

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00236
Applicant	Summa Studio – Lachlan Taylor
Proposal	Residential - Construction of a New Shed
Location	12 Cherrywood Drive, Scamander (C/T 187162/1)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 10th January 2026 **until 5pm Friday 23rd January 2026**.

John Brown
GENERAL MANAGER

PROJECT INFORMATION
DEVELOPMENT APPLICATION

Break O'Day Council
GENERAL RESIDENTIAL ZONE
CODES - Bushfire-prone Areas Code
GENERAL OVERLAY - Stormwater Management Specific Area Plan

LAND TITLE REFERENCE NUMBER:	CT 187162/1
DESIGN WIND SPEED:	REFER ENGINEER
SOIL CLASSIFICATION:	N/A
CLIMATE ZONE:	7
ALPINE AREA:	NOT APPLICABLE
CORROSION ENVIRONMENT:	MED
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	N/A
SALINE SOILS:	N/A
SAND DUNES:	N/A
MINE SUBSIDENCE:	NO
COASTAL INUNDATION:	NO
LANDFILL:	UNKNOWN
DATUM LEVEL AT KERB:	REFER DWGS
GROUND LEVEL:	REFER DWGS
FINISHED FLOOR LEVEL:	REFER DWGS
OVERFLOW RELIEF GULLY LEVEL:	N/A

Drawing List DA

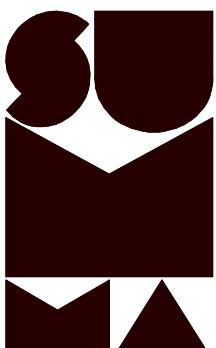
Sheet Number Sheet Name

S001	Cover Page
S100	Existing Site Plan
S101	Proposed site plan
S102	Proposed Floor Plan
S103	Proposed Roof Plan
S104	Elevations
S105	Section
S108	Perspectives

Development application

REV 00 11.12.25

12 Cherrywood Drive
Proposed new shed (Class 10a) for Karl Rann and Kate Fraser



summa studio

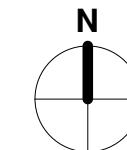
officesummastudio.com.au

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copyright therein are
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the express permission
of Summa Studio director.

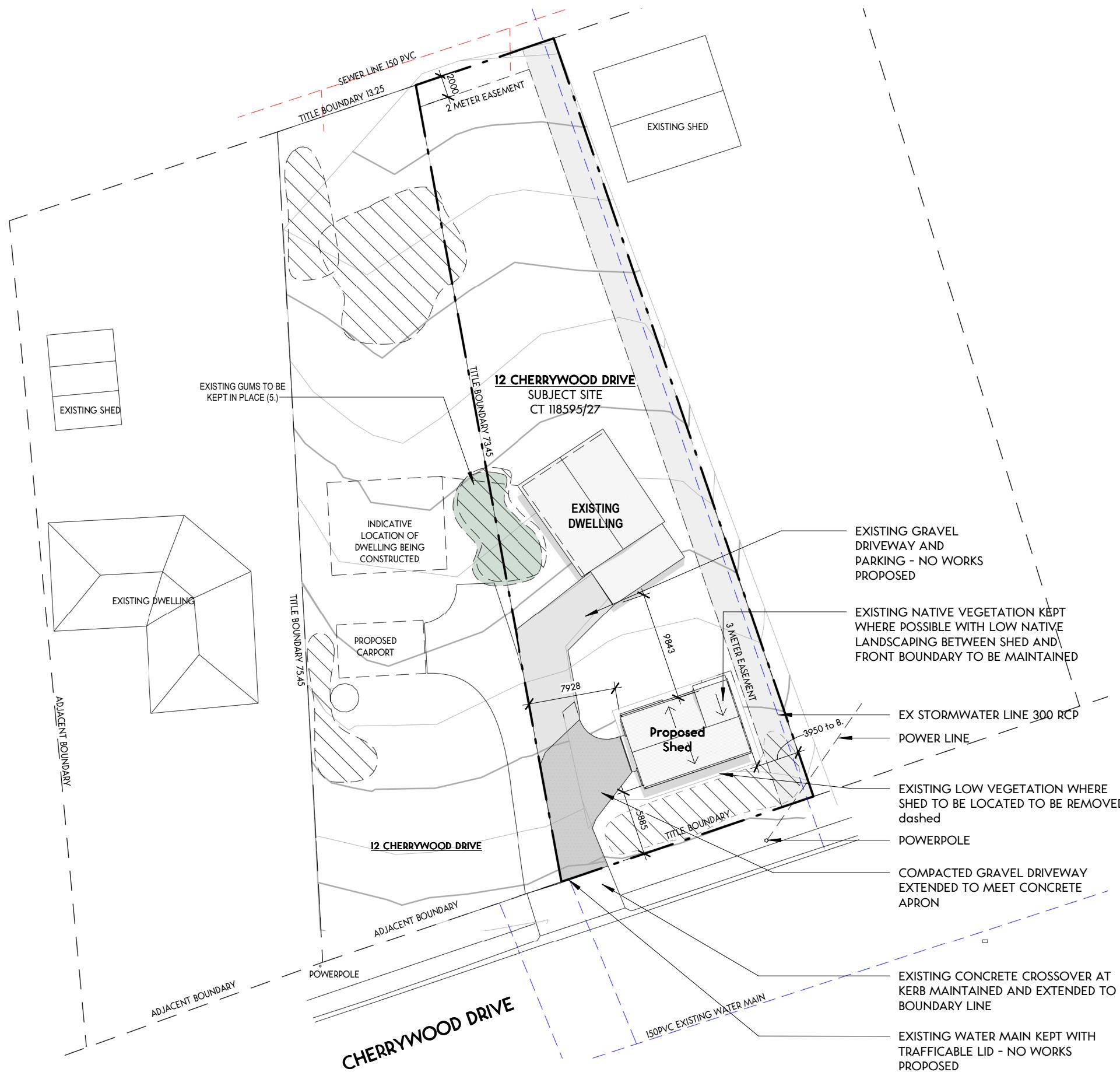
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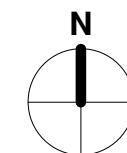
1
S100
1:400
EXISTING SITE PLAN



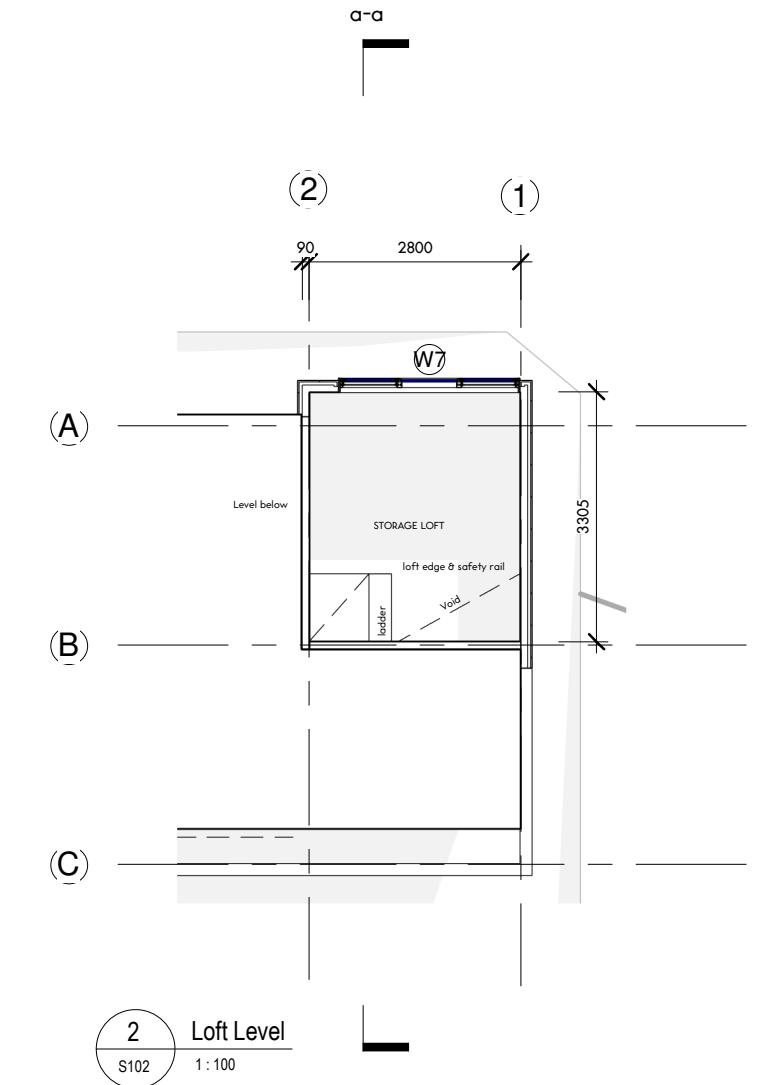
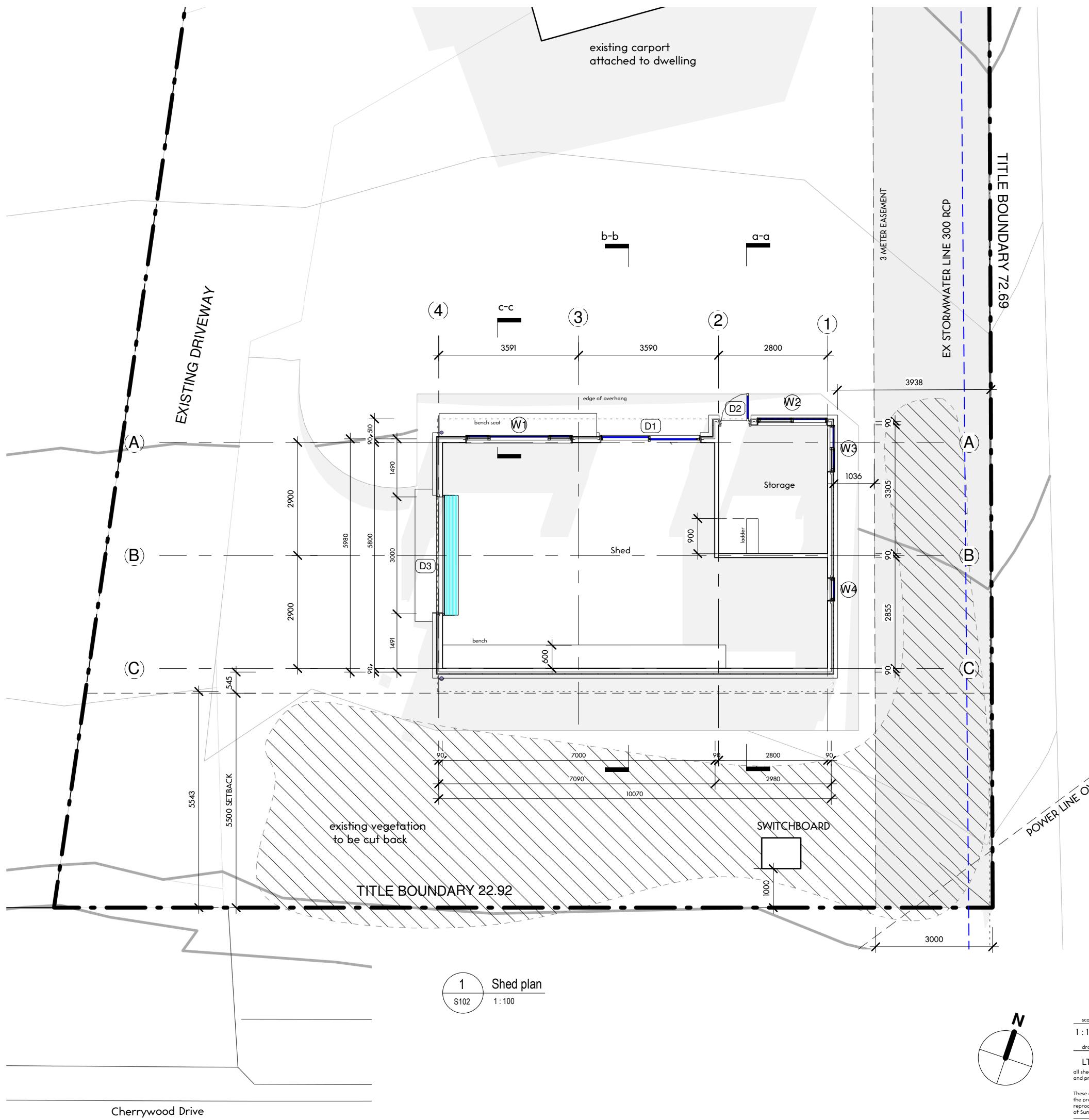
scale	project	drawing		
1 : 400	NF2024 New Class 10a Shed	S100 Existing Site Plan		
drawn	checked	client	stage	date
LT	LT	Karl Rann & Kate Fraser	DD	11.12.2025
all sheets to be read in colour and printed to scale.				status
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12 CHERRYWOOD DR SCAMANDER TAS 7215				Development Application



1
S101 PROPOSED SITE PLAN
1:400

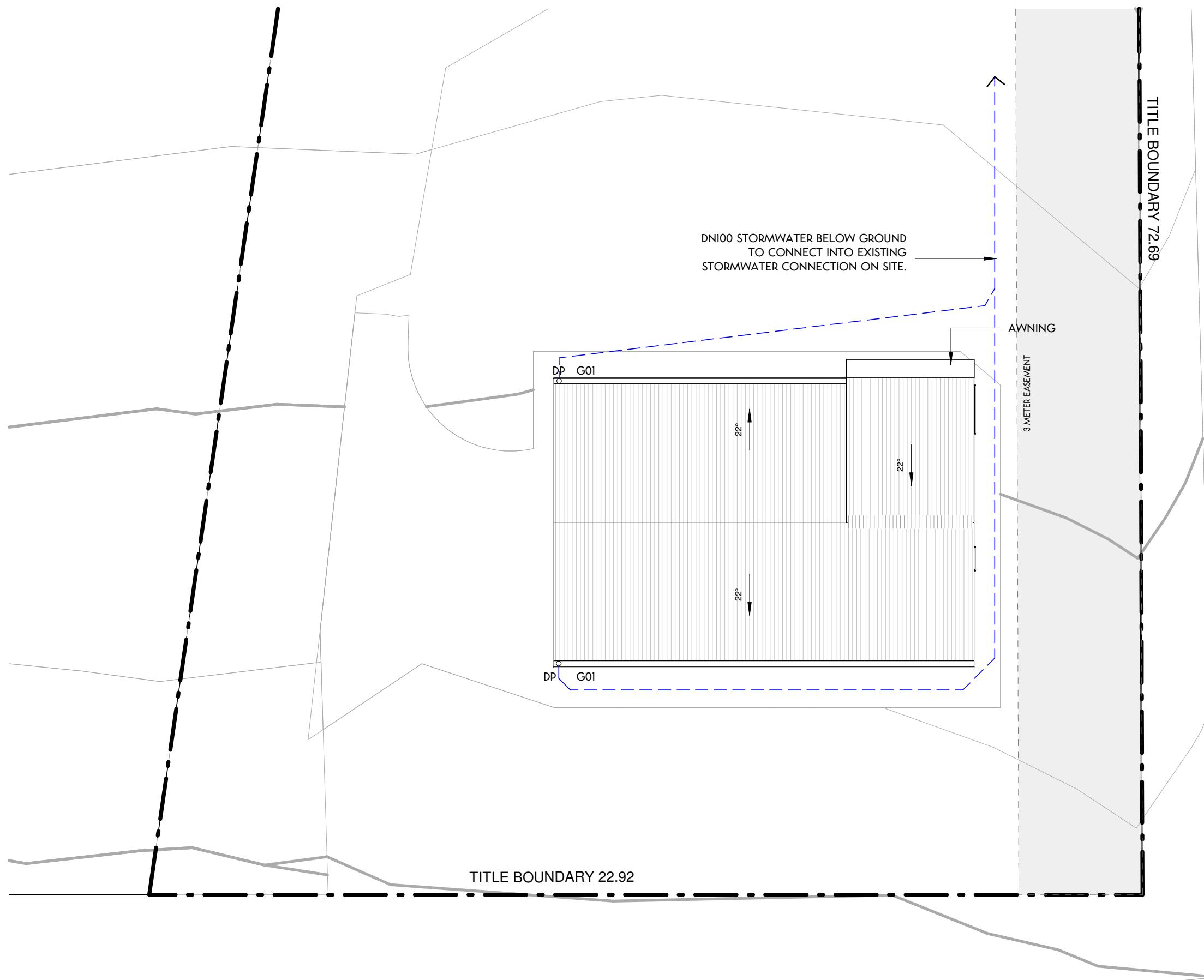


scale	project	drawing
1 : 400	NF2024 New Class 10a Shed	S101 Proposed site plan
drawn	checked	stage
LT	LT	DD
all sheets to be read in colour and printed to scale.		date 11.12.2025
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12 CHERRYWOOD DR SCAMANDER TAS 7215		Development Application



scale	project	drawing
1:100	NF2024 New Class 10a Shed	S102 Proposed Floor Plan
drawn	checked	stage
LT	LT	DD
		11.12.2025
client	address	status
Karl Rann & Kate Fraser	12 CHERRYWOOD DR SCAMANDER TAS 7215	Development Application
address	status	date

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1
S103
PROPOSED ROOF PLAN
1:100

scale	project	drawing		
1 : 100	NF2024 New Class 10a Shed	S103 Proposed Roof Plan		
drawn	checked	client	stage	date
all sheets to be read in colour and printed to scale.				
LT	LT	Karl Rann & Kate Fraser	DD	11.12.2025
address				
12 CHERRYWOOD DR SCAMANDER TAS 7215				Development Application
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ELEVATION LEGEND

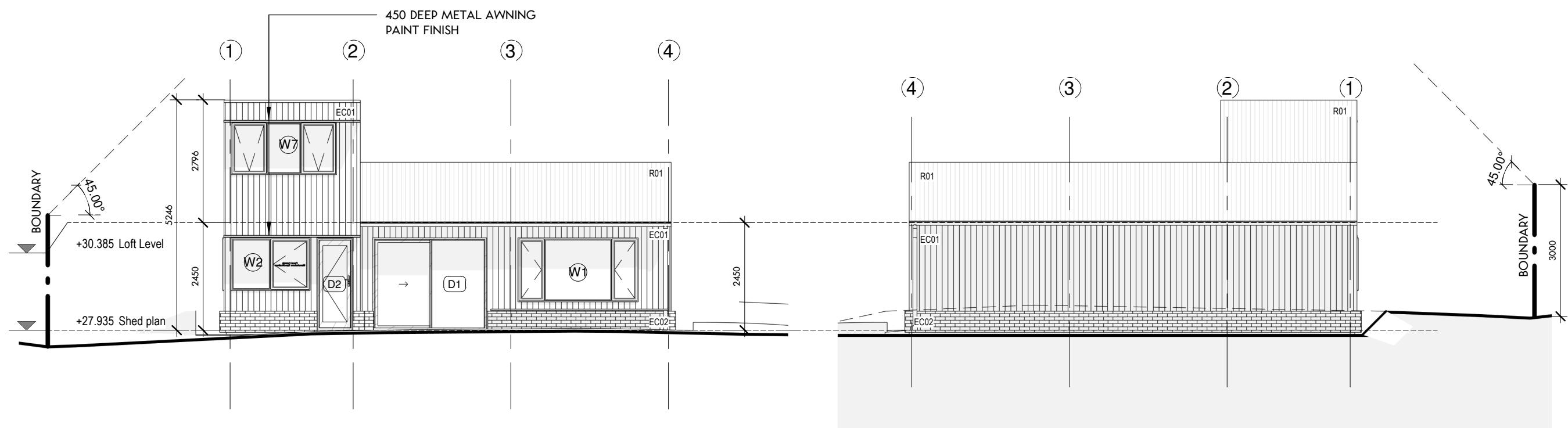
EC01 BOARD AND BATTEN TIMBER CLADDING FINISH

EC02 BRICK BASE NOM. 430MM HEIGHT -5 COURSES

R01 Sheet Metal roof- 'zincalume' finish

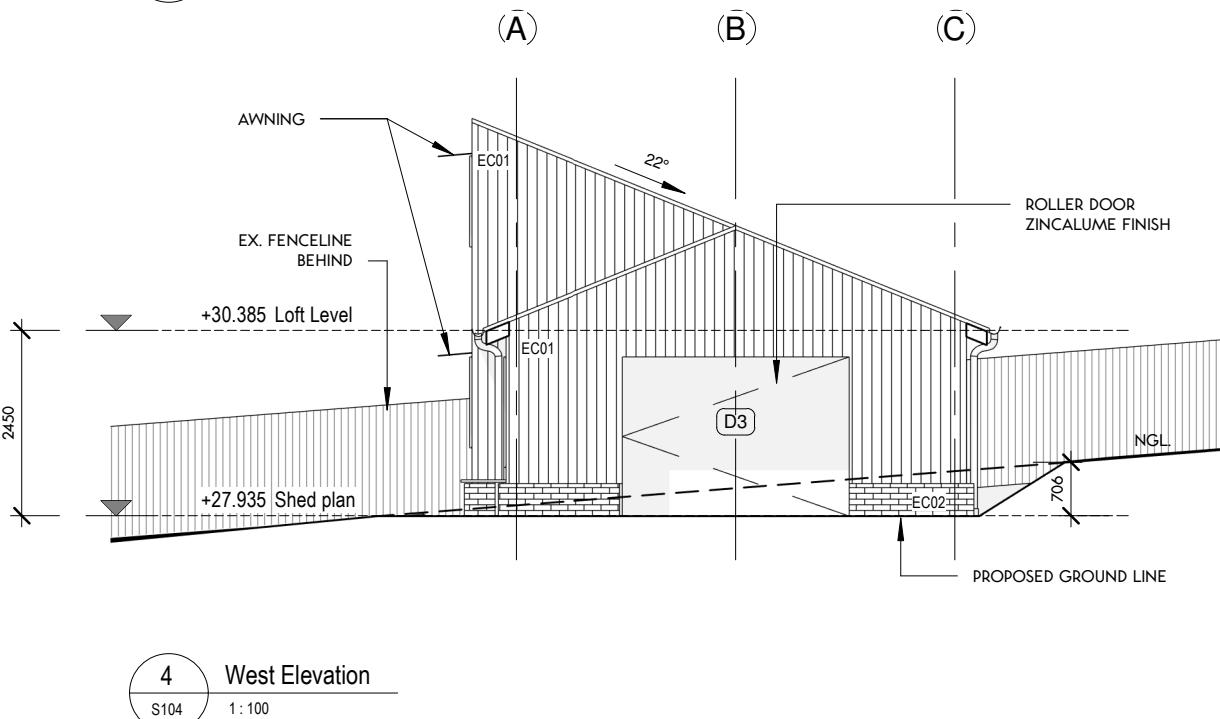
All proprietary products to be installed in accordance with manufacturers specification

Windows - Black frame unless noted
Doors - Timber framed unless noted

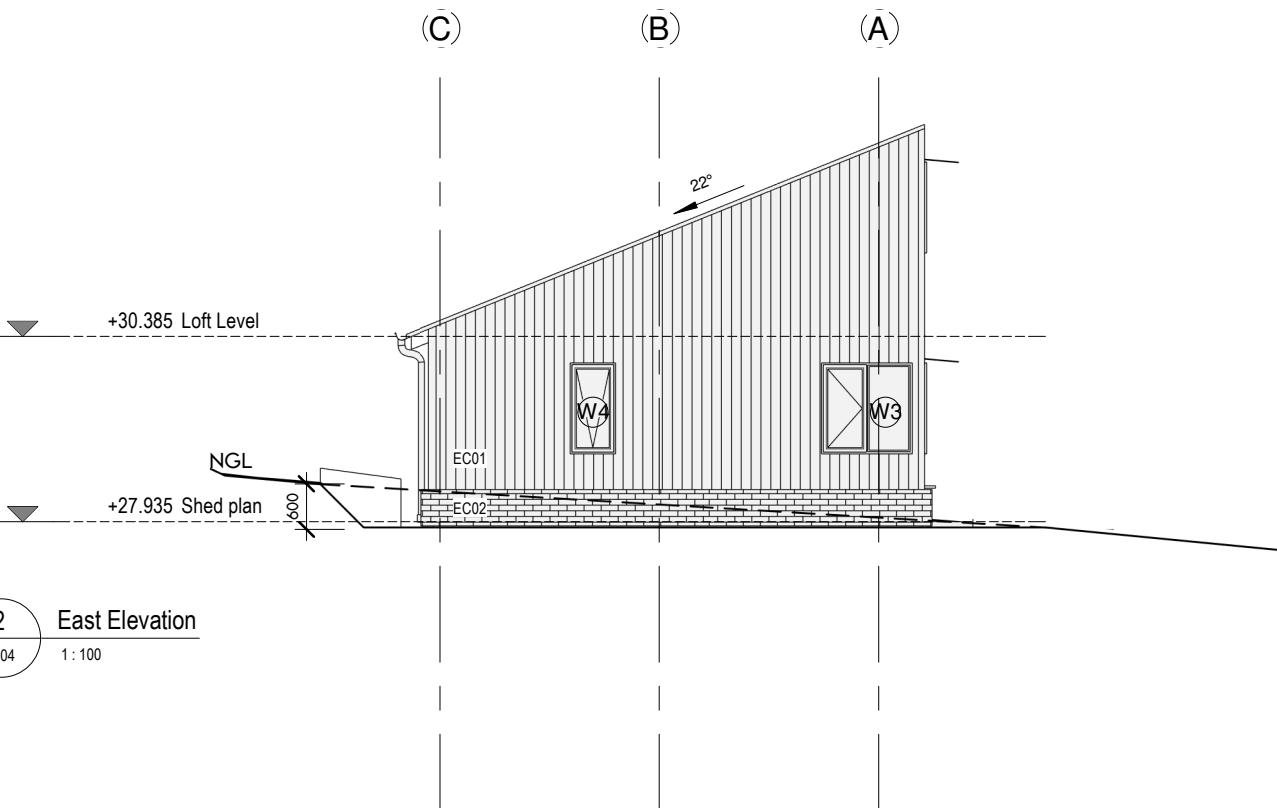


1 North Elevation
S104 1:100

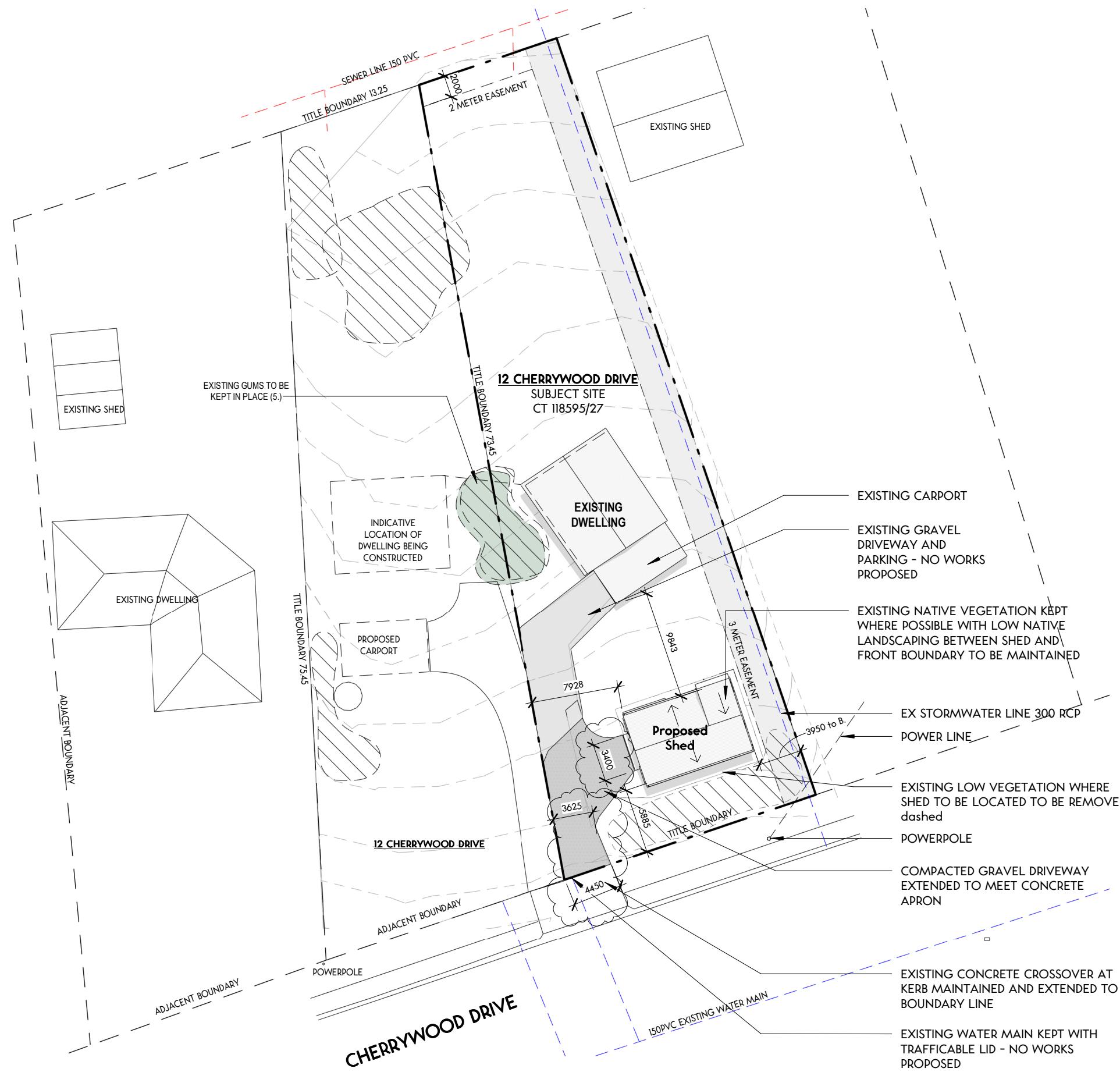
3 South Elevation
S104 1:100



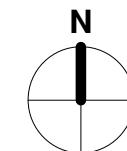
2 East Elevation
S104 1:100



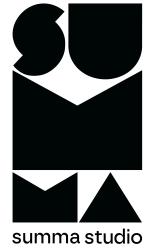
scale	project		drawing
As indicated	NF2024 New Class 10a Shed		S104 Elevations
drawn	checked	client	stage
LT	LT	Karl Rann & Kate Fraser	DD
all sheets to be read in colour and printed to scale.		11.12.2025	
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12 CHERRYWOOD DR SCAMANDER TAS 7215		Development Application	



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S101 PROPOSED SITE PLAN
1 : 400



scale 1 : 400 project NF2024 New Class 10a Shed drawing S101 Proposed site plan
drawn checked client Karl Rann & Kate Fraser stage DD date 18.12.2025
LT LT status REV A
all sheets to be read in colour and printed to scale.
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address 12 CHERRYWOOD DR SCAMANDER TAS 7215 status Development Application



Development Application

18.12.2025

Cover Letter concerning:

12 Cherrywood Drive, Scamander, Tasmania CT 187162/1

New 10a Class shed

Good Morning,

Thank you for your RFI,

Please find responses below to queries relating as well as revised attached Development Application form noting that both owners have been notified.

Should you require further information to assess this application please do not hesitate to contact me,

Kind regards,

Lachy Taylor,

Director / Registered Architect

M.Arch / B.Arch / A.A (Furn)



Architecture / Interiors / Objects

E: lachy@summastudio.com.au

M: 0408 111 233

In: @summa_studio

Response - TPS Discretionary.

Subject site -12 Cherrywood Drive, Scamander - General Residential Zoning.

Query	Reference TPS.	Response
Please provide an amended Development Application Form with the correct owners listed on page 1 and the declaration of notification of lodgement of application on page 2 of the form. The cited owners on both pages mentioned are different to that listed as registered owners.	N/A.	Find attached the amended development application form with the owners notified.
Please provide a written statement of use of the proposed outbuilding including any proposed use for a home-based business. If the shed is proposed to be used as a home-based business, please provide a written address the requirements of satisfying the definition of the same in Table 3.1 of the Tasmanian Planning Scheme – Break O'Day.	<p>Home based business definition means use of part of a dwelling by a resident for non-residential purposes if:</p> <ul style="list-style-type: none"> (a) the person conducting the business normally uses the dwelling as their principal place of residence; (b) it does not involve employment of more than 2 workers on-site who do not reside at the dwelling; (c) any load on a utility is no more than for a domestic use; (d) there is no activity that causes electrical interference to use on other land; (e) there is no storage of hazardous material on site; (f) the display of goods for sale are not visible from any road or public open space adjoining the site; (g) there is, on the site, no advertising of the business other than 1 sign (non-illuminated) not exceeding 0.2m² in area; (h) there is, on the site, no refuelling, servicing, detailing or repair of vehicles not owned by a resident; (i) no more than 2 commercial vehicles are on the site at any one time and no commercial vehicle on the site exceeds 2 tonnes; and (j) all vehicles used by the business are parked on the site. 	<p>The proposed shed is to be used as a hobby woodworking and metal workshop by the owners and will not be used as a home based business.</p> <p>Proposed uses include:</p> <ol style="list-style-type: none"> 1. Woodworking 2. Metalwork (with separate area) 3. Storage (inc of loft space)
Please provide an amended site plan that includes annotated dimension of width of crossover and internal accessway serving		Please find attached amended Site plan Rev. A

the proposed outbuilding.		
Please provide a written response to C2.6.1 Construction of Parking Areas P1.	<p>P1</p> <p>All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:</p> <ul style="list-style-type: none"> (a) the nature of the use; (b) the topography of the land; (c) the drainage system available; (d) the likelihood of transporting sediment or debris from the site onto a road or public place; (e) the likelihood of generating dust; and (f) the nature of the proposed surfacing. 	<p>The existing driveway is a gravel driveway which has serviced the dwelling suitably since the owners have occupied the property. With the existing topography it is noted that any sediment or debris is likely to back onto the title property as the driveway slopes away from street. Additionally, the crossover will be extended to the title boundary which will further limit tracking of debris onto main road. The nature of the existing driveway is a highly compacted fine gravel/clay with water generally shed downslope over existing natural ground level with no erosion noted.</p> <p>Extended areas of driveway to service shed are proposed to be compacted FCR gravel or similar gravel to existing gravel if available to allow suitable turning, parking and maneuvering.</p> <p>It is noted that a significant number of dwellings along Cherrywood still have gravel driveways, notably 6,14, 20,24,28, 34 Cherrywood.</p>

End Responses.

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
187162	1
EDITION	DATE OF ISSUE
1	08-July-2024

SEARCH DATE : 12-Dec-2025

SEARCH TIME : 12.09 pm

DESCRIPTION OF LAND

Town of SCAMANDER

Lot 1 on Sealed Plan [187162](#)

Derivation : Part of 640 Acres Gtd. to Anthony Fenn Kemp

Prior CT [118595/27](#)**SCHEDULE 1**

[E177835](#) TRANSFER to NICOLA JANE FRASER of three undivided 1/5 shares and KATE MEREDITH FRASER of two undivided 1/5 shares as tenants in common Registered 09-Aug-2019 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP[187162](#) EASEMENTS in Schedule of EasementsSP [46988](#) FENCING COVENANT in Schedule of Easements**UNREGISTERED DEALINGS AND NOTATIONS**

No unregistered dealings or other notations

OWNER: NICOLA JANE FRASER
KATE MEREDITH FRASER
FOLIO REFERENCE: CT 118595/27

GRANTEE: PART OF 640 ACRES GTD.
TO ANTHONY FENN KEMP.
(FORMERLY LOTS 7 & 8 ON SP118595).

PLAN OF SURVEY

BY SURVEYOR : A.J. BUTLER
LOCATION : TOWN OF SCAMANDER

SCALE 1:500

LENGTHS IN METRES

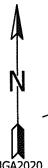
REGISTERED NUMBER
SP187162

APPROVED 8 JUL 2024
EFFECTIVE FROM
Revera

Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

'Priority Final Plan'



(SP156731)

OUTLET TO
PUBLIC DRAIN71° 13.25 22' 40"
13.25DRAINAGE
EASEMENT
2.00 WIDE

13.25

169° 38' 40"

73.45

176° 56' 00"

75.44

22'

22.92

71°

20'

24.08

1

1356m²

(SP118595)

161° 09' 40"

12.67

3.00 WIDE (SP118595)

22'

20'

24.08

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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 187162

PAGE 1 OF 2 PAGES

'Priority Final Plan'

EASEMENTS AND PROFITS:

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS:

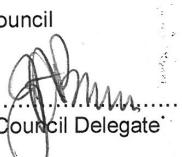
Lot 1 on the plan is subject to a right of drainage in favour of the Break O'Day Council in gross as shown on the plan marked as "DRAINAGE EASEMENT 3.00 WIDE" and "DRAINAGE EASEMENT 2.00 WIDE".

(SP 118595)

FENCING COVENANT:

~~The owner of each lot on the plan are subject to the fencing covenant in favour of W. & M. Holdings Pty. Ltd. (ACN 009 557 902) created by Sealed Plan 46988.~~

(USE ANNEXURE PAGES FOR CONTINUATION)

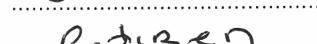
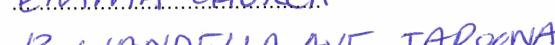
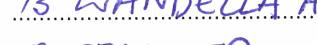
SUBDIVIDER: Nicola Jane Fraser & Kate Meredith Fraser	PLAN SEALED BY: Break O'Day Council
FOLIO REF: C/T 118595/27	DATE: 28/06/2012
SOLICITOR & REFERENCE: Butler McIntyre & Butler 240156	REF NO.  Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 2 PAGES

Registered Number

SF 187162SUBDIVIDER: Nicola Jane Fraser & Kate Meredith Fraser
FOLIO REFERENCE: C/T 118595/27'Priority Final Plan'SIGNED by NICOLA JANE FRASER in)
The presence of:
NICOLA JANE FRASERWitness: Name: 
MARY BRABOOKAddress: 
8 Hanes close moogoolga 2456Occupation: 
RetiredSIGNED by KATE MEREDITH FRASER in)
The presence of:
KATE MEREDITH FRASERWitness: Name: 
EMMA CHURCHAddress: 
13 WANDELLA AVE, TAROONAOccupation: 
RESEARCHER.**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.