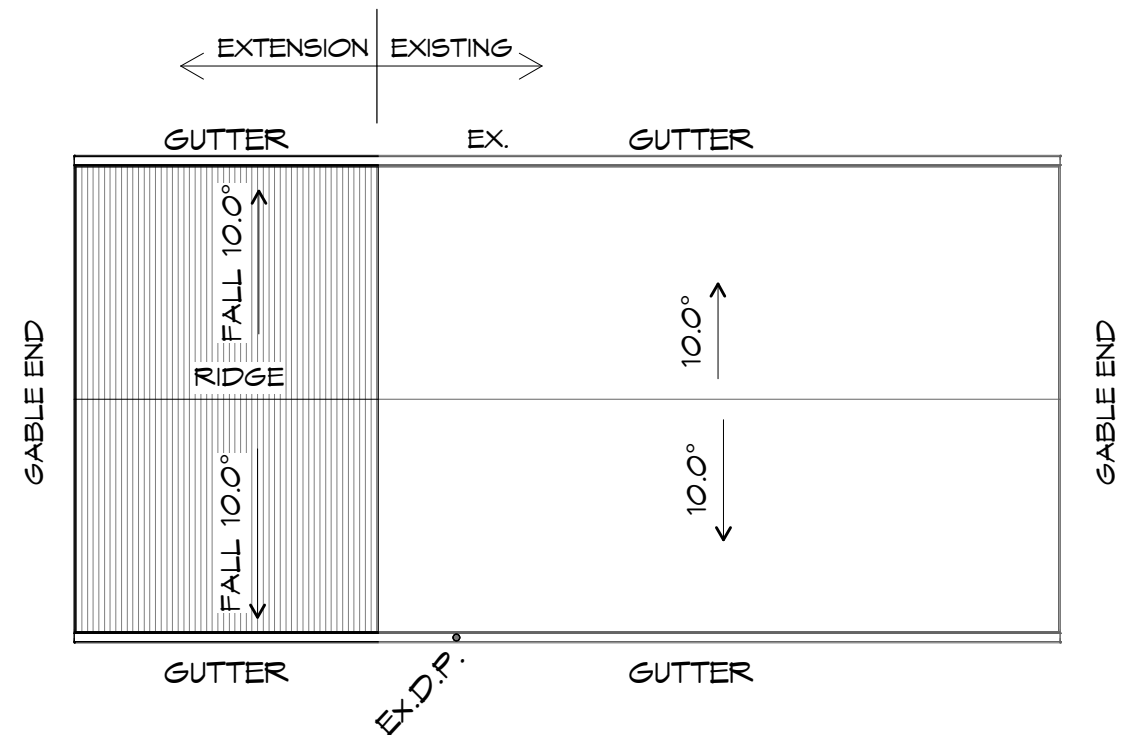
Drawing:
SHED ELEVATIONS

Date: 05.11.2025	Drafted by: I.J.	Approved by: F.G.
Project/Drawing no: PD25187 - S02	Scale: 1 : 100	Revision: 02

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



ROOF PLAN
1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

OVERFLOW MEASURES
INSTALL **FRONT FACE SLOTTED GUTTER OR**
10mm CONTROLLED BACK GAP, STAND OFF
BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF
10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.4.6

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
G.P. & M. M. THURLOW

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED SHED EXTENSION
1 BARRACK STREET,
AKAROA

Drawing:
SHED ROOF PLAN

Date:	Drafted by:	Approved by:
05.11.2025	I.J.	F.G.

Project/Drawing no:	Scale:	Revision:
PD25187 - S03	1 : 100	02

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



21 October 2025

Break O'Day Council
32-34 Georges Bay Esplanade
St Helens
Tasmania

Dear Planner,

Re: Proposed residential and shed extension at Lot 1, 1 Barrack Street, Akaroa

The project includes a first floor renovation/extension to an existing dwelling and a shed extension to an existing shed at Lot 1,1 Barrack street, Akaroa. The property is an existing strata property and located within the General Residential zone and various code overlays under the Tasmanian Planning scheme, including: Waterway and coastal protection area, medium coastal erosion hazard band, bushfire prone areas, and safeguarding for airports. Please see below for justification against the scheme with consideration to multiple dwellings.

8.4.2 Setbacks and Building Envelope for all dwellings

- A1 Complies – not within 4.5m of frontage
- A2 Complies – garage/shed are existing
- A3 Does not comply – extension is outside of building envelope to side boundaries
 - P3 – Expected impact to the neighbouring multiple dwelling is expected to be minor, as illustrated by the sun shadow diagrams on sheet 15 of PD23089.

8.4.3 Site Coverage and private open space

- A1 Site coverage is not greater than 50% per parent title.
5347m2 approx parent title site area.
Site coverage of all dwellings on the title equate to approximately 1364m2.
Leading to a site coverage ration of approximately 25%.
- A2 Dwelling is existing and is provided with private open space

8.4.4 Sunlight to private open space of multiple dwellings

- A1 Does not comply
 - P1 The dwelling location is existing however the proposed first floor extension is located outside the permissible building envelope under figure 8.4. Refer to sun shadow diagrams for impact to sheet 15 for sun shadow diagrams.

8.4.6 Privacy for all dwellings

- A1 Does not comply – within 3m of boundaries

- P1 The proposed balcony extension does not overlook a dwelling on an adjoining property as the adjoining property is crown/council land.
- A2 Does not comply – within 3m of boundaries
- P2 The proposed extension includes additional windows along the boundary however does not overlook a dwelling on an adjoining property as the adjoining property is crown/council land to the north. Existing windows on these faces also do not have any shading or screening devices.

8.4.8 Waste storage

- A1 Dwelling is existing – no additional measures

C10.0 Coastal Erosion Hazard Code

C10.4 Development exempt from this code:

- (a) *use or development that is building or plumbing work as defined in the building act 2016.*
- (b) *intensification of an existing use, if not for critical, hazardous or vulnerable use.*

It is believed that this development is exempt from the Coastal Erosion Hazard Code as the use is existing and the application relates to an intensification of an existing residential use. The proposed works also constitute the requirement for future building approval and thus is believed to meet the exemptions as listed.

BRE-S2.7.1 Stormwater management

- A1 Complies
- It is understood that the site is already serviced by stormwater and is connected to the councils stormwater system based on previous documentation and permits. Stormwater is collected on site in a rain water tank and overflows to a stormwater system.

If council requires further information to assess the application, please do not hesitate to contact the undersigned.

Kind regards



Mitch Roberts

