

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

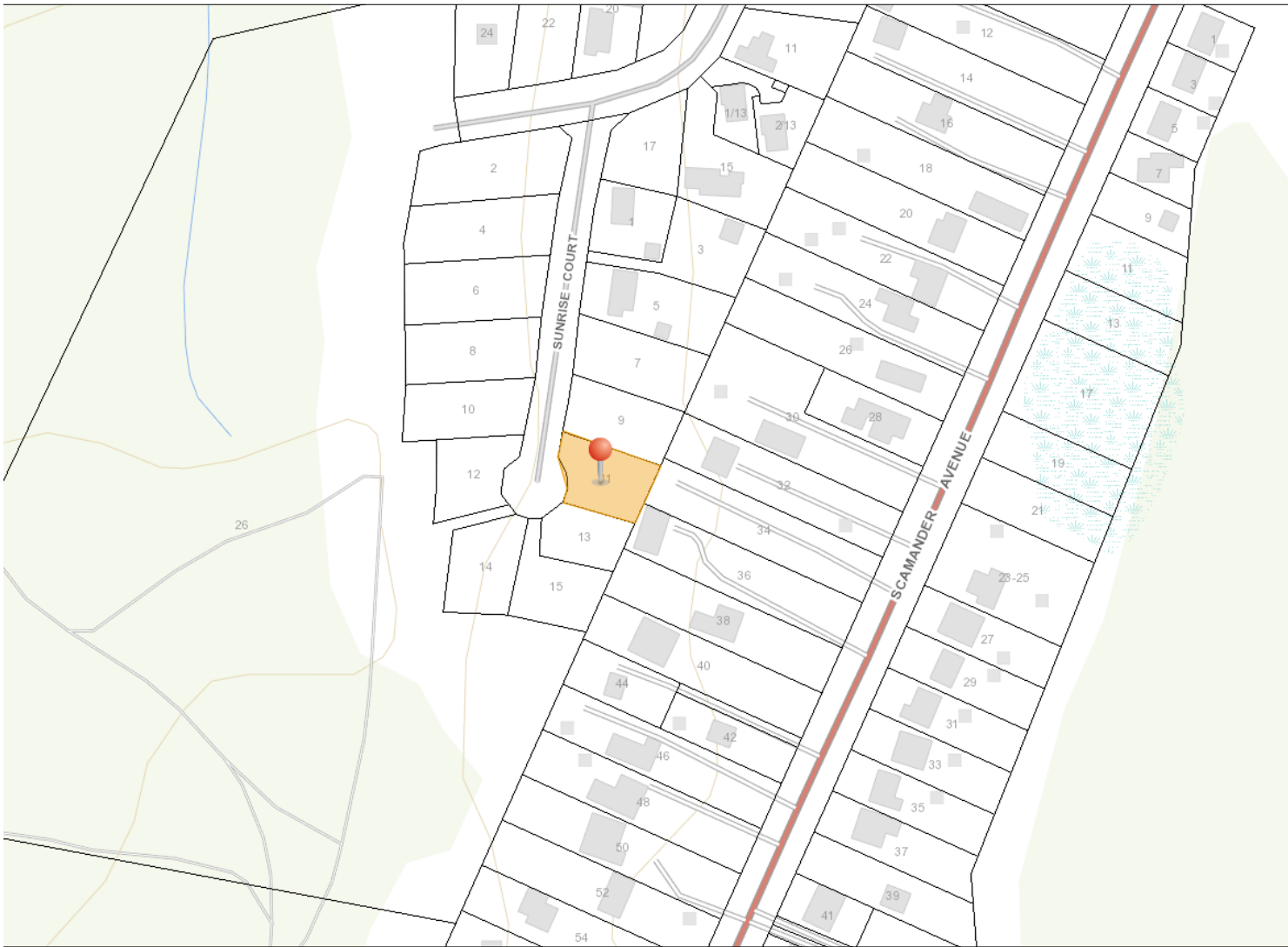
DA Number	DA 2025 / 00234
Applicant	R Bastick
Proposal	Residential - Construction of Shed with Amenities and Driveway Extension
Location	11 Sunrise Court, Scamander

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 14th February 2026 **until 5pm Monday 2nd March 2026.**

John Brown
GENERAL MANAGER

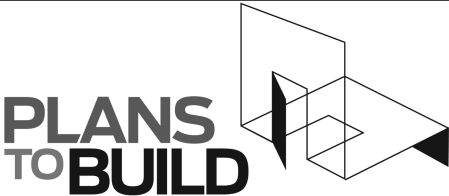
NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION
at 11 SUNRISE COURT, SCAMANDER TAS 7215
for ROBERT BASTICK



LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 SITE DRAINAGE PLAN
- A03 OUTBUILDING FLOOR PLAN & ELEVATIONS
- A04 HOUSING PROVISIONS



ABN 23 269 055 701
Level 1 Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9914 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD COMPLIANCES.

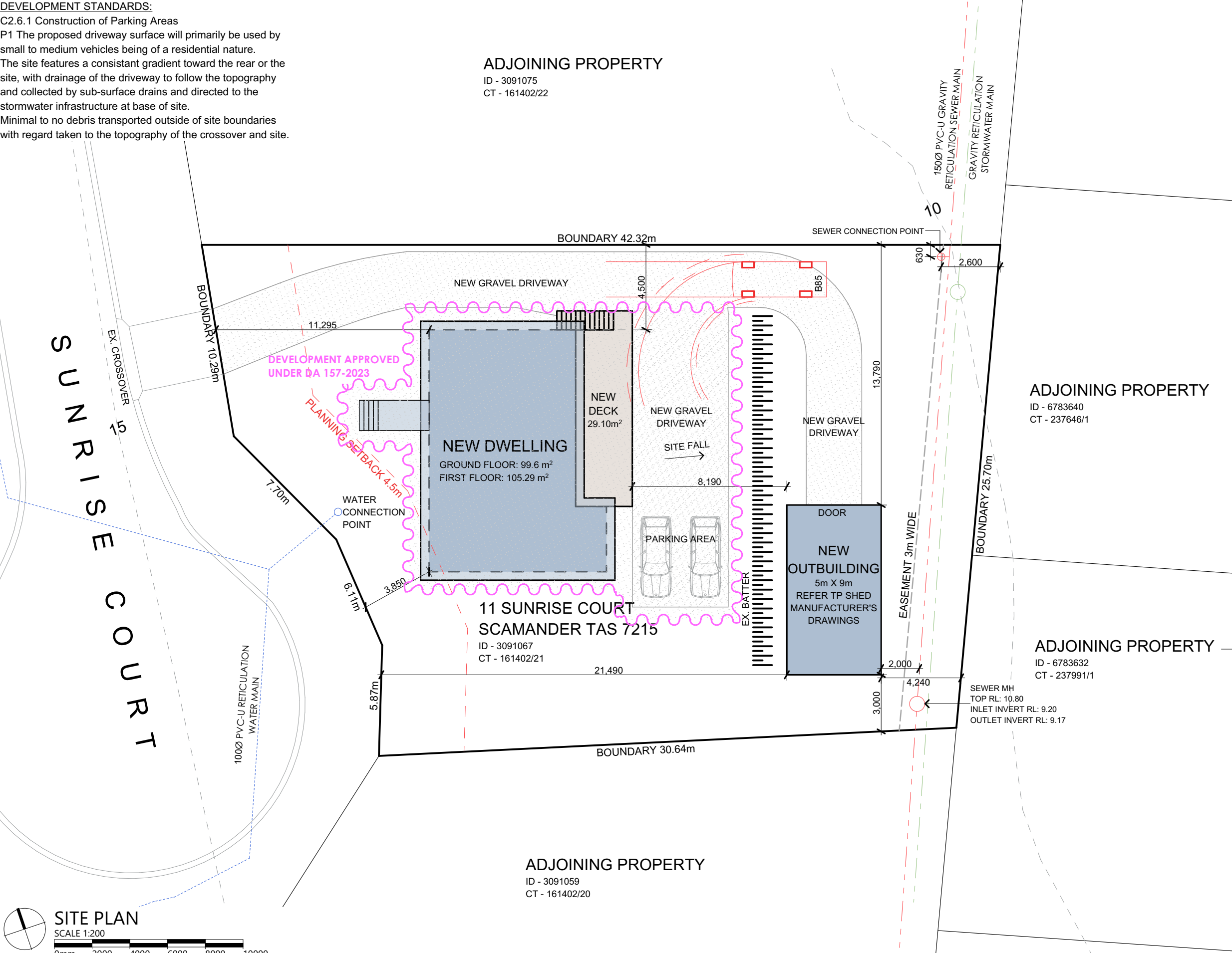
PROJECT INFORMATION:

FLOOR AREAS: DWELLING GROUND FLOOR AREA - 99.6m ² OUTBUILDING FLOOR AREA - 45m ² DWELLING FIRST FLOOR AREA - 105.3m ²		SITE AREA: 955m ²	WIND SPEED	LAND TITLE, VOLUME & FOLIO 161402/21
SITE OVERLAYS: PRIORITY VEGETATION	SITE CLASSIFICATION :	CLIMATE ZONE: 7	ALPINE AREA: N/A	BUSHFIRE ATTACK LEVEL: N/A
COUNCIL: BREAK O'DAY	WIND REGION: A3	CORROSION ENVIRONMENT SEVERE	TERRAIN CLASSIFICATION:	
SCHEME / ZONE: 8.0 GENERAL RESIDENTIAL	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 30/01/2026	PROJECT NUMBER: 25118	

rev.	Amendment	Date
DRAWING No: A00		ISSUE: APPROVAL
1 of 10		REV: 0

DEVELOPMENT STANDARDS:
C2.6.1 Construction of Parking Areas
P1 The proposed driveway surface will primarily be used by small to medium vehicles being of a residential nature.
The site features a consistant gradient toward the rear or the site, with drainage of the driveway to follow the topography and collected by sub-surface drains and directed to the stormwater infrastructure at base of site.
Minimal to no debris transported outside of site boundaries with regard taken to the topography of the crossover and site.

ADJOINING PROPERTY
ID - 3091075
CT - 161402/22



SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3
SOIL AND WATER MANAGEMENT PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

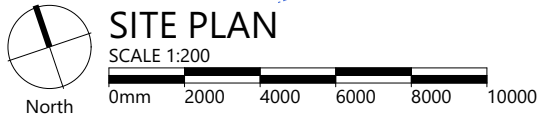
NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

ADJOINING PROPERTY
ID - 6783640
CT - 237646/1

ADJOINING PROPERTY
ID - 6783632
CT - 237991/1

ADJOINING PROPERTY
ID - 3091059
CT - 161402/20



NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION

11 SUNRISE COURT, SCAMANDER TAS 7215

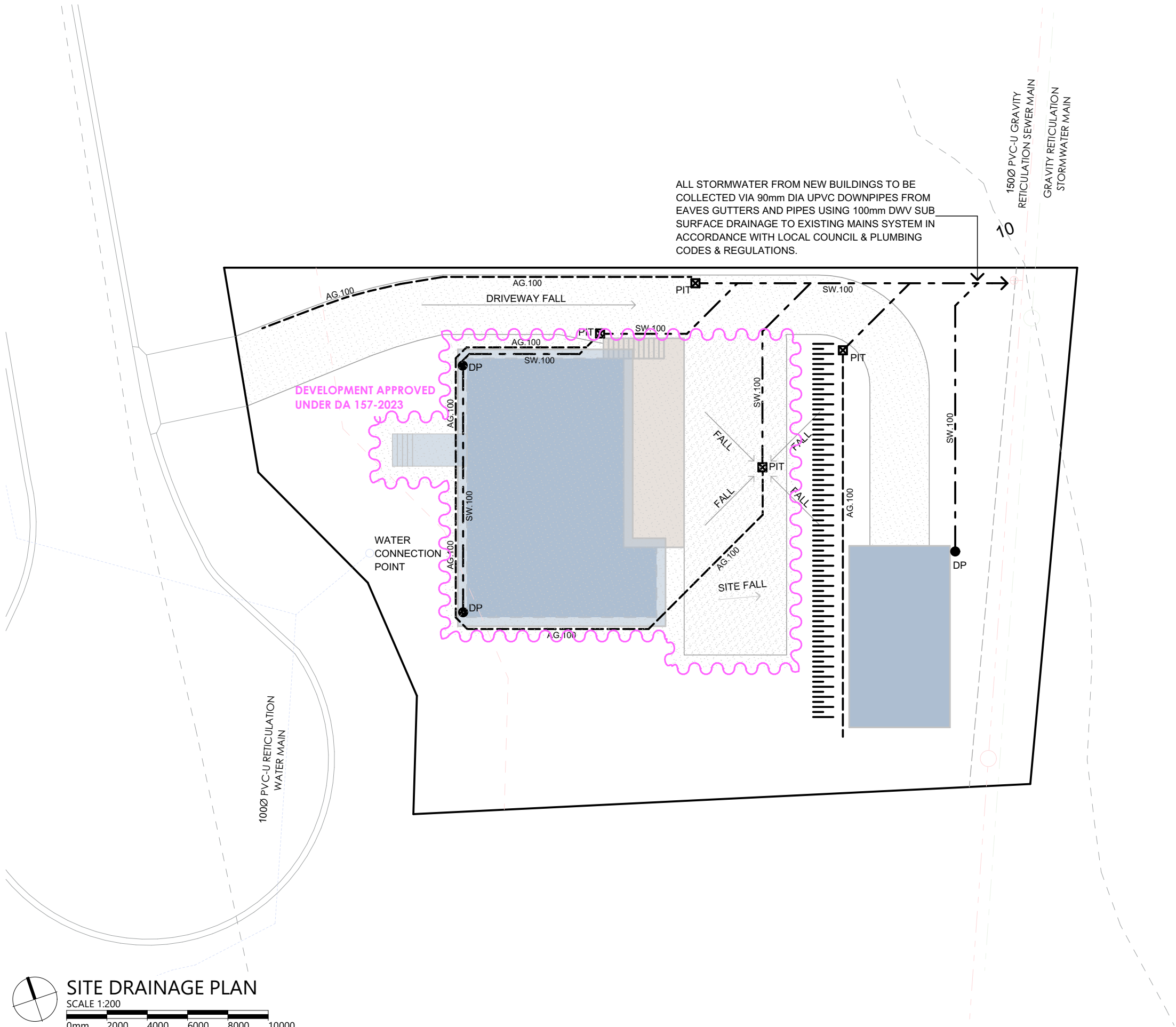
PROJECT NUMBER: 25118
SCALE: IF IN DOUBT ASK SCALE @ A3
PRINT DATE: 30/01/2026

PLANS TO BUILD

ABN 23 269 055 701
Level 1 Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9914 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

Owner:
ROBERT BASTICK

rev.	Amendment	Date
DRAWING No:	ISSUE: APPROVAL	
A01	2 of 10	REV: 0



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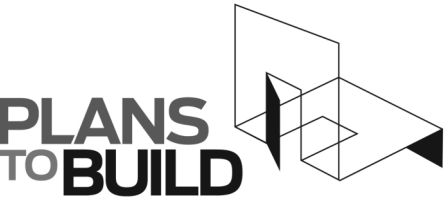
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PLUMBING LEGEND

- SW. 100** NEW 100mm DWV PVC SN6 STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- S. 100** NEW 100mm DWV PVC SN6 SEWER PIPE WITH 1: 60 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- AG. 100** NEW 100mm AG DRAIN WITH FILTER SOCK INSTALLED AT TIME OF FOOTING CONSTRUCTION
- PIT** NEW SUMP/SILT TRAP



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J.E.YOUNG LIC. No. 674 563 705

Owner:
ROBERT BASTICK

rev. Amendment		Date
DRAWING No: A02		ISSUE: APPROVAL
REV: 0		3 of 10

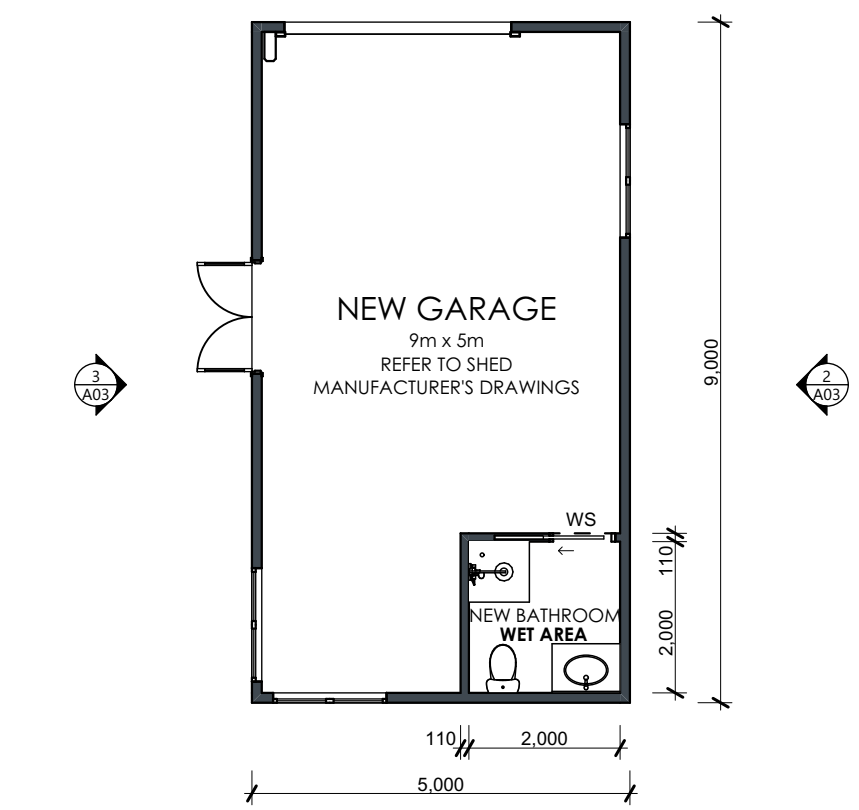
SITE DRAINAGE PLAN
SCALE 1:200
0mm 2000 4000 6000 8000 10000
North

NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION
11 SUNRISE COURT, SCAMANDER TAS 7215

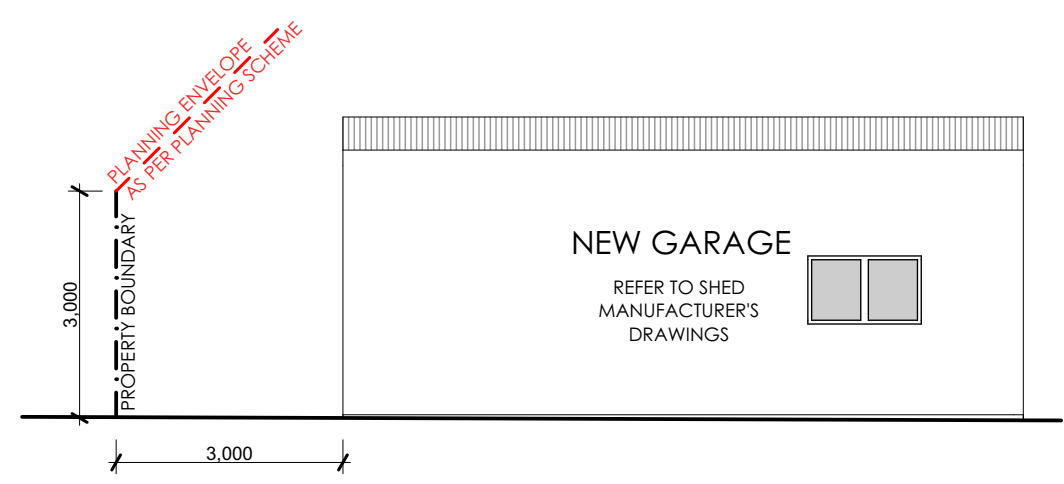
PROJECT NUMBER:
25118

SCALE: IF IN DOUBT ASK
SCALE @ A3

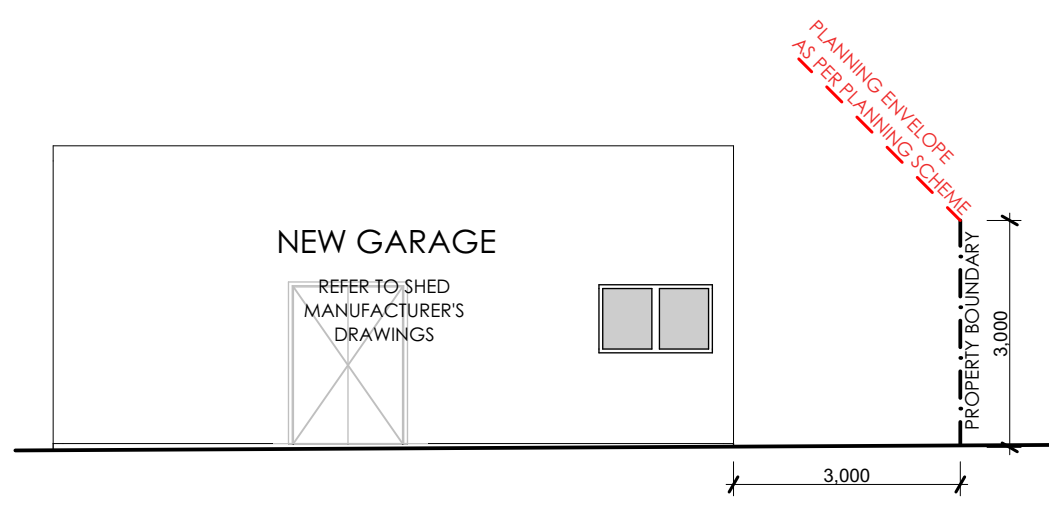
PRINT DATE:
30/01/2026



OUTBUILDING FLOOR PLAN
SCALE 1:100
0mm 1000 2000 3000 4000 5000
Project North



2 OUTBUILDING EASTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



3 OUTBUILDING WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

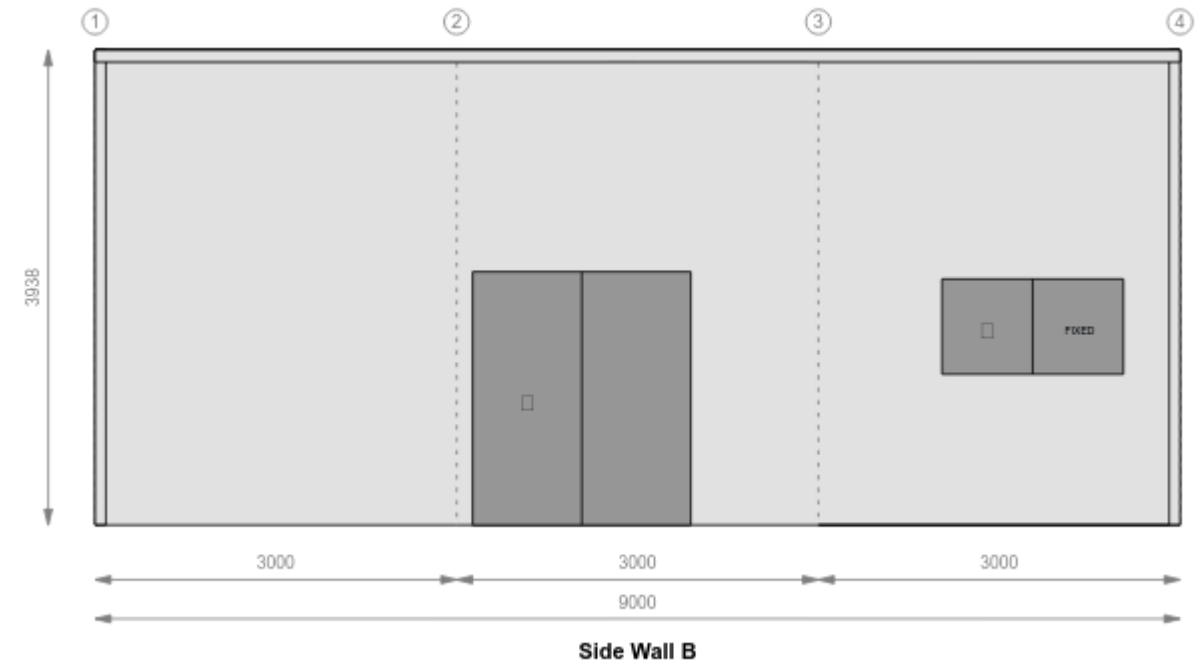
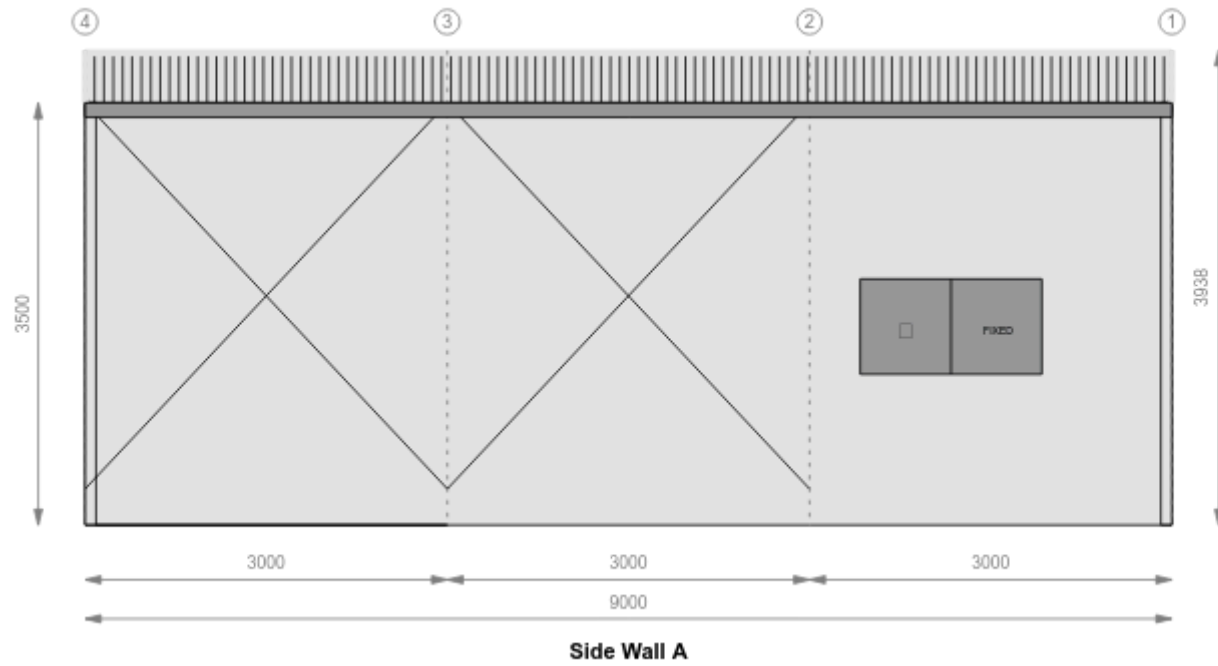
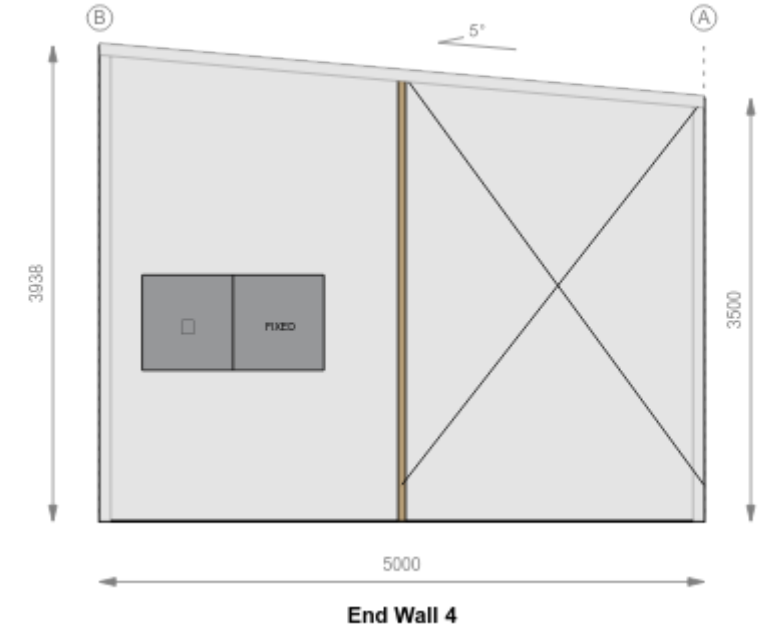
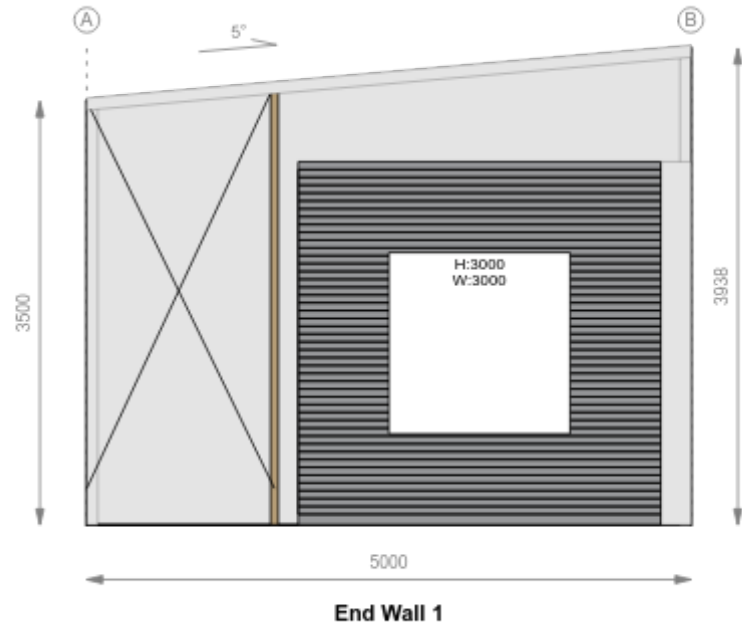
- FLOOR PLAN LEGEND**
- NEW WALLS
 - NEW PAINT GRADE HOLLOW CORE INTERIOR SWING DOOR WITH ARCHITRAVES, JAMBS AND STOPS. PAINT FINISH
 - NEW PAINT GRADE HOLLOW CORE (SOLID IN WETAREAS) INTERIOR CAVITY SLIDING DOOR WITH ARCHITRAVES AND JAMBS. PAINT FINISH (SOLID OPENING ARROW)
 - W## POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOWS REFER TO DOOR AND WINDOW SCHEDULE

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Owner:
ROBERT BASTICK



3D View



Rev	Date	Description

Client / Representative:
Rob Bastick

Signature:
Date:

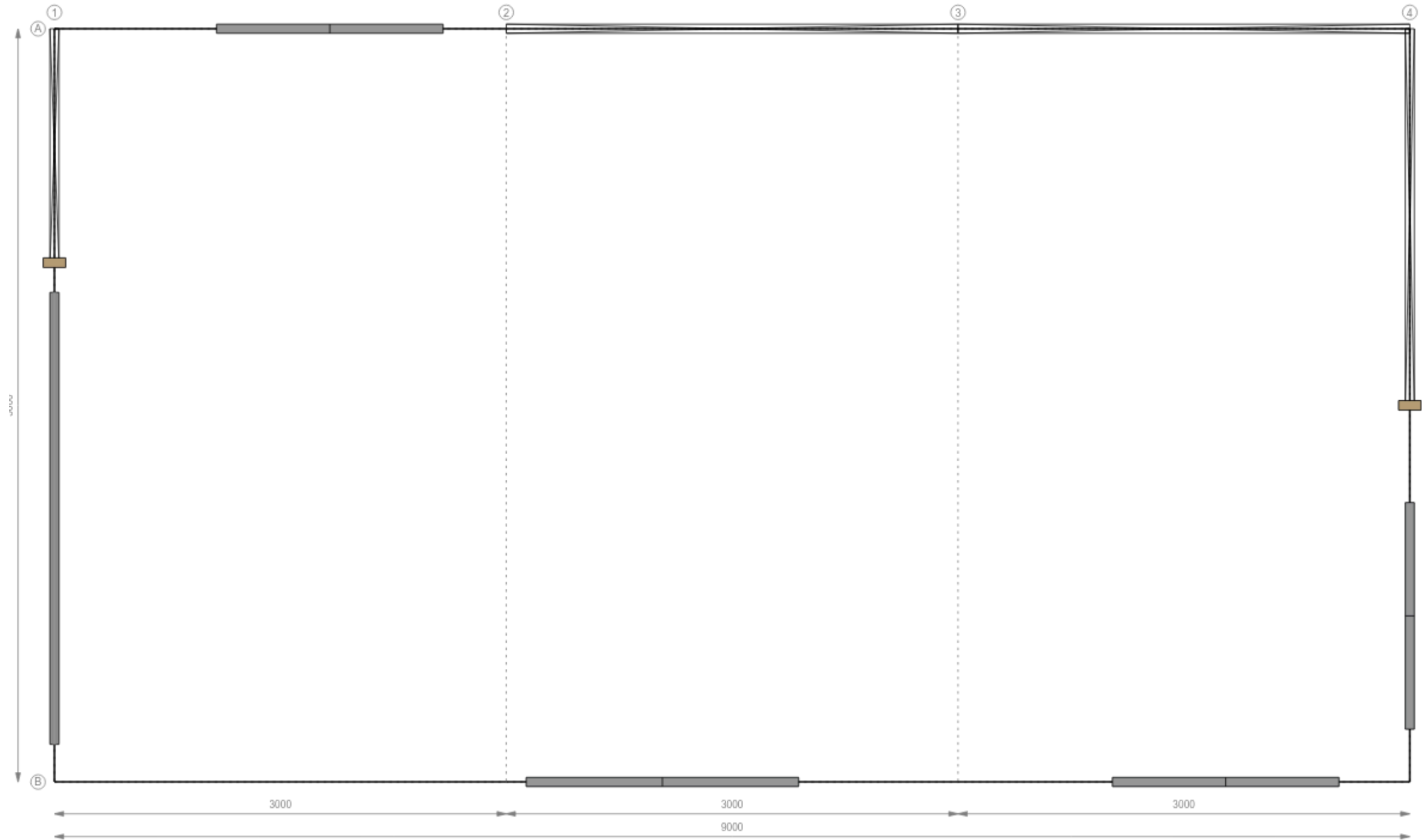


Title Name:	CONTRACT PLANS FOR A SHED 5.0M x 9.0M x 3.5M	
Client:	Rob Bastick	
Site address:	11 sunrise court scamander, Tasmania, 7251	

Job No.	SEL-282643	
Dwg No.	01	
Date	15-Jun-2025	
Rev	1	A3



3D View



Floor plan

Rev	Date	Description

Client / Representative:
Rob Bastick

Signature:
Date:

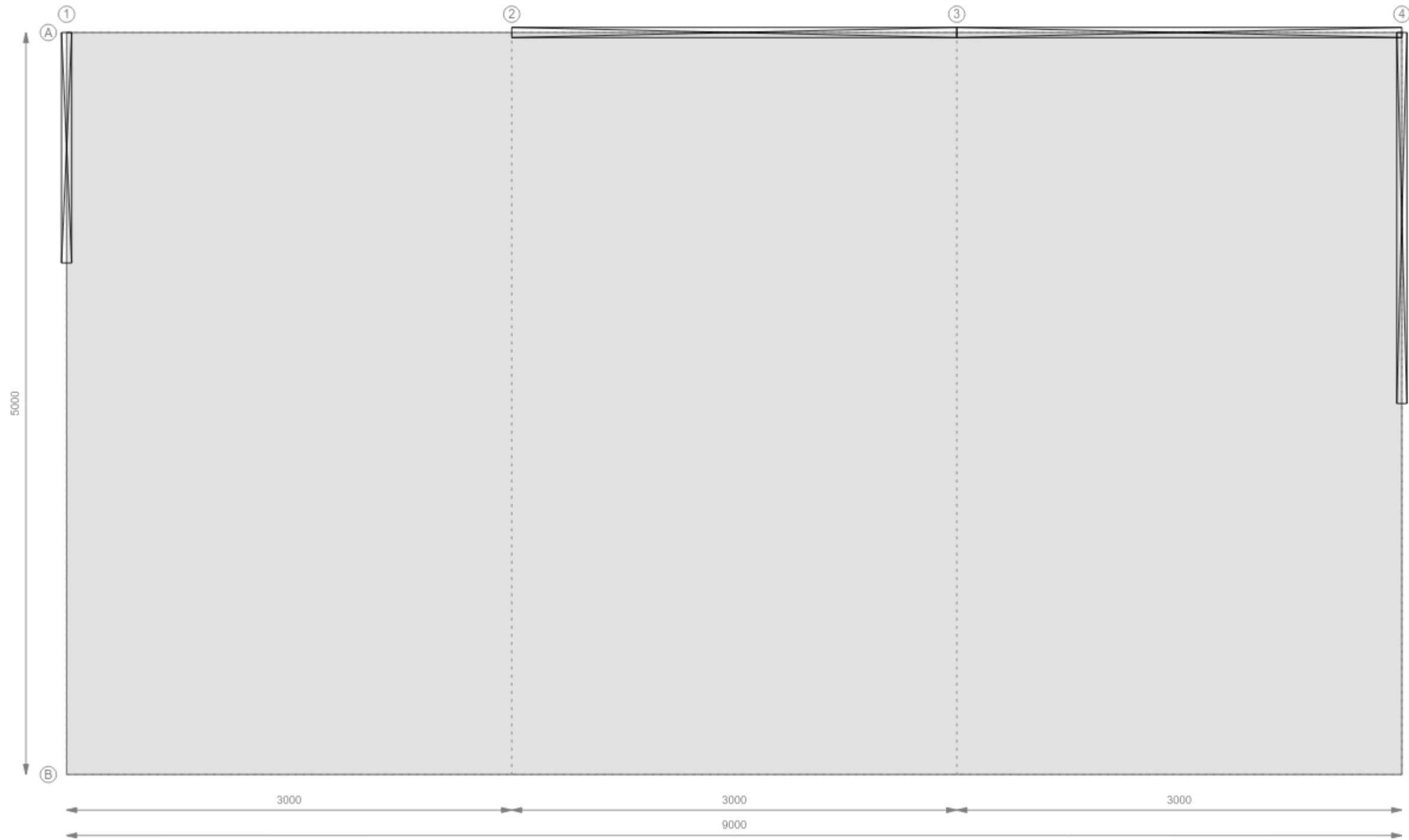


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Client:	Rob Bastick	
Site address:	11 sunrise court scamander, Tasmania, 7251	

Job No.	SEL-282643	
Dwg No.	02	
Date	15-Jun-2025	
Rev	1	A3



3D View



Roof plan

Rev	Date	Description

Client / Representative:
Rob Bastick

Signature:
Date:



Title Name:	CONTRACT PLANS FOR A SHED 5.0M x 9.0M x 3.5M	
Client:	Rob Bastick	
Site address:	11 sunrise court scamander, Tasmania, 7251	

Job No.	SEL-282643	
Dwg No.	03	
Date	15-Jun-2025	
Rev	1	A3

