

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00172
Applicant	Engineering Plus
Proposal	Storage - Construction of a Shed
Location	77 High Street, Mathinna (CT 208005/11)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 20th December 2025 **until 5pm Tuesday 13th January 2026.**

John Brown
GENERAL MANAGER

DRAWING SCHEDULE

A00	COVER PAGE
A01	LOCALITY PLAN
A02	SITE PLAN
A03	RFI NOTES

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	12.0 VILLAGE ZONE
BUILDING CLASS:	CLASS 10
LAND TITLE REFERENCE NUMBER:	208005/11
DESIGN WIND SPEED:	ASSUME "N2"
SOIL CLASSIFICATION:	ASSUME "H1"
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

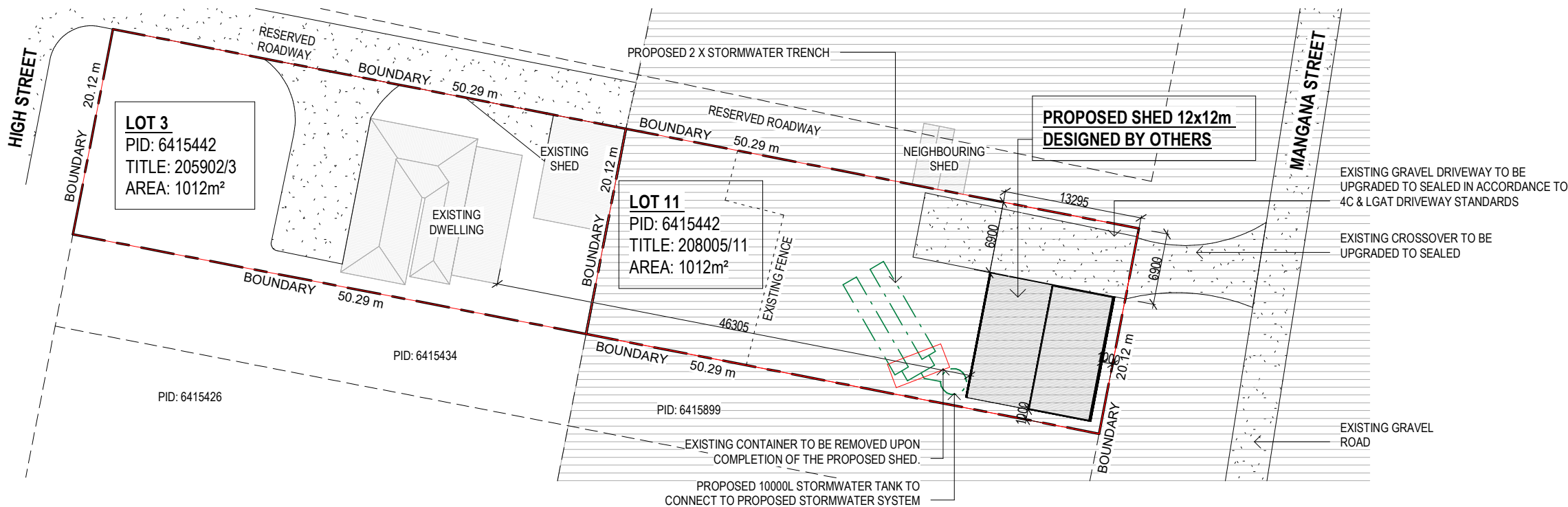
PROPOSED SHED

Z. YOUNG
77 HIGH STREET
MATHINNA TAS 7214

BREAK O DAY COUNCIL

ISSUED FOR DEVELOPMENT APPROVAL

DEVELOPMENT AREA	
Name	Area
PROPOSED SHED	146.40 m ²
	146.40 m ²



LOCALITY PLAN
SCALE 1 : 500

LEGEND	
	SEWER
	WATER
	STORMWATER
	BUSHFIRE PRONE AREA

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM PROPOSED SHED TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL – GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
 - A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES;
 - A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
 - A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES LONG.

BOTH TITLE: 205902/3 AND 208005/11 ARE UNDER THE SAME OWNERSHIP. THE CLIENT INTENDS TO USE THE PROPOSED SHED ON TITLE 208005/11 FOR RECREATIONAL VEHICLE STORAGE.

				Date Drawn: 25.08.25
				Drawn: J. Chin
				Checked: J. Pfeiffer
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
C	R.F.I UPDATES	28.11.25	J.C	Accredited Building Designer
B	R.F.I UPDATES	17.11.25	J.C	Designer Name: J. Pfeiffer
A	DEVELOPMENT APPROVAL	15.09.25	J.C	Accreditation No: CC2211T
-	ISSUED FOR REVIEW	10.09.25	J.C	
Rev:	Amendment:	Date:	Int:	

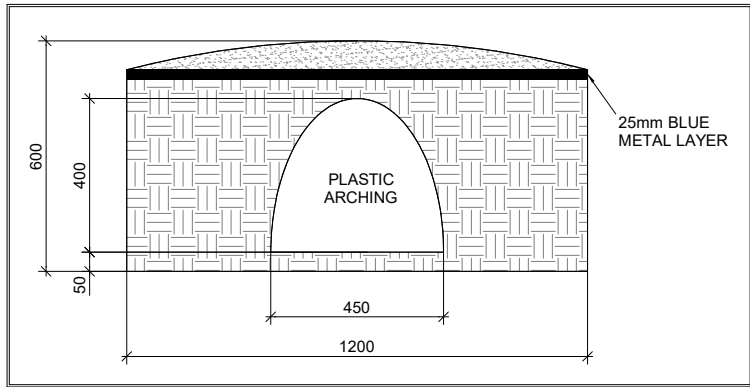
ISSUED FOR APPROVAL

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Client: Z. YOUNG
Project: PROPOSED SHED
Address: 77 HIGH STREET
MATHINNA TAS 7214

Office: 6331 7021
info@engineeringplus.com.au

Drawing No: 2025-278 A01 / A03
Rev C



TYPICAL STORMWATER DISPOSAL TRENCH
SCALE 1 : 500

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL – GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

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- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
 - A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES;
 - A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
 - A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES LONG.

SITE PLAN
SCALE 1 : 200

BOTH TITLE: 205902/3 AND 208005/11 ARE UNDER THE SAME OWNERSHIP. THE CLIENT INTENDS TO USE THE PROPOSED SHED ON TITLE 208005/11 FOR RECREATIONAL VEHICLE STORAGE.

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Date Drawn: 25.08.25
Drawn: J. Chin
Checked: J. Pfeiffer
Approved: J. Pfeiffer
Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

ISSUED FOR APPROVAL

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Drawing No: 2025-278 A02 / A03
Rev: C

THE PROPOSED SHED WILL BE USED FOR RESIDENTIAL STORAGE OF RECREATIONAL VEHICLE FOR TITLE: 205902/3. BOTH TITLE: 205902/3 AND 208005/11 ARE UNDER THE SAME OWNERSHIP.

12.0 VILLAGE ZONE - PLANNING RESPONSES
12.3.1 ALL NON RESIDENTIAL USES

BOTH TITLE: 205902/3 AND 208005/11 ARE UNDER THE SAME OWNERSHIP. THE PROPOSED SHED WILL BE USED AS RESIDENTIAL STORAGE FOR THE NEIGHBOURING TITLE: 205902/3. THE PROPOSED SHED WILL BE USED FOR STORAGE OF RECREATIONAL VEHICLES.

12.4.3 SETBACK

P1:
THE PROPOSED SHED IS LOCATED ON A FLATTER PART OF THE PROPERTY, AT THE SOUTH-EAST CORNER. PLEASE REFER TO THE SITE PLAN FOR FURTHER TOPOGRAPHY INFORMATION.

BOTH NEIGHBOURING PROPERTIES ARE VACANT. THE CLOSEST ADJOINING BUILDING IS THE SHED AT 8 GIBLIN STREET, MATHINNA, WHICH IS LOCATED CLOSE TO THE WESTERN BOUNDARY; THEREFORE, THE PROPOSED SHED WILL BE CONSISTENT WITH THE STREETScape OF MANGANA STREET.

THE FORM OF THE PROPOSED SHED MATCHES THE EXISTING AND NEIGHBOURING BUILDINGS AND DOES NOT STAND OUT AMONG THE SURROUNDING STRUCTURES. THE HEIGHT OF THE PROPOSED SHED IS 4725 MM, WHICH IS SIMILAR TO THE HEIGHT OF OTHER NEIGHBOURING DWELLINGS AND SHEDS.

THE PROPOSED SHED IS LOCATED OFF THE MAIN STREET OF MATHINNA, HIGH STREET, AND IS HIDDEN FROM BENT STREET BY BUSHES. THEREFORE, THE PROPOSED SHED WILL NOT BE VISIBLE FROM MAIN ROADS IN MATHINNA.

DUE TO THE SIZE OF THE CROSSOVER AND DRIVEWAY, THE SITE WILL PROVIDE SAFE ACCESS FOR RECREATIONAL VEHICLES WHILE ALSO ENSURING SAFETY FOR OTHER ROAD USERS.

P2:
THE PROPOSED SHED IS LOCATED ON A FLATTER PART OF THE PROPERTY, AT THE SOUTH-EAST CORNER. PLEASE REFER TO THE SITE PLAN FOR FURTHER TOPOGRAPHY INFORMATION.

THE PROPERTY, TITLE 208005/11, HAS AN AREA OF 1012 M² WITH A FRONTAGE OF 20.12 M ON MANGANA STREET. THE LONGER SIDES OF THE SITE (50.29 M) FACE NORTH AND SOUTH, ADJACENT TO A RESERVED ROADWAY AND PID: 6415899.

BOTH NEIGHBOURING PROPERTIES ARE VACANT. THE CLOSEST ADJOINING BUILDING IS THE SHED AT 8 GIBLIN STREET, MATHINNA, LOCATED CLOSE TO THE EASTERN BOUNDARY; THEREFORE, THE PROPOSED SHED WILL BE CONSISTENT WITH THE STREETScape OF MANGANA STREET.

CURRENTLY, THE SITE (208005/11) AND ITS NORTHERN AND SOUTHERN NEIGHBOURS ARE VACANT. THEREFORE, THE PROPOSED SHED WILL NOT AFFECT ANY SURROUNDING PRIVATE OPEN SPACES OR AREAS.

THE FORM OF THE PROPOSED SHED MATCHES THE EXISTING AND NEIGHBOURING BUILDINGS AND DOES NOT STAND OUT AMONG THE SURROUNDING STRUCTURES. THE HEIGHT OF THE PROPOSED SHED IS 4725 MM, WHICH IS SIMILAR TO THE HEIGHT OF OTHER NEIGHBOURING DWELLINGS AND SHEDS.

THE NEIGHBOURING PROPERTIES OF 77 HIGH STREET, MATHINNA, CONTAIN MULTIPLE SHEDS, INCLUDING TITLES: 231121/2, 212058/9, AND 139870/1.THEREFORE, THIS DEVELOPMENT MATCHES THE AREA

P3
N/A

C2.0 PARKING AND SUSTAINABLE TRANSPORT CODE
C.2.5.1 CAR PARKING NUMBERS

P1.1
THE PROPOSED SHED WILL BE USED FOR RESIDENTIAL STORAGE OF RECREATIONAL VEHICLE FOR TITLE: 205902/3. BOTH TITLE: 205902/3 AND 208005/11 ARE UNDER THE SAME OWNERSHIP. CLIENT WILL BE ABLE TO ACCESS THE SITE THROUGH FOOT FROM TITLE : 205902/3. THE RECREATIONAL VEHICLE WILL BE PARKED IN AND UNDER THE PROPOSED SHED.

THERE ARE NO PUBLIC TRANSPORTS NEARBY BUT IT IS ACCESSIBLE TO TITLE : 205902/3 WHERE THE CLIENT'S CARS WILL BE PARKED AT.

NO SITE CONSTRAINTS AS THE PROPOSED SHED IS LOCATED ON THE FLATTER PART OF THE PROPERTY.

DUE TO THE SIZE OF THE CROSSOVER AND DRIVEWAY, THE SITE WILL PROVIDE SAFE ACCESS FOR RECREATIONAL VEHICLES WHILE ALSO ENSURING SAFETY FOR OTHER ROAD USERS. ON STREET PARKING WILL BE SAFE AS WELL DUE TO THE DISTANCE BETWEEN EASTERN BOUNDARY TO MANGANA ROAD

P1.2
N/A

C2.0 PARKING AND SUSTAINABLE TRANSPORT CODE
C2.6.1 CONSTRUCTION OF PARKING AREAS

P1
THE EXISTING GRAVEL DRIVEWAY TO THE PROPOSED SHED WILL BE UPGRADED TO SEALED (PLEASE SEE PLANS). IT WILL BE DRAINED TO THE STORMWATER TRENCH ON SITE.

PLEASE SEE UPDATED PLANS A01 & A02.

C2.6.2 DESIGN AND LAYOUT OF PARKING AREAS

P1
PLEASE SEE UPDATED PLANS A01 & A02. THE EXISTING GRAVEL DRIVEWAY WILL BE UPGRADED TO A SEALED DRIVEWAY TO MEET LGAT DRIVEWAY STANDARDS AND WILL BE USABLE IN ALL WEATHER CONDITIONS. THE WIDTH OF THE DRIVEWAY WILL PROVIDE A SAFE DISTANCE FOR BOTH PEDESTRIANS AND VEHICLES.

THE PROPOSED SHED WILL BE USED AS RESIDENTIAL STORAGE FOR THE NEIGHBOURING TITLE: 205902/3 AND WILL ACCOMMODATE RECREATIONAL VEHICLES. BOTH TITLE: 205902/3 AND 208005/11 ARE UNDER THE SAME OWNERSHIP.

AS THE PROPOSED SHED IS ACCESSIBLE FROM TITLE: 205902/3, WHERE THE CLIENT'S CARS WILL BE PARKED, NO ADDITIONAL CARPARKS ARE PROPOSED ON SITE. THE RECREATIONAL VEHICLES WILL BE STORED INSIDE THE SHED.

BRE-S2.0 STORMWATER MANAGEMENT SPECIFIC AREA PLAN
PLEASE SEE UPDATED PLANS A01 & A02. 2 X 10m x 1.5m TRENCHES HAVE BEEN PROPOSED TO ACCOMMODATE THE OVERFLOW OF THE 10 000L STORMWATER TANK.

ON SITE BUILDINGS:
A SHIPPING CONTAINER ON SITE WILL BE REMOVED UPON THE COMPLETION OF THE PROPOSED SHED. THE PROPOSED SHED WILL PROVIDE STORAGE FOR ELEMENTS CURRENTLY SCATTERED ON SITE.



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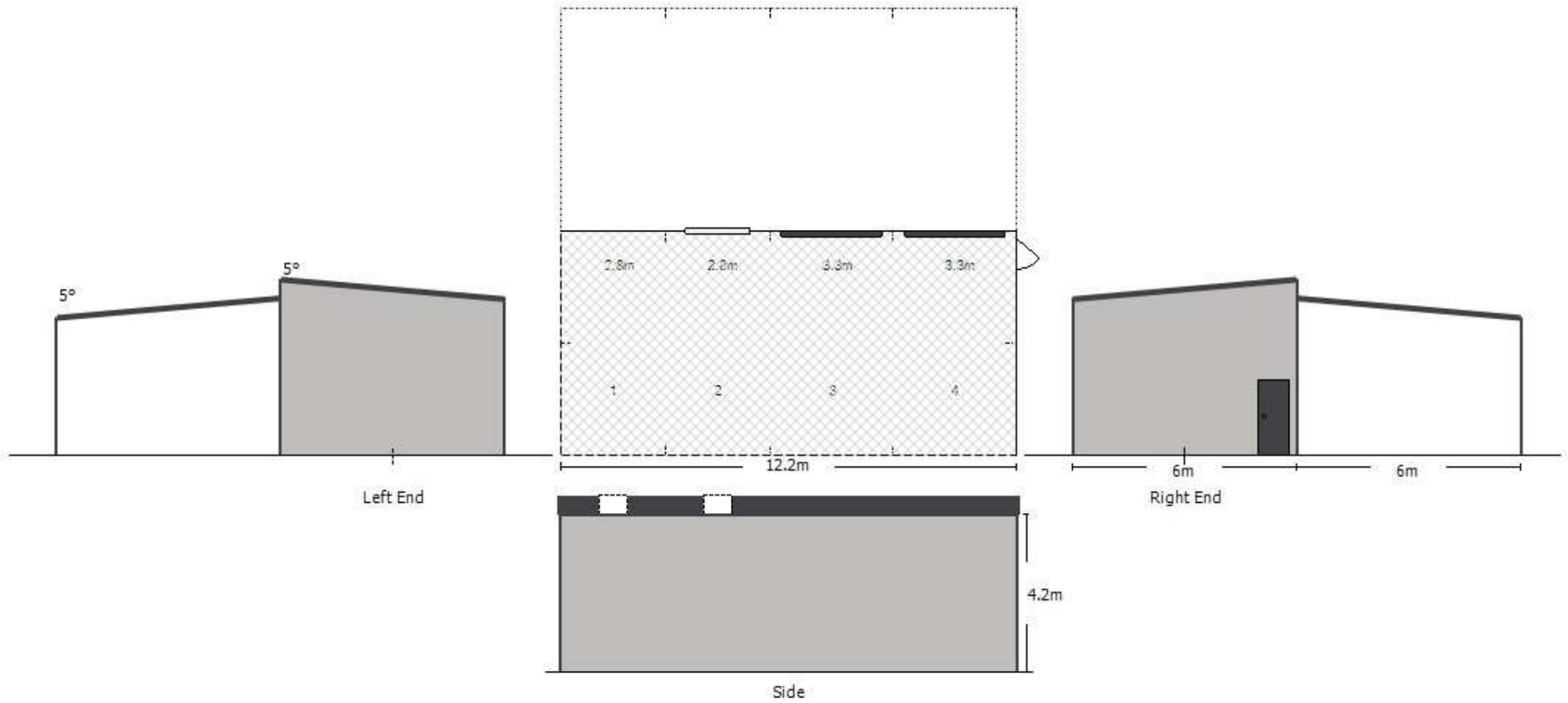
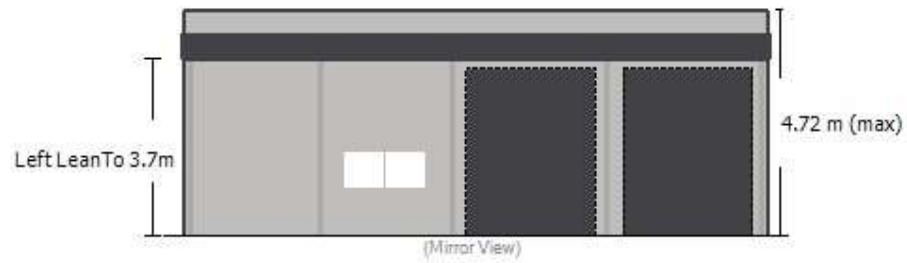


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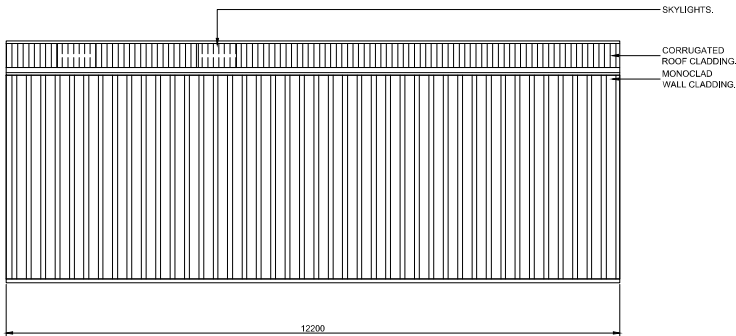
Accredited Building Designer
Designer Name: J.Pfeiffer
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2025-278 A03 / A03	C

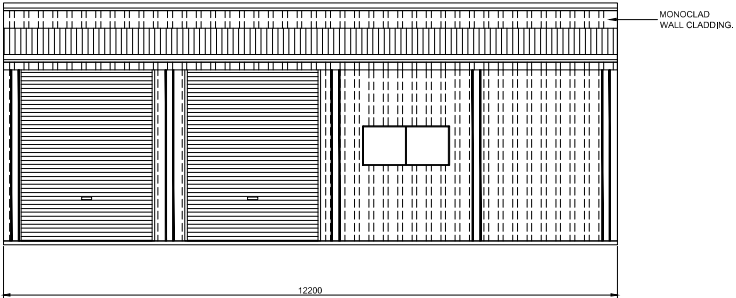
Building For:
Zannette Young
77 High Street Mathinna
Job Number: 100696
Produced by:
Fair Dinkum Builds Launceston
Phone: 03 6334 5535



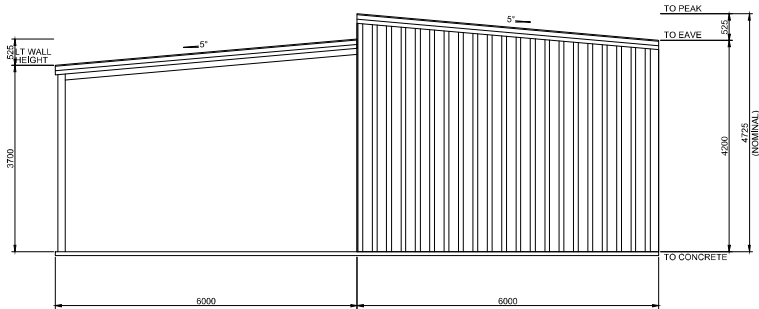
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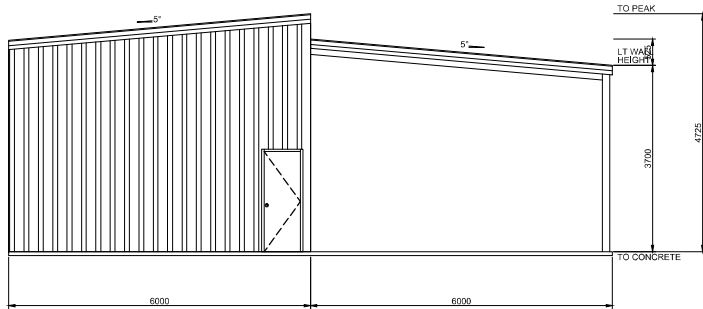
1
7 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



2
7 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



4
7 ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100



3
7 ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100

BUILDING COLOURS

WALL	SHALE GREY
ROOF	MONUMENT
ROLLER DOOR	MONUMENT
P.A. DOOR	MONUMENT
WINDOW	MONUMENT
DOWNPIPE	N/A - downpipes by other
GUTTER	MONUMENT
CORNER FLASHING	MONUMENT
BARGE FLASHING	MONUMENT
OPENING FLASHING	MONUMENT

1
OF
1

SHEET

JOB NO.
FDLC100696

DATE
16/9/2025

CHECKED
TJM

DRAWN
FDB

STEEL BUILDING BY
FOR
AT

FAIR DINKUM BUILDS LAUNCESTON
03 6334 5335
YOUNG (ZANNETTE)
77 HIGH STREET
MATHINNA

CHED
2418

2418

FAIR DINKUM BUILDS



Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 5995
Regn. No. 116373ES
Regn. No. PE0002216
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ
Signature

16/9/2025
Date

Registered as the NPQR in the areas of practice
of Civil & Structural National Professional
Engineers Register

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