

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00236
Applicant	Summa Studio – Lachlan Taylor
Proposal	Residential - Construction of a New Shed
Location	12 Cherrywood Drive, Scamander (C/T 187162/1)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 10th January 2026 **until 5pm Friday 23rd January 2026.**

John Brown
GENERAL MANAGER

PROJECT INFORMATION
DEVELOPMENT APPLICATION

Break O'Day Council
GENERAL RESIDENTIAL ZONE
CODES - Bushfire-prone Areas Code
GENERAL OVERLAY - Stormwater Management Specific Area Plan

LAND TITLE REFERENCE NUMBER:	CT 187162/1
DESIGN WIND SPEED:	REFER ENGINEER
SOIL CLASSIFICATION:	N/A
CLIMATE ZONE:	7
ALPINE AREA:	NOT APPLICABLE
CORROSION ENVIRONMENT:	MED
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	N/A
SALINE SOILS:	N/A
SAND DUNES:	N/A
MINE SUBSIDENCE:	NO
COASTAL INUNDATION:	NO
LANDFILL:	UNKNOWN
DATUM LEVEL AT KERB:	REFER DWGS
GROUND LEVEL:	REFER DWGS
FINISHED FLOOR LEVEL:	REFER DWGS
OVERFLOW RELIEF GULLY LEVEL:	N/A

Drawing List DA

Sheet Number	Sheet Name
S001	Cover Page
S100	Existing Site Plan
S101	Proposed site plan
S102	Proposed Floor Plan
S103	Proposed Roof Plan
S104	Elevations
S105	Section
S108	Perspectives

Development application

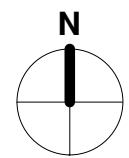
REV 00 11.12.25

12 Cherrywood Drive

Proposed new shed (Class 10a) for Karl Rann and Kate Fraser

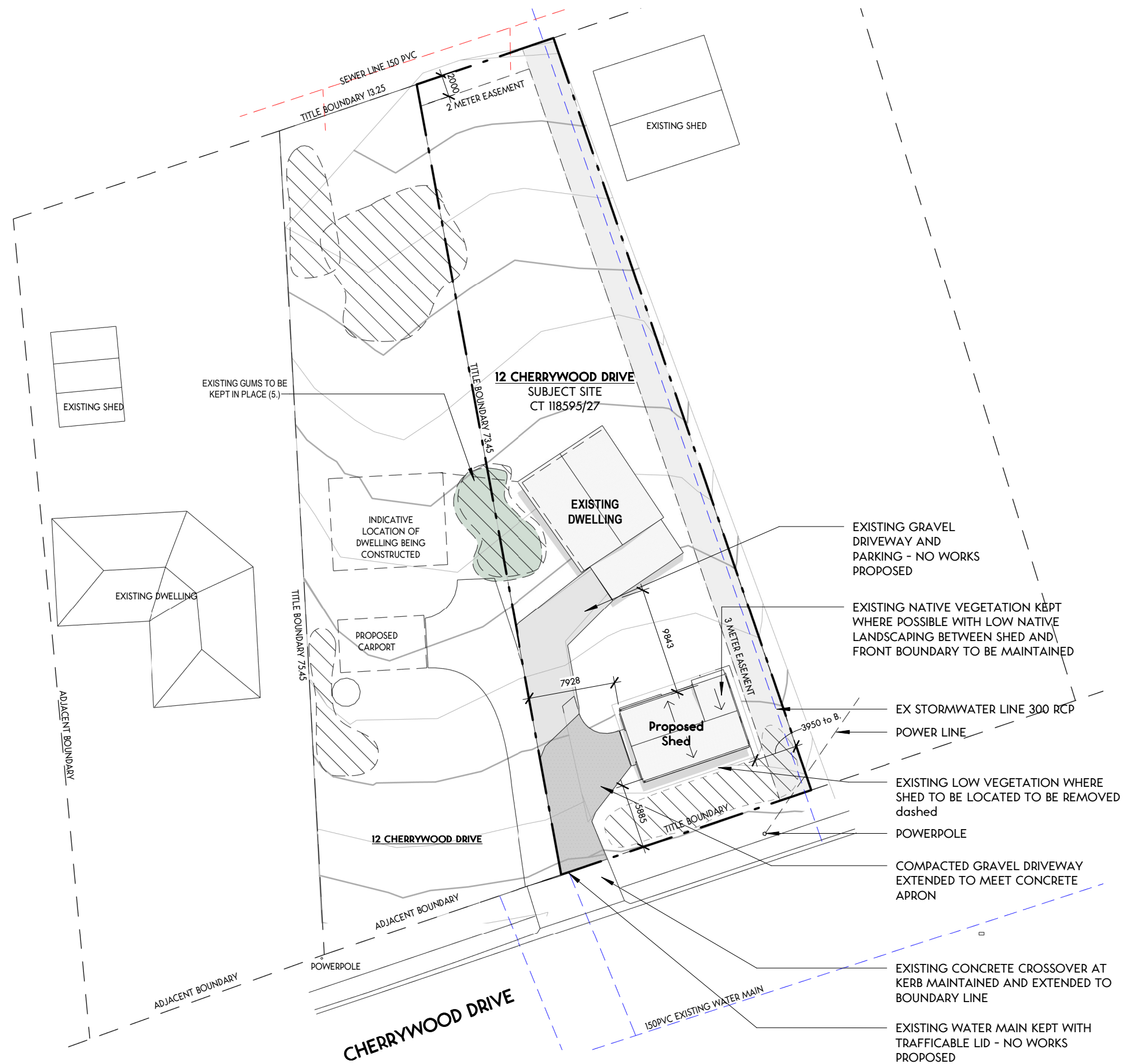


1
S100
1:400
EXISTING SITE PLAN

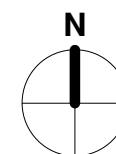


scale		project	drawing	
1 : 400		NF2024	New Class 10a Shed	
drawn		client	stage	date
LT		Karl Rann & Kate Fraser		DD
all sheets to be read in colour and printed to scale.		address	status	
These drawings, plans and the copyright therein are the property of Summa Studio and must not be used, reproduced or copied without the express permission of Summa Studio director.		12 CHERRYWOOD DR SCAMANDER TAS 7215	Development Application	



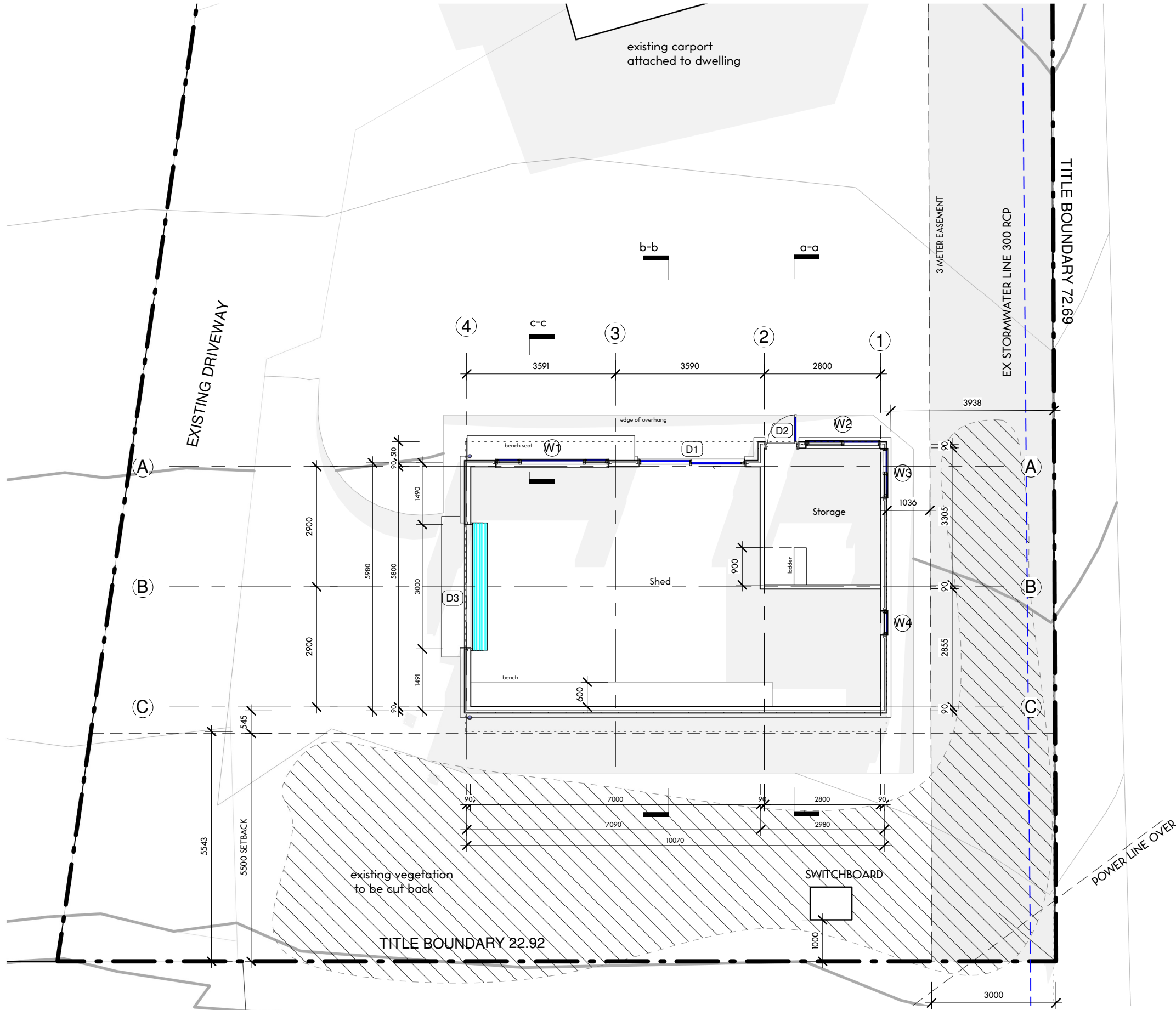


1 PROPOSED SITE PLAN
S101 1:400

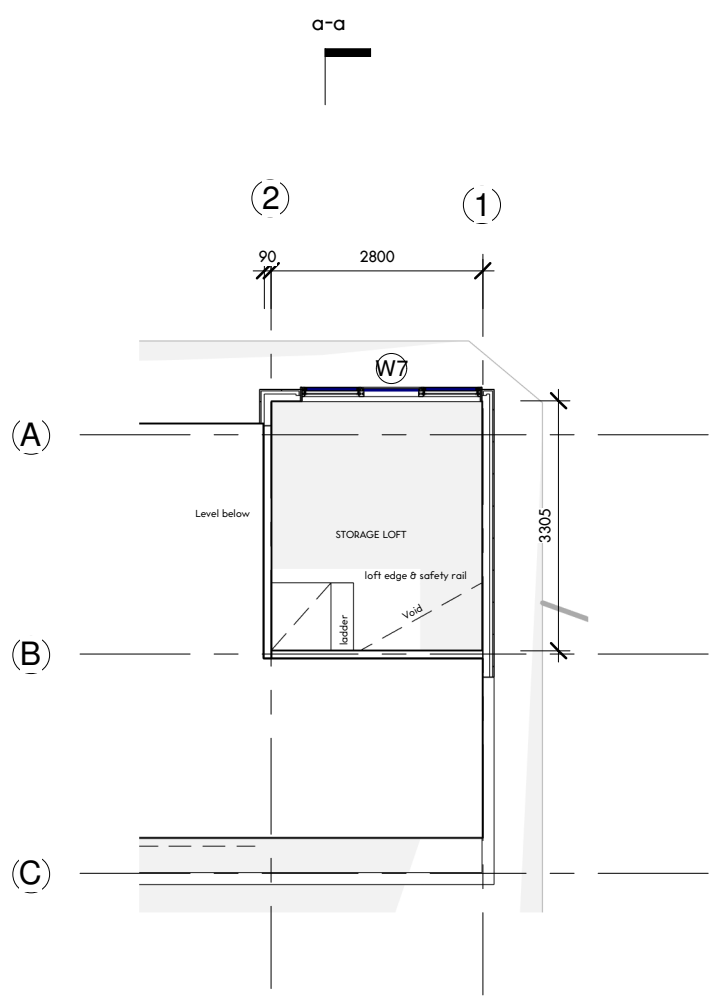


scale		project	drawing	
1 : 400		NF2024	New Class 10a Shed	
drawn	checked	client	stage	date
LT	LT	Karl Rann & Kate Fraser	DD	11.12 2025
all sheets to be read in colour and printed to scale.		address	status	
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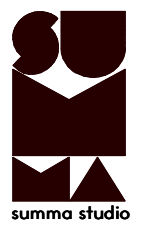


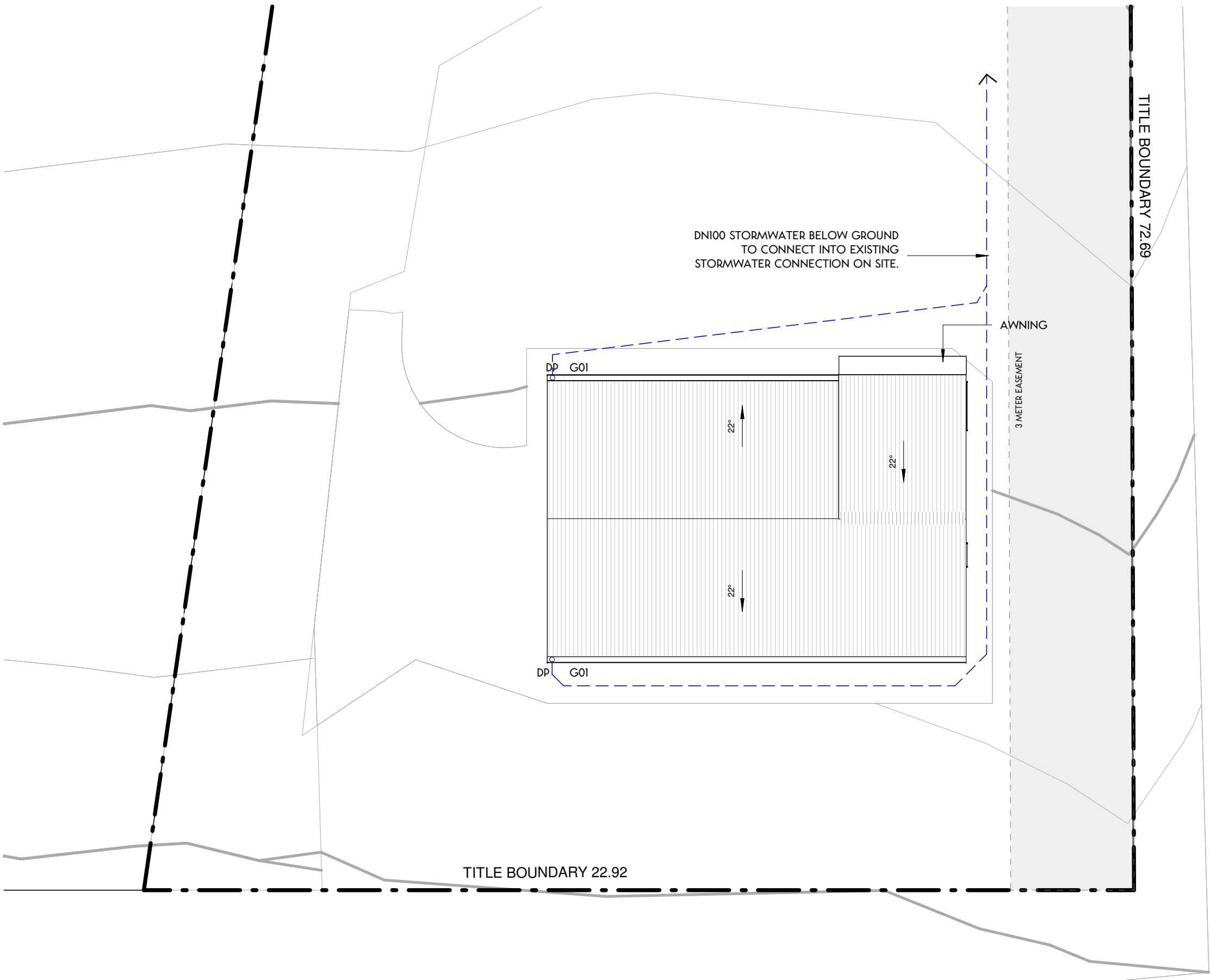
1 Shed plan
S102 1:100



2 Loft Level
S102 1:100

scale	project	drawing
1 : 100	NF2024 New Class 10a Shed	S102 Proposed Floor Plan
drawn	checked	stage date
LT	LT	DD 11.12 2025
all sheets to be read in colour and printed to scale.		status
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12 CHERRYWOOD DR SCAMANDER TAS 7215		





1 PROPOSED ROOF PLAN
S103 1 : 100

scale		project	drawing	
1 : 100		NF2024 New Class 10a Shed	S103 Proposed Roof Plan	
drawn	checked	client	stage	date
LT	LT	Karl Rann & Kate Fraser	DD	11.12 2025
all sheets to be read in colour and printed to scale.		address	status	
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ELEVATION LEGEND

EC01 BOARD AND BATTEN TIMBER CLADDING FINISH

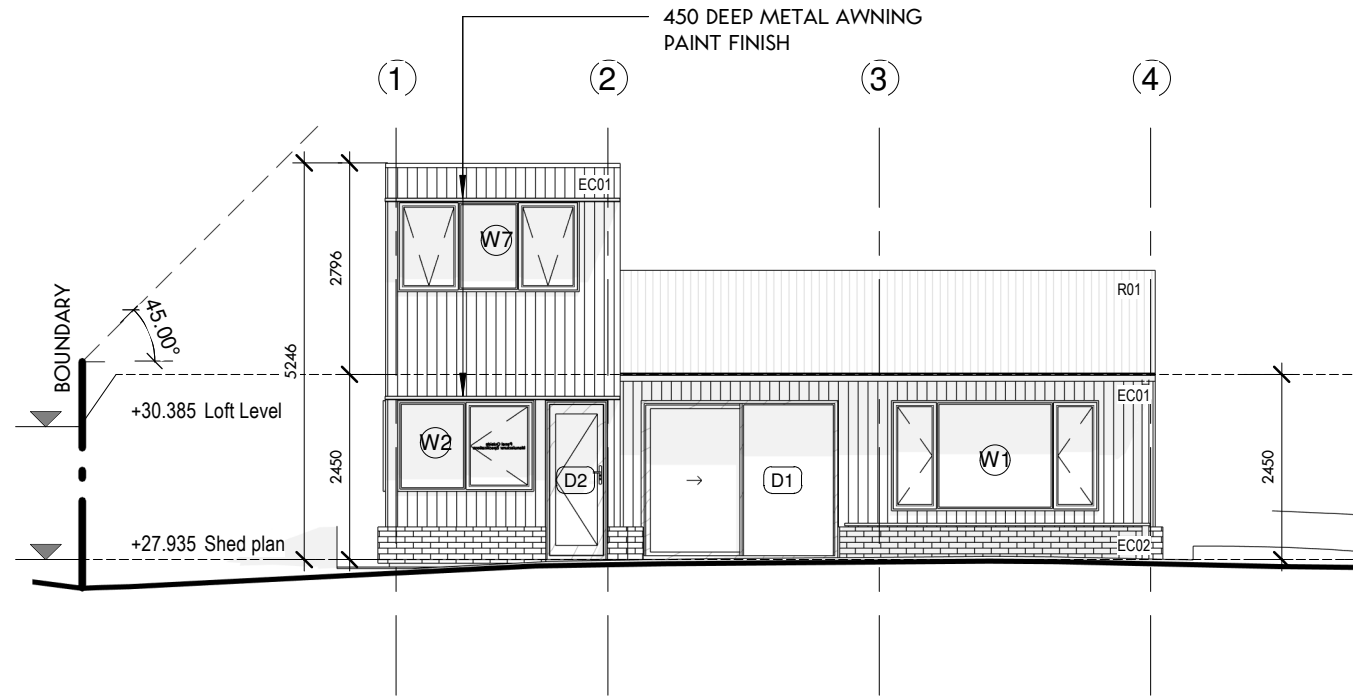
EC02 BRICK BASE NOM. 430MM HEIGHT -5 COURSES

R01 Sheet Metal roof- zincalume' finish

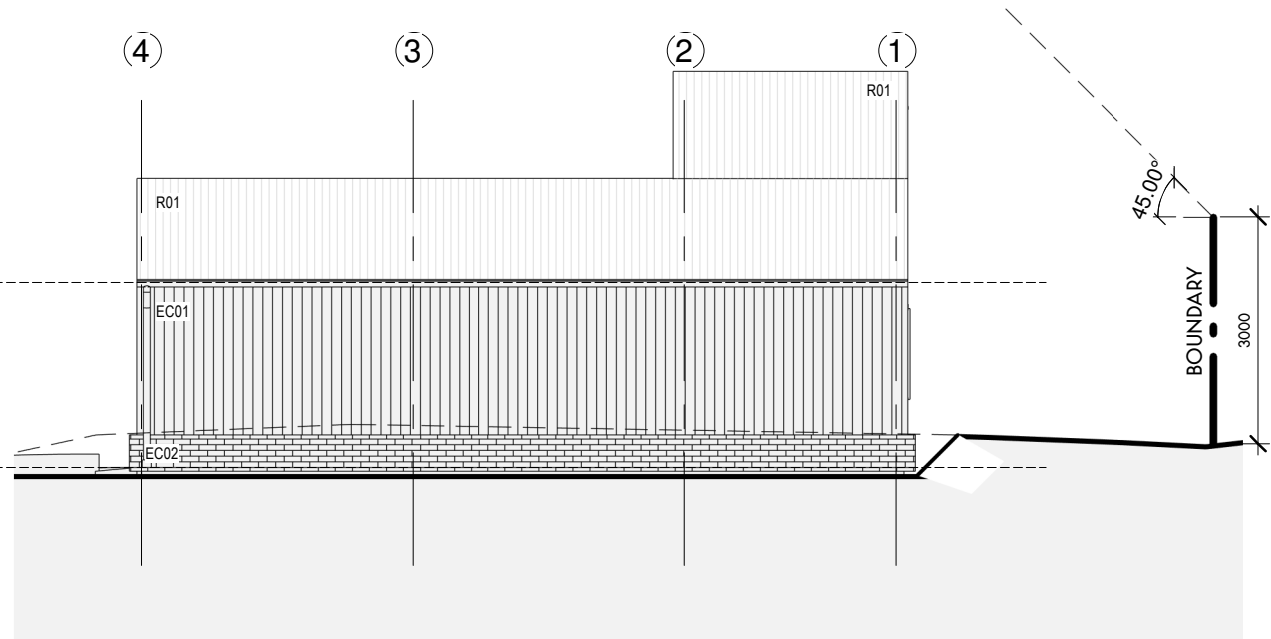
All proprietary products to be installed in accordance with manufacturers specification

Windows - Black frame unless noted

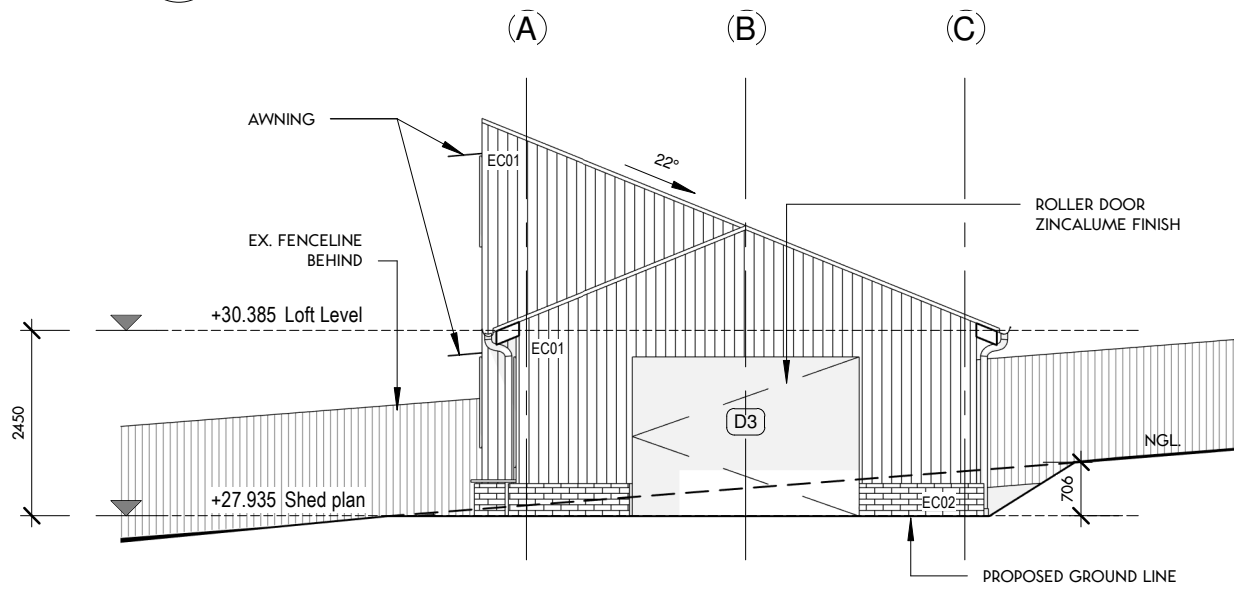
Doors - Timber framed unless noted



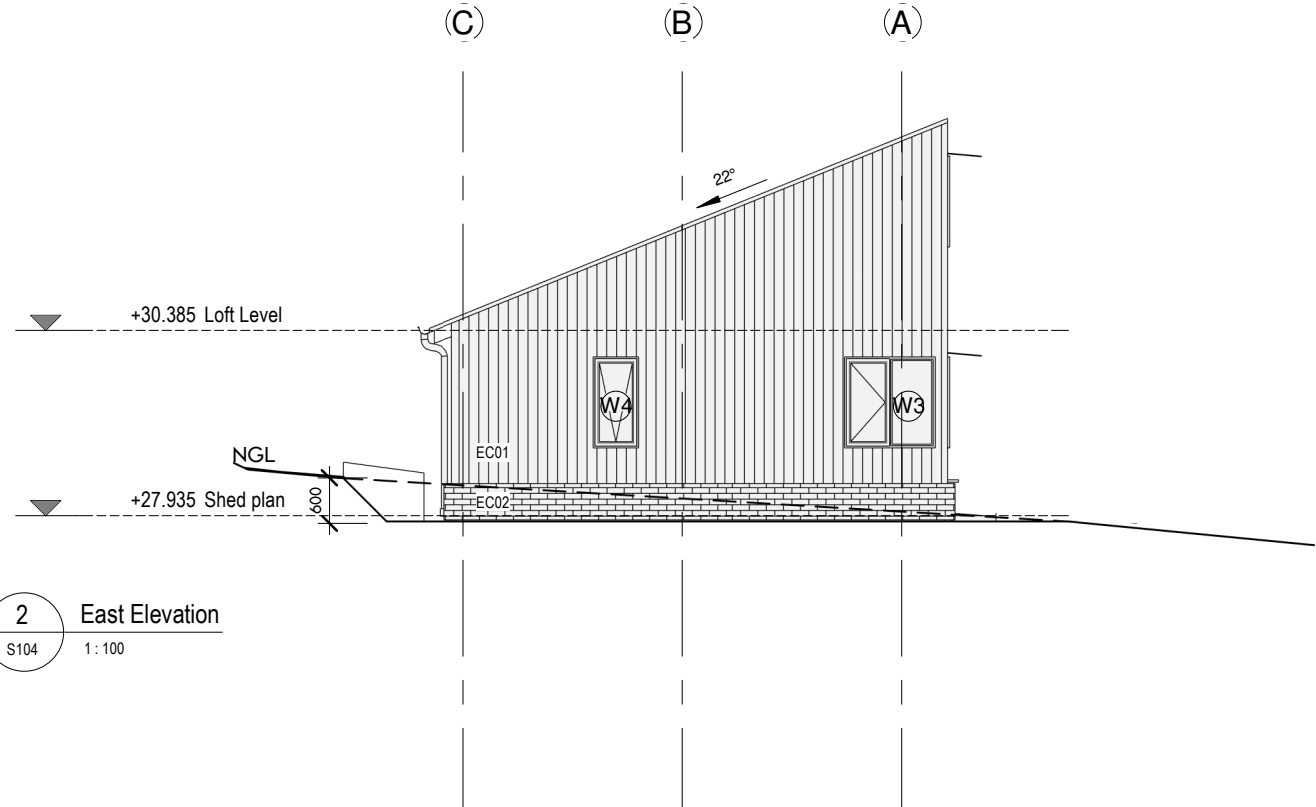
1 North Elevation
S104 1:100



3 South Elevation
S104 1:100



4 West Elevation
S104 1:100



2 East Elevation
S104 1:100

scale	project	drawing
As indicated	NF2024 New Class 10a Shed	S104 Elevations
drawn	checked	client
LT	LT	Karl Rann & Kate Fraser
all sheets to be read in colour and printed to scale.		DD 11.12 2025
address	status	
12 CHERRYWOOD DR SCAMANDER TAS 7215	Development Application	

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Development Application

18.12.2025

Cover Letter concerning:

12 Cherrywood Drive, Scamander, Tasmania CT 187162/1
New 10a Class shed

Good Morning,

Thank you for your RFI,

Please find responses below to queries relating as well as revised attached Development Application form noting that both owners have been notified.

Should you require further information to assess this application please do not hesitate to contact me,

Kind regards,

Lachy Taylor,

Director / Registered Architect

M.Arch / B.Arch / A.A (Furn)



Architecture / Interiors / Objects

E: lachy@summastudio.com.au

M: 0408 111 233

In: @summa_studio

Response - TPS Discretionary.

Subject site -12 Cherrywood Drive, Scamander - General Residential Zoning.

Query	Reference TPS.	Response
Please provide an amended Development Application Form with the correct owners listed on page 1 and the declaration of notification of lodgement of application on page 2 of the form. The cited owners on both pages mentioned are different to that listed as registered owners.	N/A.	Find attached the amended development application form with the owners notified.
Please provide a written statement of use of the proposed outbuilding including any proposed use for a home-based business. If the shed is proposed to be used as a home-based business, please provide a written address the requirements of satisfying the definition of the same in Table 3.1 of the Tasmanian Planning Scheme – Break O’Day.	<p>Home based business definition means use of part of a dwelling by a resident for non-residential purposes if:</p> <p>(a) the person conducting the business normally uses the dwelling as their principal place of residence;</p> <p>(b) it does not involve employment of more than 2 workers on-site who do not reside at the dwelling;</p> <p>(c) any load on a utility is no more than for a domestic use;</p> <p>(d) there is no activity that causes electrical interference to use on other land;</p> <p>(e) there is no storage of hazardous material on site;</p> <p>(f) the display of goods for sale are not visible from any road or public open space adjoining the site;</p> <p>(g) there is, on the site, no advertising of the business other than 1 sign (non-illuminated) not exceeding 0.2m² in area;</p> <p>(h) there is, on the site, no refuelling, servicing, detailing or repair of vehicles not owned by a resident;</p> <p>(i) no more than 2 commercial vehicles are on the site at any one time and no commercial vehicle on the site exceeds 2 tonnes; and</p> <p>(j) all vehicles used by the business are parked on the site.</p>	<p>The proposed shed is to be used as a hobby woodworking and metal workshop by the owners and will not be used as a home based business.</p> <p>Proposed uses include:</p> <ol style="list-style-type: none"> 1. Woodworking 2. Metalwork (with separate area) 3. Storage (inc of loft space)
Please provide an amended site plan that includes annotated dimension of width of crossover and internal accessway serving		Please find attached amended Site plan Rev. A

the proposed outbuilding.		
Please provide a written response to C2.6.1 Construction of Parking Areas P1.	<p>P1 All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:</p> <p>(a) the nature of the use;</p> <p>(b) the topography of the land;</p> <p>(c) the drainage system available;</p> <p>(d) the likelihood of transporting sediment or debris from the site onto a road or public place;</p> <p>(e) the likelihood of generating dust; and</p> <p>(f) the nature of the proposed surfacing.</p>	<p>The existing driveway is a gravel driveway which has serviced the dwelling suitably since the owners have occupied the property. With the existing topography it is noted that any sediment or debris is likely to back onto the title property as the driveway slopes away from street. Additionally, the crossover will be extended to the title boundary which will further limit tracking of debris onto main road. The nature of the exist driveway is a highly compacted fine gravel/clay with water generally shed downslope over existing natural ground level with no erosion noted.</p> <p>Extended areas of driveway to service shed are proposed to be compacted FCR gravel or similar gravel to existing gravel if available to allow suitable turning, parking and maneuvering.</p> <p>It is noted that a significant number of dwellings along Cherrywood still have gravel driveways, notably 6,14, 20,24,28, 34 Cherrywood.</p>

End Responses.

SEARCH OF TORRENS TITLE

VOLUME 187162	FOLIO 1
EDITION 1	DATE OF ISSUE 08-July-2024

SEARCH DATE : 12-Dec-2025

SEARCH TIME : 12.09 pm

DESCRIPTION OF LAND

Town of SCAMANDER

Lot 1 on Sealed Plan [187162](#)

Derivation : Part of 640 Acres Gtd. to Anthony Fenn Kemp

Prior CT [118595/27](#)SCHEDULE 1


[E177835](#) TRANSFER to NICOLA JANE FRASER of three undivided 1/5 shares and KATE MEREDITH FRASER of two undivided 1/5 shares as tenants in common Registered 09-Aug-2019 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP[187162](#) EASEMENTS in Schedule of Easements
SP [46988](#) FENCING COVENANT in Schedule of Easements


UNREGISTERED DEALINGS AND NOTATIONS

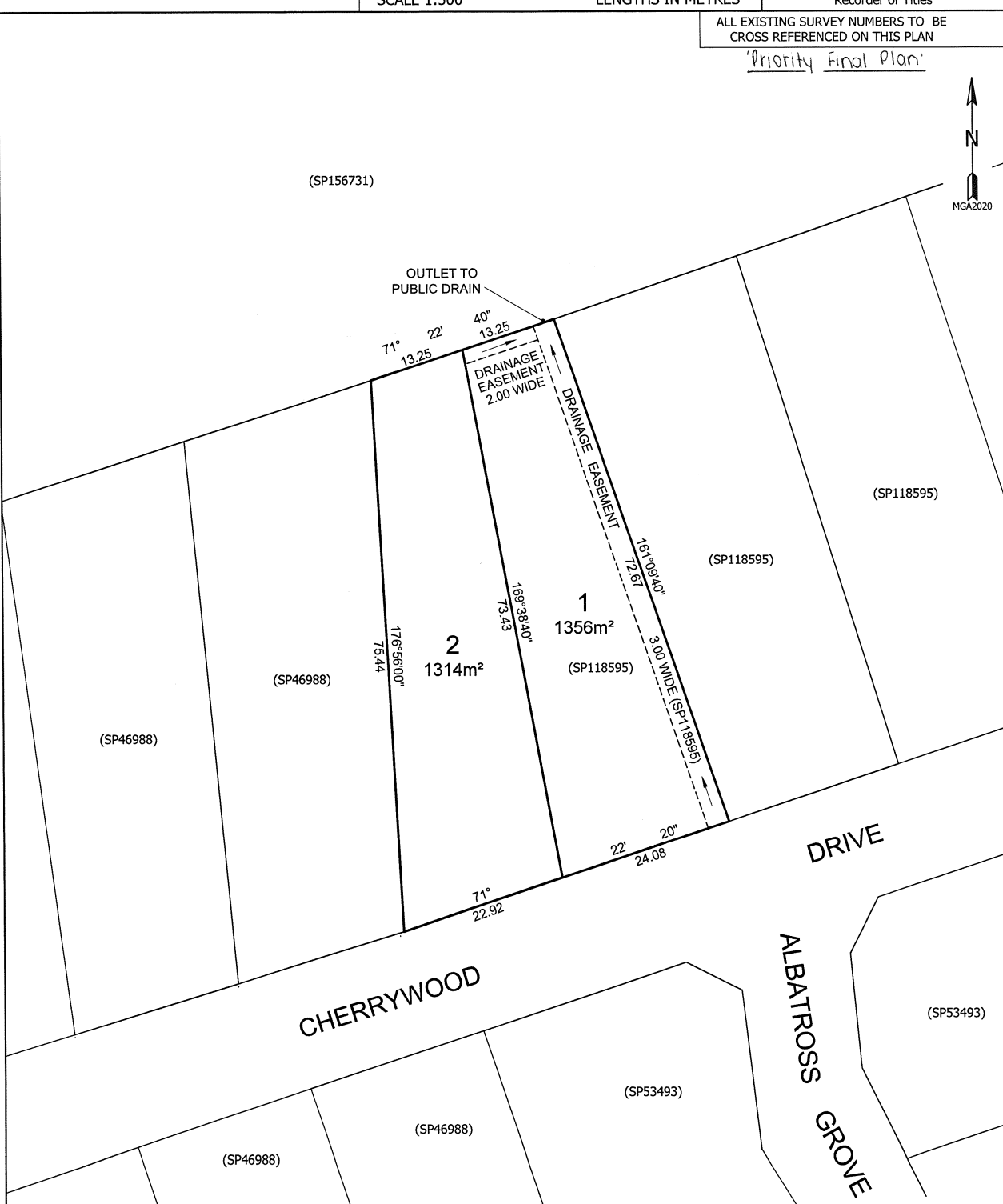
No unregistered dealings or other notations

<p>OWNER: NICOLA JANE FRASER KATE MEREDITH FRASER</p> <p>FOLIO REFERENCE: CT 118595/27</p> <p>GRANTEE: PART OF 640 ACRES GTD. TO ANTHONY FENN KEMP. (FORMERLY LOTS 7 & 8 ON SP118595).</p>	<p>PLAN OF SURVEY</p> <div style="display: flex; align-items: center; justify-content: center;">  <div style="margin-left: 10px;"> <p>BY SURVEYOR : A.J. BUTLER LOCATION : TOWN OF SCAMANDER</p> </div> </div> <p>SCALE 1:500 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER</p> <p style="font-size: 24px; font-weight: bold;">SP187162</p> <hr/> <p>APPROVED 8 JUL 2024 EFFECTIVE FROM</p> <p style="text-align: right;"><i>[Signature]</i> Recorder of Titles</p>
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

'Priority Final Plan'


MGA2020



The diagram shows a survey plan with several lots and easements. Lot 1 is 1356m² and Lot 2 is 1314m². There are two 'DRAINAGE EASEMENT 2.00 WIDE' shown. The plan is bounded by 'CHERRYWOOD' and 'ALBATROSS GROVE' drives. Surrounding folios are labeled: (SP156731), (SP46988), (SP118595), (SP53493), and (SP46988). Boundary measurements include angles like 71°, 22', 40', 161°09'40", and distances like 13.25, 73.43, 176.56, 75.44, 24.08, and 3.00. An 'OUTLET TO PUBLIC DRAIN' is indicated.

<p><i>[Signature]</i> 27-5-24 REGISTERED LAND SURVEYOR DATE</p>	<p><i>[Signature]</i> 28-6-24 COUNCIL DELEGATE DATE</p>
-------------------------------------------------------------------------------	-----------------------------------------------------------------------

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 187 162

PAGE 1 OF 2 PAGES

'Priority Final Plan'**EASEMENTS AND PROFITS:**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS:

Lot 1 on the plan is subject to a right of drainage in favour of the Break O'Day Council in gross as shown on the plan marked as "DRAINAGE EASEMENT 3.00 WIDE" and "DRAINAGE EASEMENT 2.00 WIDE".

(SP 118595)

~~**FENCING COVENANT:**~~~~The owner of each lot on the plan are subject to the fencing covenant in favour of W. & M. Holdings Pty. Ltd. (ACN 009 557 902) created by Sealed Plan 46988.~~

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Nicola Jane Fraser & Kate Meredith Fraser	PLAN SEALED BY: Break O'Day Council
FOLIO REF: C/T 118595/27	DATE: <u>28/06/2029</u>
SOLICITOR & REFERENCE: Butler McIntyre & Butler 240156	<u>DA 253-2012</u>
	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SF 187 162
SUBDIVIDER: Nicola Jane Fraser & Kate Meredith Fraser FOLIO REFERENCE: C/T 118595/27	

'Priority Final Plan'

SIGNED by NICOLA JANE FRASER in)
The presence of:)


NICOLA JANE FRASER

Witness: 

Name: MARY BRAASROOK

Address: 8 Haines close woolgoolga 2456

Occupation: Retired

SIGNED by KATE MEREDITH FRASER in)
The presence of:)


KATE MEREDITH FRASER

Witness: 

Name: EMMA CHURCH

Address: 13 WANDELLA AVE, TAROONA

Occupation: RESEARCHER

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.