

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number DA 2025 / 00234
Applicant R Bastick
Proposal Residential - Construction of Shed with Amenities and Driveway Extension
Location 11 Sunrise Court, Scamander

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

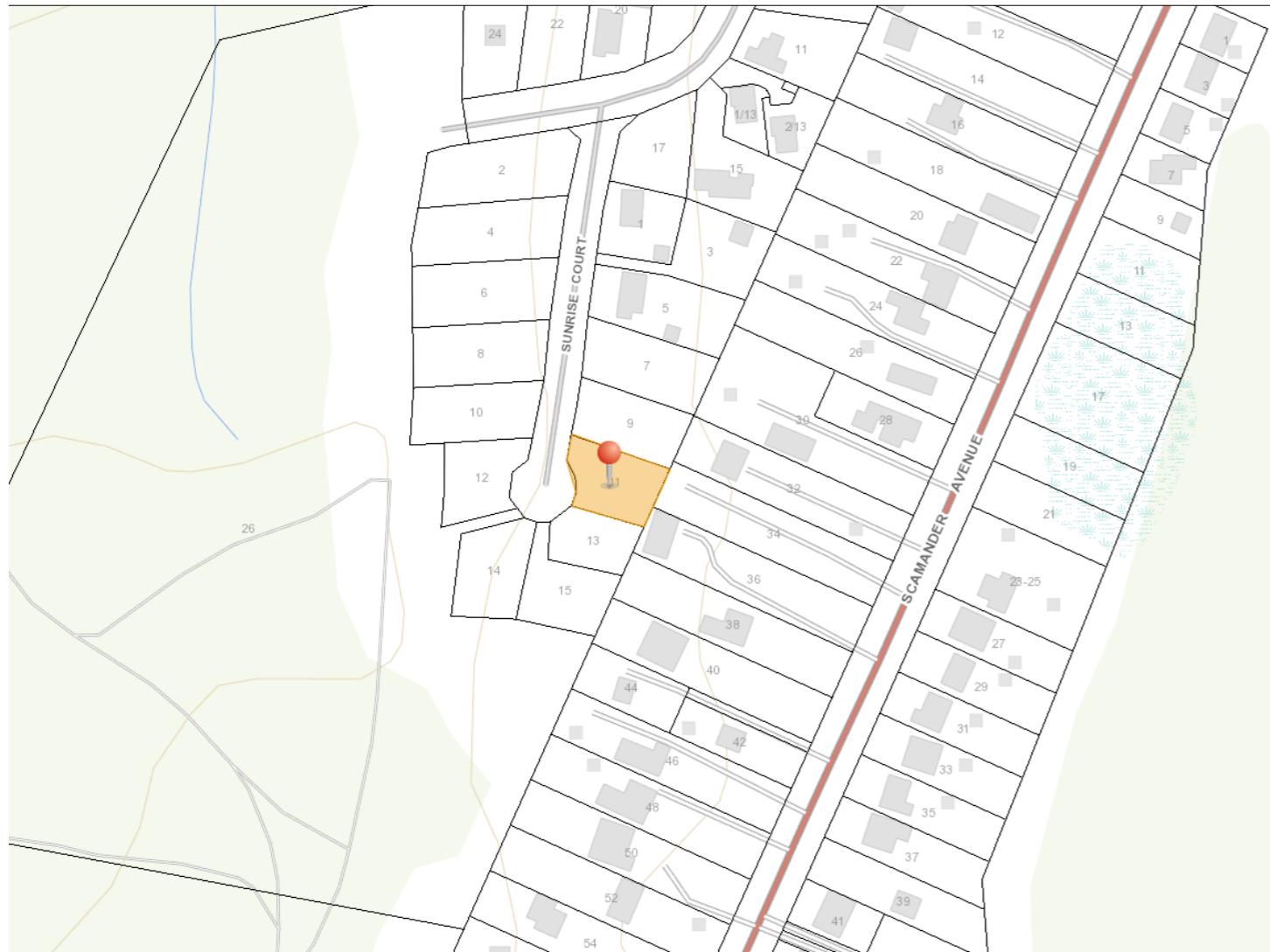
Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 14th February 2026 **until 5pm Monday 2nd March 2026.**

John Brown
GENERAL MANAGER

NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION

at 11 SUNRISE COURT, SCAMANDER TAS 7215

for ROBERT BASTICK



LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 SITE DRAINAGE PLAN
- A03 OUTBUILDING FLOOR PLAN & ELEVATIONS
- A04 HOUSING PROVISIONS

**PLANS
TOBUILD**

ABN 23 269 055 701
Level 1 Holymen House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9914 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD COMPLIANCES.

PROJECT INFORMATION:

FLOOR AREAS: DWELLING GROUND FLOOR AREA - 99.6m ² OUTBUILDING FLOOR AREA - 45m ²		SITE AREA: 955m ²	WIND SPEED	LAND TITLE, VOLUME & FOLIO 161402/21
SITE OVERLAYS: PRIORITY VEGETATION	SITE CLASSIFICATION :	CLIMATE ZONE: 7	ALPINE AREA: N/A	BUSHFIRE ATTACK LEVEL: N/A
COUNCIL: BREAK O'DAY	WIND REGION: A3	CORROSION ENVIRONMENT	TERRAIN CLASSIFICATION:	SEVERE
SCHEME / ZONE: 8.0 GENERAL RESIDENTIAL	SCALE: IF IN DOUBT ASK SCALE @ A3	PRINT DATE: 30/01/2026	PROJECT NUMBER: 25118	rev. Amendment Date
				DRAWING NO: A00 ISSUE: APPROVAL 1 of 10 REV: 0

DEVELOPMENT STANDARDS:

C2.6.1 Construction of Parking Areas

P1 The proposed driveway surface will primarily be used by small to medium vehicles being of a residential nature.

The site features a constant gradient toward the rear of the site, with drainage of the driveway to follow the topography and collected by sub-surface drains and directed to the stormwater infrastructure at base of site.

Minimal to no debris transported outside of site boundaries with regard taken to the topography of the crossover and site.

ADJOINING PROPERTY

ID - 3091075
CT - 161402/22

SUNRISE COURT

SITE PLAN
SCALE 1:200
North
0mm 2000 4000 6000 8000 10000

NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION

11 SUNRISE COURT, SCAMANDER TAS 7215

PROJECT NUMBER: 25118
SCALE: IF IN DOUBT ASK
PRINT DATE: 30/01/2026

rev. Amendment Date
DRAWING NO: A01
ISSUE: APPROVAL
2 of 10 REV: 0

SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3
SOIL AND WATER MANAGEMENT
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTIL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

ADJOINING PROPERTY

ID - 6783640
CT - 237646/1

ADJOINING PROPERTY

ID - 6783632
CT - 237991/1
SEWER MH
TOP RL: 10.80
INLET INVERT RL: 9.20
OUTLET INVERT RL: 9.17

PLANS TO BUILD
ABN 23 269 055 701
Level 1 Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9914 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

Owner:
ROBERT BASTICK

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IN ACCORDANCE WITH PART D2. NCC PLUMBING
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PLUMBING LEGEND

SW. 100 NEW 100mm DWV PVC SN6
STORMWATER PIPE WITH 1: 100
MINIMUM GRADE
UNLESS NOTED OTHERWISE BELOW

S. 100 NEW 100mm DWV PVC SN6 SEWER
PIPE WITH 1: 60 MINIMUM GRADE
UNLESS NOTED OTHERWISE BELOW

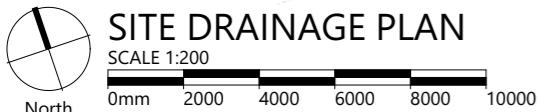
AG. 100 NEW 100mm AG DRAIN WITH FILTER
SOCK INSTALLED AT TIME OF
FOOTING CONSTRUCTION

PIT  NEW SUMP/SILT TRAP



ABN 23 269 055 701
Level 1 Holymann House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
tel - 6388 9914 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
E YOUNG, LLC No. 674 563 705

Owner:
ROBERT BASTICK



NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION

11 SUNRISE COURT, SCAMANDER TAS 7215

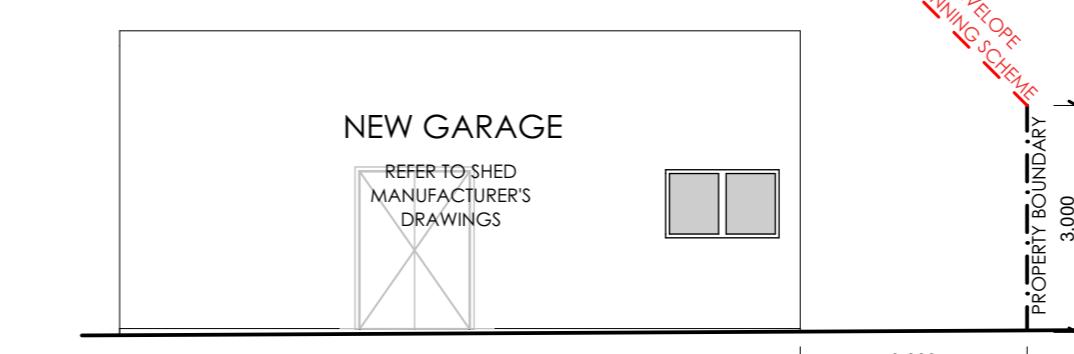
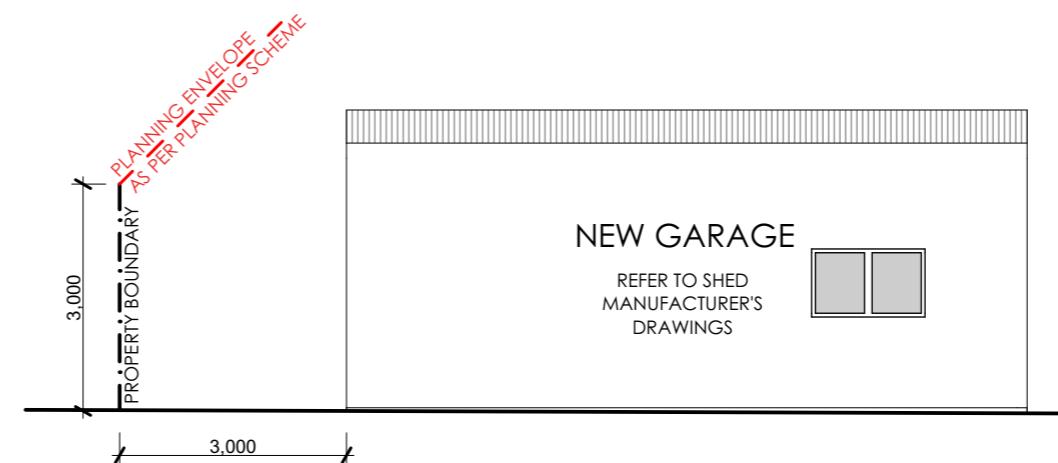
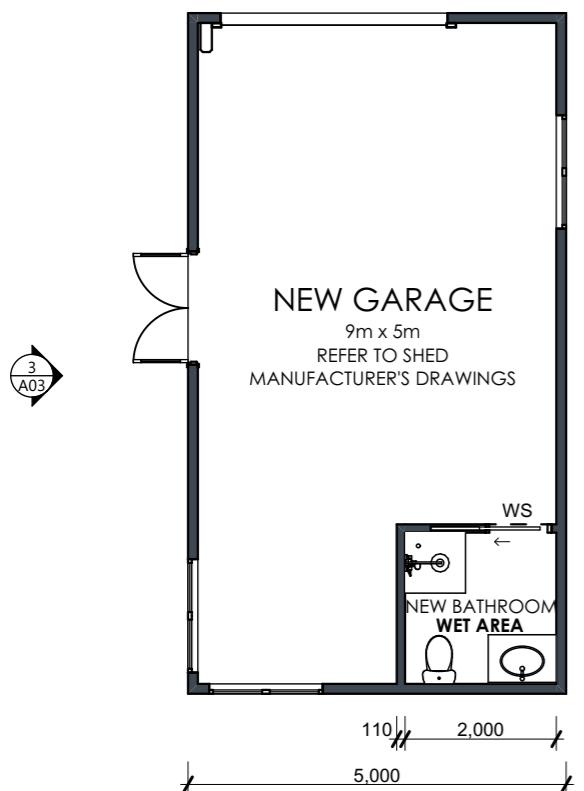
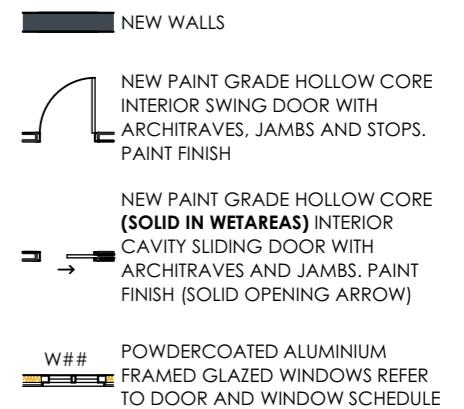
PROJECT NUMBER:
25118

SCALE: IF IN DOUBT A

A3 **30/01**

Rev.	Amendment	Date
DRAWING NO:		ISSUE: APPROVAL
A02		REV: 0
3 of 10		

FLOOR PLAN LEGEND



NEW OUTBUILDING WITH AMENITIES AND DRIVEWAY EXTENSION

11 SUNRISE COURT, SCAMANDER TAS 7215

PROJECT NUMBER:
25118

SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
30/01/2026

rev.	Amendment	Date
DRAWING NO:	ISSUE: APPROVAL	
A03	4 of 10 REV: 0	

PLANS TO BUILD
ABN 23 269 055 701
Level 1 Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9914 - Mob - 0488 377 937
Email - jackson@planstobuild.com.au
J.E.YOUNG LIC. No. 674 563 705

Owner:
ROBERT BASTICK

HOUSING PROVISIONS

2 STRUCTURE

STRUCTURAL PROVISIONS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, STRUCTURAL PROVISIONS ARE TO BE IN STRICT COMPLIANCE WITH PARTS 2.2.1-2.2.5 OF THE BCA. REFER ALSO TO ENG'S DRAWINGS FOR DETAILS.

3 SITE PREPARATION

3.2 EARTHWORKS

CONTACT BEFORE YOU DIG TO LOCATE UNDERGROUND SERVICES. THE BUILDER SHALL PROVIDE TEMPORARY SHORING FOR ANY EXCAVATION WORK WITHIN 1m FROM THE TITLE BOUNDARY. ANY EXCAVATION DEPTH OVER 1m IN HEIGHT FROM NATURAL GROUND SHOULD BE REFERRED TO THE ENGINEER TO CONFIRM THE STABILITY OF THE SURROUNDING GROUND. PROVIDE SILT FENCING TO LOCAL COUNCIL GUIDELINES.

3.3 DRAINAGE

REFER TO PLUMBING NOTES

3.4 TERMITE RISK MANAGEMENT

TERMITE RISK MANAGEMENT NOT APPLICABLE FOR TASMANIAN WORKS

4 FOOTINGS AND SLABS

4.2 FOOTINGS, SLABS AND ASSOCIATED ELEMENTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL FOOTINGS AND SLABS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS: 2870 OR AS 2159 AS APPROPRIATE AND THE REQUIREMENTS OF PARTS 4.2.1 - 4.2.22

5 MASONRY

5.2 MASONRY VENEER

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.2.1 - 5.2.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773

5.3 CAVITY MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CAVITY MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.3.1 - 5.3.7 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773

5.4 UNREINFORCED SINGLE LEAF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL UNREINFORCED SINGLE LEAF MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.4.1 - 5.4.5 OF THE BCA AND AUSTRALIAN STANDARD AS: 3700 AND AS: 4773

5.5 ISOLATED PIERS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ISOLATED PIERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS: 3700 OR AS: 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA PARTS 5.5.1 - 5.5.6

5 MASONRY

5.6 MASONRY COMPONENTS & ACCESSORIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.6.1 - 5.6.8 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)

5.7 WEATHERPROOFING OF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.7.1 - 5.7.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)

6 FRAMING

6.2 SUB-FLOOR VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SUB FLOOR VENTILATION SHALL BE IN STRICT COMPLIANCE WITH PARTS 6.2.1 OF THE BCA AND AUSTRALIAN STANDARDS AS: 1684 (PARTS 1, 2, 3 & 4)

6.2 STRUCTURAL STEEL MEMBERS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL STRUCTURAL STEEL MEMBERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS APPROPRIATE AND THE REQUIREMENTS OF THIS HOUSING PROVISION PARTS 6.3.1 - 6.3.9

7 ROOF AND WALL CLADDING

7.2 SHEET ROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL SHEET ROOF CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.2.1 - 7.2.8

7.3 ROOF TILES AND SHINGLES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL ROOF TILES AND SHINGLES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6

7.4 GUTTERS AND DOWNPipes

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GUTTERS AND DOWNPipes SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6

7.5 TIMBER AND COMPOSITE WALL CLADDING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL TIMBER AND COMPOSIE WALL CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.5.1 - 7.5.8

8 GLAZING

8.2 WINDOWS AND EXTERNAL GLAZED DOORS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL WINDOWS AND GLAZED DOORS SHALL BE IN STRICT COMPLIANCE WITH PARTS 8.2.1 - 8.2.2

8.3 GLASS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLASS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.3.1 - 8.3.3 AND AUSTRALIAN STANDARDS AS: 1288 AS 1170.1, AS 2047 AND AS/NZS 5601.

REFER ALSO GLAZING CALCULATOR AND OR ENERGY REPORT (SHGC AND U VALUES) REFER ALSO TO BAL (BUSHFIRE) REQUIREMENTS.

8.4 GLAZING HUMAN IMPACT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLAZING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.4.1 - 8.4.8 AND AUSTRALIAN STANDARDS AS: 1288 AS 1170.1, AS 2047 AND AS/NZS 5601.

9 FIRE SAFETY

9.2 FIRE SEPARATION OF EXTERNAL WALLS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE SEPARATION OF EXTERNAL WALLS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.2.1 - 9.2.10

9.3 FIRE PROTECTION OF SEPARATING WALLS AND FLOORS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF WALLS AND FLOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.3.1 - 9.3.4

9.4 FIRE PROTECTION OF GARAGE TOP DWELLINGS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF GARAGE TOP DWELLINGS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.4.1 - 9.4.2

9.5 SMOKE ALARMS AND EVACUATION LIGHTING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL SMOKE ALARMS (1a & 1b) AND EVACUATION LIGHTING (1b) SHALL BE IN STRICT ACCORDANCE WITH PARTS 9.5.1 - 9.5.5

10 HEALTH AND AMENITY

10.2 WET AREA WATERPROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WET AREA WATERPROOFING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.2.1 - 10.2.32 AND AUSTRALIAN STANDARDS AS: 3740 AND AS/NZS:4858

10.3 ROOM HEIGHTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL ROOM HEIGHTS ARE TO IN ACCORDANCE WITH 10.3.1.

10 HEALTH AND AMENITY

10.4 FACILITIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL REQUIRED FACILITIES ARE TO IN ACCORDANCE WITH 10.4.1 - 10.4.2

10.5 LIGHT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL NATURAL AND ARTIFICIAL LIGHTING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.5.1 - 10.5.2

10.6 VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL VENTILATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.6.1 - 10.6.3

10.7 SOUND INSULATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SOUND INSULATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.7.1 - 10.7.7

10.8 CONDENSATION MANAGEMENT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CONDENSATION MANAGEMENT SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.8.1 - 10.8.3

11 SAFE MOVEMENT AND ACCESS

11.2 STAIR AND RAMP CONSTRUCTION

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PARTS 11.2.1 - 11.2.6

11.3 BARRIERS AND HANDRAILS

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL BARRIERS AND HANDRAILS SHALL BE IN ACCORDANCE WITH PARTS 11.3.1 - 11.3.8

12 ANCILLARY PROVISIONS

12.2 CONSTRUCTION IN ALPINE AREAS

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO CONSTRUCTION IN ALPINE AREAS SHALL BE IN ACCORDANCE WITH PARTS 12.2.1 - 12.2.4

12.3 ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO THE ATTACHEMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE SHALL BE IN STRICT ACCORDANCE WITH PARTS 12.3.1 - 12.3.4

12.4 HEATING APPLIANCES, FIRE PLACES, CHIMNEY AND FLUES

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, DOMESTIC SOLID FUEL BURNING APPLIANCES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH AS/NZS 2918, AND HEATING APPLIANCES INSTALLED IN STRICT ACCORDANCE WITH PART 12.4. REFER ALSO TO RELEVANT DETAILS

3.12 ENERGY EFFICIENCY

3.12.1 BUILDING FABRIC

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING FABRIC SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.1

3.12.2 EXTERNAL GLAZING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, EXTERNAL GLAZING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.2

3.12.3 BUILDING SEALING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING SEALING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.3

3.12.4 CEILING FANS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, CEILING FANS SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.4

3.12.5 SERVICES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.5

3.12.6 AIR MOVEMENT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.6

PLUMBING CODE

B - WATER SERVICES

COLD WATER SERVICES

IN ACCORDANCE WITH PART B1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF COLD WATER SERVICES MUST BE IN ACCORDANCE WITH AS/NZS 3500.1 OR SECTION 2 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. BACKFLOW SHALL BE INSTALLED TO ALL COLD WATER SUPPLY IN ACCORDANCE WITH AS/NZS 2845. WATER SUPPLY PRESSURE SHALL BE SET TO MAXIMUM 500kpa

HEATED WATER SERVICES

IN ACCORDANCE WITH PART B2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A HEATED WATER SERVICE MUST BE IN ACCORDANCE WITH AS/NZS 3500.4 OR SECTION 3 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. HEATED WATER MUST BE STORED AT A MINIMUM OF 60°. HEATED WATER SHALL BE TEMPERED TO 50° TO ALL SANITARY FIXTURES FOR PERSONAL HYGIENE PURPOSES. HEATED WATER SHALL BE DELIVERED AT 60° FOR KITCHEN AND LAUNDRY FIXTURES.

C - SANITARY PLUMBING AND DRAINAGE SYSTEMS

SANITARY PLUMBING AND DRAINAGE SYSTEMS

IN ACCORDANCE WITH PART C1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A SANITARY PLUMBING SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.2 OR SECTION 4 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART

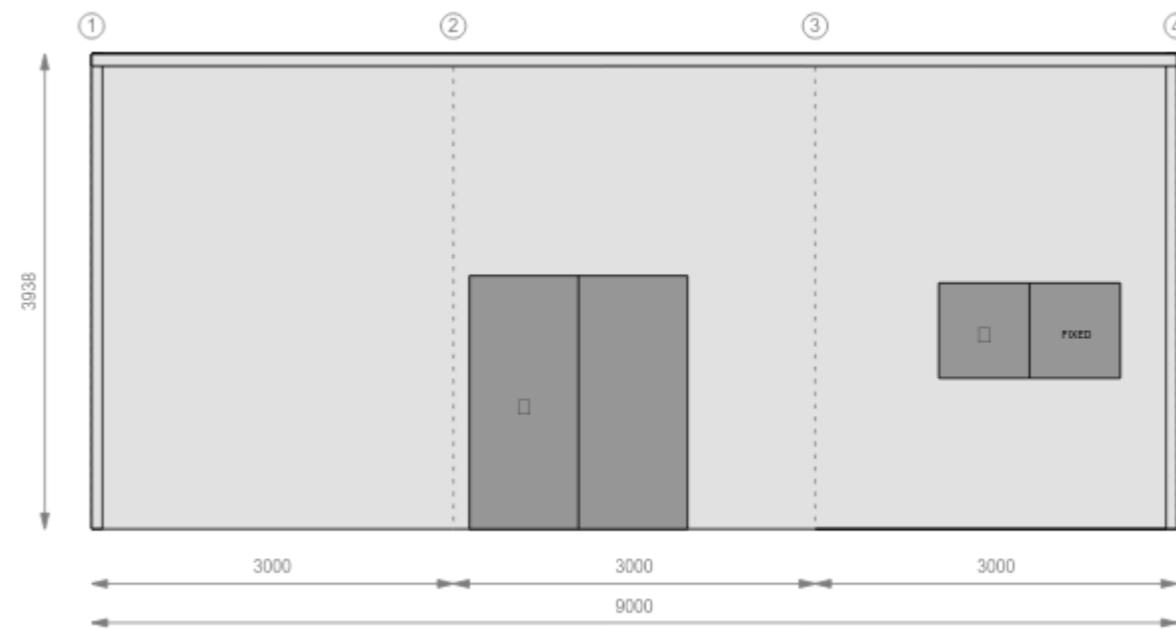
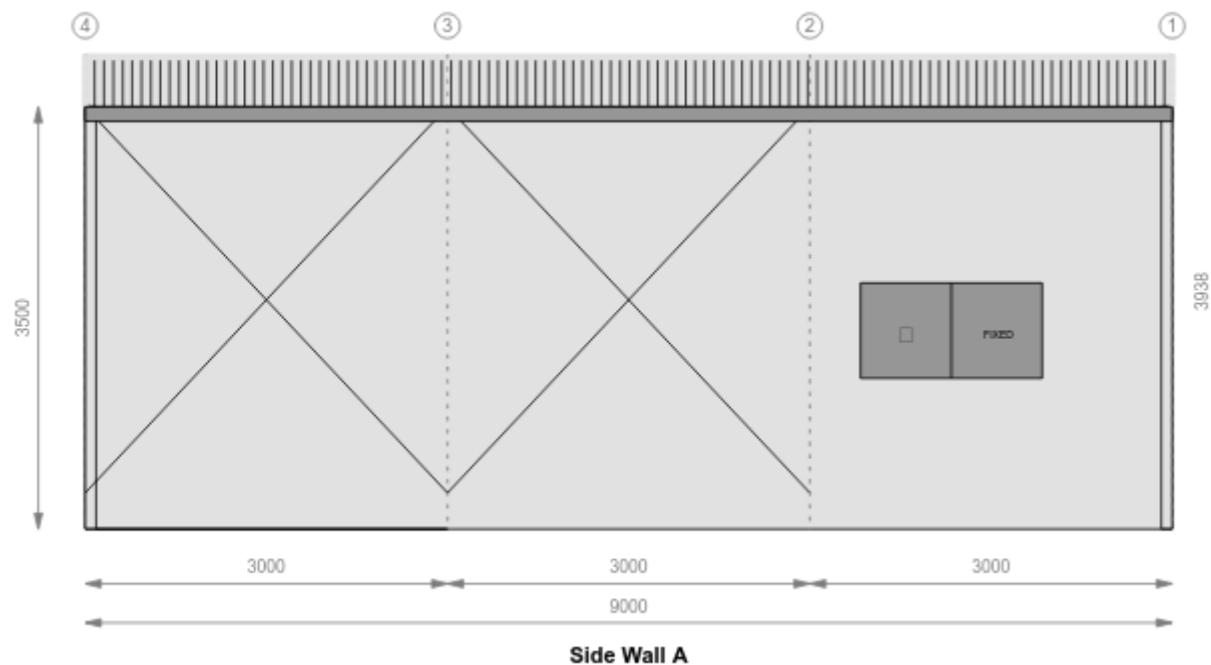
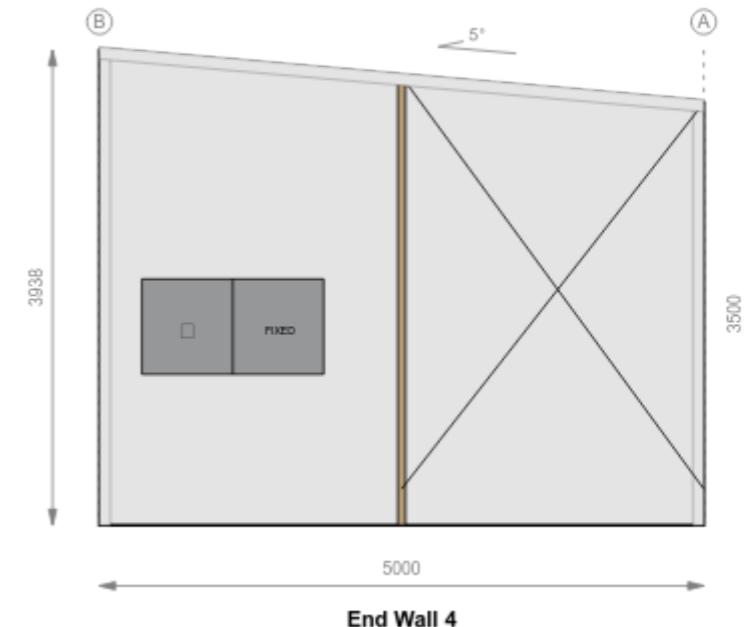
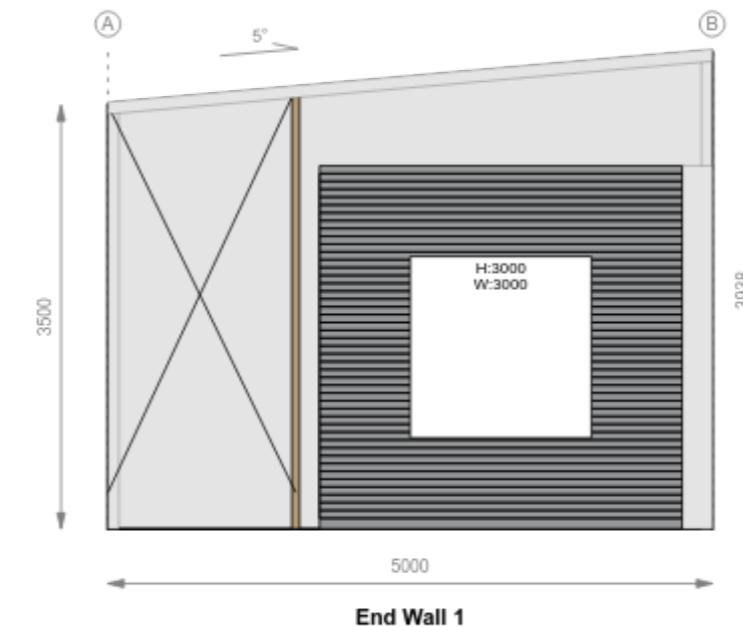
ROOF DRAINAGE SYSTEMS

IN ACCORDANCE WITH PART C NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A ROOF DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3 OR FOR CLASS 1 AND CLASS 10 BUILDINGS, COMPLY WITH THE DEEMED-TO-SATISFY PROVISIONS OF PARTS 7 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA

PLANS TO BUILD
ABN 23 269 055 701
Level 1 Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 991



3D View



Rev	Date	Description

Client / Representative:
Rob Bastick
Signature:
Date:

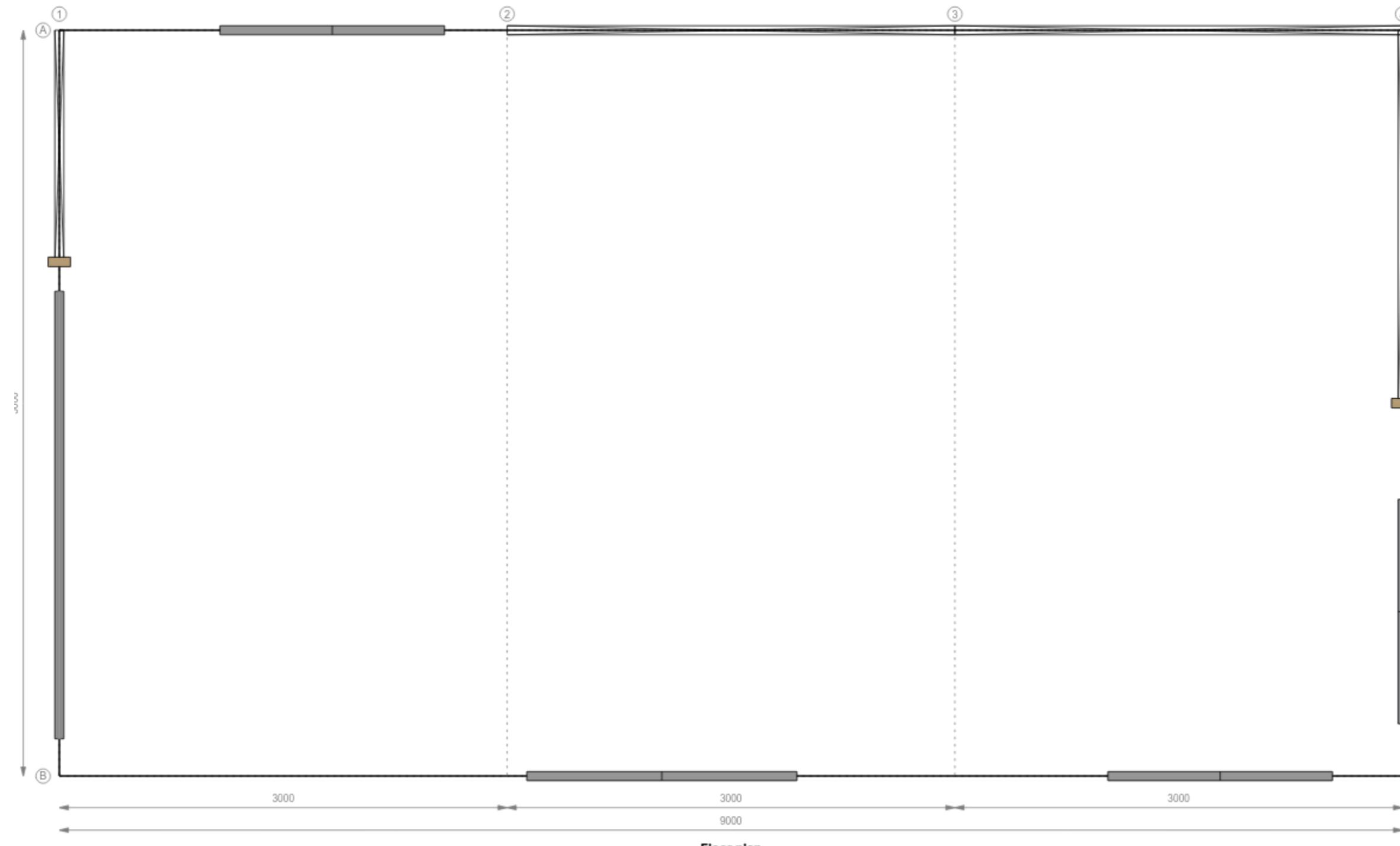


Title Name:	CONTRACT PLANS FOR A SHED 5.0M x 9.0M x 3.5M
Client:	Rob Bastick
Site address:	11 sunrise court scamander, Tasmania, 7251

Job No.	SEL-282643
Dwg No.	01
Date	15-Jun-2025
Rev	1 A3



3D View



Rev	Date	Description

Client / Representative:
Rob Bastick

Signature:
Date:



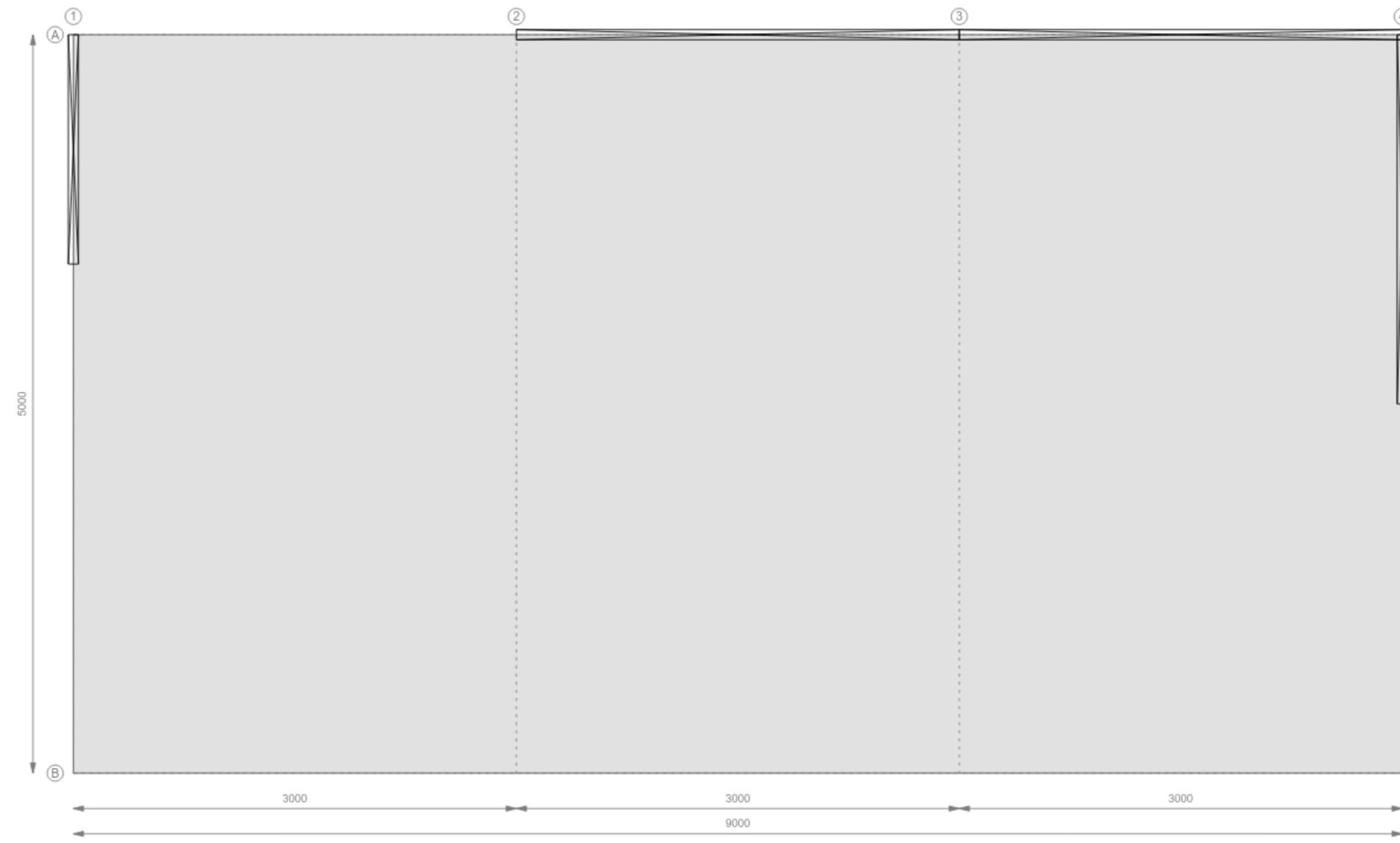
Title Name: CONTRACT PLANS
FOR A SHED 5.0M x 9.0M x 3.5M

Client: Rob Bastick
Site address: 11 sunrise court
scamander, Tasmania, 7251

Job No.	SEL-282643
Dwg No.	02
Date	15-Jun-2025
Rev	1 A3



3D View



Rev	Date	Description

Client / Representative:
Rob Bastick

Signature:
Date:



Title Name: CONTRACT PLANS
FOR A SHED 5.0M x 9.0M x 3.5M

Client: Rob Bastick
Site address: 11 sunrise court
scamander, Tasmania, 7251

Job No.	SEL-282643
Dwg No.	03
Date	15-Jun-2025
Rev	1 A3

SPECIFICATION NOTES

GENERAL:

DRAWINGS PREPARED FROM INFORMATION SUPPLIED BY THE OWNER AND/OR BUILDER

ALL DIMENSIONS ARE IN MILLMETRES AND SHALL BE VERIFIED ON SITE

DO NOT SCALE FROM DRAWING

ALL DIMENSIONS AND ALL FLOOR LEVELS PROVIDED ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER

ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS AND BRACING MUST HAVE CORROSION PROTECTION
AUTOCLOVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S
PRODUCT SPECIFICATION

NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA - VOLUME 2 (NCC 2022)

ABC REFERS TO AUSTRALIAN BUILDING CODES BOARD, (ABC)

ALL CONSTRUCTION WORK MUST BE COMPLETED STRICTLY IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION
CODE (NCC 2022) VOLUME 2, NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA' & THE AUSTRALIAN BUILDING CODES
BOARD (ABC) HOUSING PROVISIONS

STATUTORY REQUIREMENTS:

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY
AND THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE AND/OR NATHER'S ASSESSMENT.

THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTORITIES HAVING
JURISDICTION OVER THE BUILDING WORKS AND THE PROVISIONS OF THE HOME BULDING ACT

PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES
FOR THE USE OF SUBCONTRACTORS. WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET TO BE
CONNECTED TO THE SEWER MAINS, THE ADDITIONAL COST SHALL BE BORNE BY THE OWNER. ON COMPLETION, THE
BULDER SHALL REMOVE THE AMENITY

NCC REQUIREMENTS:

SECTION H CLASS 1 & 10 BUILDINGS.

PART H1 STRUCTURE:

A CLASS 1 OR 10 BUILDING'S STRUCTURAL RELIABILITY & RESISTANCE SHALL COMPLY WITH H1P1 OF NCC

A CLASS 1 OR CLASS 10 BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 (PARTS 2.1 & 2.2) OF
THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS, OR THE RELEVANT PROVSIONS OF H1D2,
H1D3-H1D12 OF NCC FOR STRUCTURAL PROVISIONS OR ANY COMBINATION THEREOF

ALL SITE PREPERATION & EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND H1D3 OF
NCC AND SECTION 3 (PARTS 3.1-3.4) & SECTION 4 (PART 4.2.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC)
HOUSING PROVISIONS.

ALL FOOTINGS & SLABS, EXCAVATIONS AND UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S
DETAILS AND H1D4 AND H2D3 OF NCC & SECTION 4 (PARTS 4.1-4.2) OF THE AUSTRALIAN BUILDING
CODES BOARD (ABC) HOUSING PROVISIONS.

ALL MASONRY SHALL COMPLY WITH H1D5 AND H2D4 OF NCC & SECTION 5 (PARTS 5.1-5.7) OF THE AUSTRALIAN
BUILDING CODES BOARD (ABC) HOUSING PROVISIONS. APPROPRIATE TIES SHALL BE PROVIDED TO ARTCULATED
MASONRY JOINTS

TIMBER FRAMEWORK SHALL COMPLY WTH H1D6 OF NCC, AS1684 & SECTION 6 (PARTS 6.1-6.3) OF THE AUSTRALIAN
BUILDING CODES BOARD (ABC) HOUSING PROVISIONS

STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION AND H1D6 OF NCC &
SECTION 6 (PARTS 6.1-6.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS

ALL ROOF CLADDING & WALL CLADDING SHALL COMPLY WITH H1D7 AND H2D6 OF NCC & SECTION 7 (PARTS 7.1-7.5) OF
THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS. AND BE INSTALLED IN ACCORDANCE WITH
MANUFACTURER'S RECOMMENDATIONS

ALL GLAZING SHALL COMPLY WITH H1D8 AND H2D7 OF NCC & SECTION 8 (PARTS 8.1-8.4) OF THE AUSTRALIAN
BUILDING CODES BOARD (ABC) HOUSING PROVISIONS

A CLASS 1 BUILDING CONSTRUCTED IN A FLOOD HAZARD AREA SHALL COMPLY WITH H1P2 & H1D10 OF NCC &
CONSTRUCTED IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABC) STANDARD FOR
CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS

ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE SHALL BE
IN

ACCORDANCE WITH H1D11 OF NCC & SECTION 12 (PART 12.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC)

HOUSING PROVISIONS

PILED FOOTINGS TO BE IN ACCORDANCE WITH H1D12 OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PART H2 DAMP & WEATHERPROOFING:

RAINWATER MANAGEMENT, INCL. SURFACE WATER SHALL COMPLY WITH PART H2P1 OF NCC WEATHERPROOFING OF
A BUILDING SHALL COMPLY WITH PART H2P2 OF NCC

RISING DAMP SHALL COMPLY WITH PART H2P3 OF NCC & PART NSW H2P3(1) & (2)

DRAINAGE FOR SWIMMING POOLS SHALL COMPLY WITH PART H2P4 OF NCC

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WTH PART H2D2 OF NCC & SECTION 3 (PART 3.3)
OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH H2D5 AND H2P3 OF NCC & SECTION 5 (PART 5.7) & SECTION 6
(PART 6.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

EXTERNAL WATERPROOFING FOR ROOFING SYSTEMS ON FLAT ROOFS, ROOF TERRACES, BALCONIES & TERRACES &
OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH
H2D8 OF NCC

PART H3 FIRE SAFETY:

A CLASS 1 BUILDING MUST BE PROTECTED FROM THE SPREAD OF FIRE IN ACCORDANCE WITH H3P1 OF NCC

ALL OCCUPANTS OF A CLASS 1 BUILDING MUST BE PROVIDED WITH AUTOMATIC WARNING ON THE DETECTION OF
SMOKE IN ACCORDANCE WITH H3P2

CLASS 1 & 10 BUILDINGS WITHIN THE BUSHFIRE ZONE MUST BE CONSTRUCTED WITH MATERIALS CONTAINING FIRE
HAZARD PROPERTIES & NON-COMBUSTIBLE ELEMENTS IN ACCORDANCE WITH H3D2 OF NCC

FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH H3D3 OF NCC & PART 9.2 OF THE AUSTRALIAN BUILDING
CODES BOARD (ABC) HOUSING PROVISIONS.

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS MUST COMPLY WITH H3D4 OF NCC & PART 9.3 OF THE
AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

FIRE SEPARATION OF GARAGE-TOP DWELLINGS MUST COMPLY WITH H3D5 AND NSW H3D5 OF NCC & SECTION 9
(PARTS 9.3 & 9.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

SMOKE ALARMS & EVACUATION LIGHTING TO BE INSTALLED IN ACCORDANCE WITH H3D6 OF NCC & SECTION 9 (PART
9.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

PART H4 HEALTH & AMENITY:

WET AREAS TO BE CONSTRUCTED & WEATHERPROOFED IN ACCORDANCE WITH H4D2, H2P1 & H2D8 OF NCC &
SECTION 10 (PART 10.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

MATERIALS & INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS MUST COMPLY WITH H4D3 OF NCC &
SECTION 10 (PART 10.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

ROOM HEIGHTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH H4D4 AND H4P2 OF NCC & SECTION 10 (PART 10.3)
OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

HEALTH & AMENITY FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH H4D5 AND H4P3 OF NCC & SECTION
10 (PART 10.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

LIGHT SHALL COMPLY WITH H4D6 AND H4P4 OF NCC & SECTION 10 (PART 10.5) OF THE AUSTRALIAN BUILDING CODES
BOARD (ABC) HOUSING PROVISIONS.

ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH H4D6 OF NCC & SECTION 10 PART 10.5.2 TO ANY
SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, AIRLOCK & LAUNDRIES IF NATURAL LIGHTING IN
ACCORDANCE WITH THE RELEVANT PROVISIONS OF PART 10.5.1 IS NOT AVAILABLE

VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH H4D7 AND H4P5 OF NCC & SECTION 10 (PART 10.6) OF THE
AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS. AND INSTALLED TO MANUFACTURERS
SPECIFICATIONS

SOUND INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH H4D8 AND H4P6 OF NCC & SECTION 10 (PART 10.7)
OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS. AND INSTALLED TO MANUFACTURERS
SPECIFICATIONS

CONDENSATION AND WATER VAPOUR MANAGEMENT SHALL COMPLY WITH H4D9 AND H4P7 OF NCC & SECTION 10
(PART 10.8) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

PART H5 SAFE MOVEMENT & ACCESS:

CLASS 1 AND 10 BUILDINGS MUST BE CONSTRUCTED IN ACCORDANCE WITH H5P1 OF NCC

STAIRWAYS AND RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH H5D2 OF NCC & SECTION 11 (PART 11.2)
OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

BARRIERS AND HANDRAILS MUST BE INSTALLED IN ACCORDANCE WITH H5D3 AND H5P2 OF NCC & SECTION 11 (PART
11.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

PART H6 ENERGY EFFICIENCY:

THERMAL PERFORMANCE OF A CLASS 1 AND 10 BUILDING SHALL COMPLY WITH H6D2 AND H6P1 OF NCC AND SECTION
13 (PARTS 13.2-13.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

THE ENERGY VALUE AND/OR USAGE OF A BUILDING'S DOMESTIC SERVICES MUST COMPLY WITH H6D2 AND H6P2 OF
NCC AND SECTION 13 (PARTS 13.6-13.7) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

PART H7 ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS:

SWIMMING POOLS, INCLUDING POOL DEPTHS, SAFETY BARRIERS & WATER RETICULATION SYSTEMS MUST BE
INSTALLED IN ACCORDANCE WITH H7D2 AND NSW H7D2(1) AND H7P1 AND H7P2 OF NCC. SWIMMING POOL DRAINAGE IS
TO COMPLY WITH H2P4 OF NCC

ALL CLASS 1 AND 10 BUILDINGS LOCATED IN ALPINE AREAS MUST COMPLY WITH H7D3 AND H7P4 OF NCC & SECTION
12 (PART 12.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

ALL CLASS 1 AND 10 BUILDINGS LOCATED IN BUSHFIRE PRONE AREAS MUST COMPLY WITH H7D4 AND NSW H7D4 AND
H7P5

A PRIVATE BUSHFIRE SHELTER IS TO BE CONSTRUCTED IN ACCORDANCE WITH H7P6 OF NCC FOR CLASS 10C
BUILDINGS LOCATED IN A BUSHFIRE PRONE AREA ONLY

HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES ARE TO BE INSTALLED IN ACCORDANCE WITH H7D5 AND
H7P3 AND SECTION 12 (PART 12.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC) HOUSING PROVISIONS.

AUSTRALIAN STANDARD (AS) REQUIREMENTS:

ALL SITE PREPERATION & EARTH RETAINING STRUCTURES SHALL BE IN ACCORDANCE WITH AS4678 & STRICTLY IN
ACCORDANCE WITH ENGINEERS SPECIFICATIONS

CONCRETE SLAB AND FOOTINGS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS2870 & STRICTLY IN
ACCORDANCE WITH ENGINEERS SPECIFICATIONS

PILED FOOTINGS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS2159 & STRICTLY IN ACCORDANCE
WITH ENGINEERS SPECIFICATIONS

ALL MASONRY TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS3700

THE STRUCTURAL DESIGN OF ALL BUILDING(S) TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS/NZS1170
& STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

STEEL STRUCTURES TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS4100 & STRICTLY IN ACCORDANCE
WITH ENGINEERS SPECIFICATIONS

COLD-FORMED STEEL STRUCTURES TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS/NZS4600 &
STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

WINDOWS AND DOORS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH AS2047

ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 AND ERECTED, FXED AND BRACED IN
ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

SHET METAL ROOFING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS1562

TERRACOTTA, FIBRE-CEMENT AND TIMBER SLATES AND SHINGLES SHALL BE DESIGNED, MANUFACTURED &
INSTALLED IN ACCORDANCE WITH AS4597

ROOF TILES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS2050

METAL WALL CLADDING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS1562

AUTOCLAVED AERATED CONCRETE WALL CLADDING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN
ACCORDANCE WITH AS5146

ALL WINDOWS & GLAZED DOORS SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS2047
& STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

ALL GLAZING & GLAZED ASSEMBLIES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH
AS1288 & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

STRIP AND SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684

INSTALLATION OF PARTICLEBOARD FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1860

ALL TMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH