

## **Development Applications**

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

|                  |   |
|------------------|---|
| <b>DA Number</b> | DA 2026 / 00023   |
| <b>Applicant</b> | Plans To Build  |
| <b>Proposal</b>  | Residential - Change of Use of Outbuilding to Dwelling including Additions and Alterations AND Additions to Existing Shed |
| <b>Location</b>  | 37 Acacia Drive, Ansons Bay   |

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at [www.bodc.tas.gov.au](http://www.bodc.tas.gov.au).

Representations must be submitted in writing to the General Manager, Break O' Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to [admin@bodc.tas.gov.au](mailto:admin@bodc.tas.gov.au), and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 21<sup>st</sup> March 2026 **until 5pm Wednesday 8<sup>th</sup> April 2026.**

**John Brown**  
**GENERAL MANAGER**

# ALTERATIONS AND ADDITIONS

## at 37 ACACIA DRIVE ANSONS BAY TAS 7264

### for J. M. LONG & R. A. GREENWOOD

**PROJECT NUMBER:**  
**25091**

**PROPERTY ID:**  
**6804499**

**LAND TITLE, VOLUME & FOLIO**  
**CT - 6668/116**

**SITE AREA:**  
 2,628m<sup>2</sup>

**FLOOR AREAS:**  
 EXISTING DWELLING FLOOR AREA - 39.10m<sup>2</sup>  
 NEW ADDITIONS FLOOR AREA - 47.75m<sup>2</sup>  
 NEW COVERED ENTRY FLOOR AREA - 7.76m<sup>2</sup>  
 EX. OUTBUILDING FLOOR AREA - 80.00m<sup>2</sup>  
 NEW OUTBUILDING ADDITION FLOOR AREA - 45.00m<sup>2</sup>

**COUNCIL:**  
 BREAK O'DAY

**SCHEME / ZONE:**  
 10.0 LOW DENSITY RESIDENTIAL

**SCHEME / ZONE OVERLAYS:**  
 BUSHFIRE PRONE AREA  
 WATERWAY AND COASTAL PROTECTION AREA  
 FUTURE COASTAL REFUGIA AREA

**SITE CLASSIFICATION:**

**WIND CLASSIFICATION:** N2

**BUSHFIRE ATTACK LEVEL:** BAL\*\*

**TERRAIN CLASSIFICATION:** TC2.5

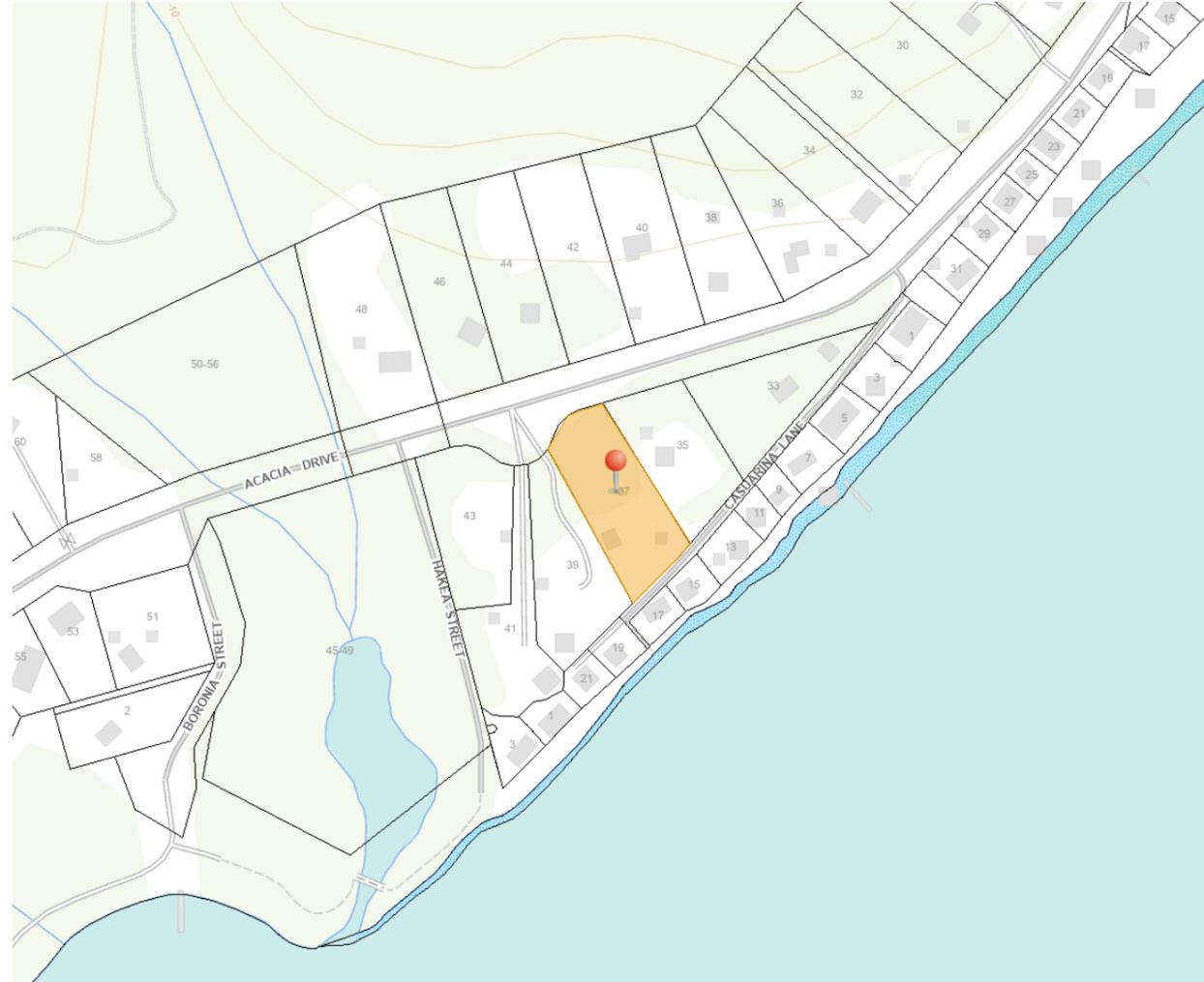
**WIND REGION:** A3

**CLIMATE ZONE:** 7

**CORROSION ENVIRONMENT:** MEDIUM

**ALPINE AREA:** N/A

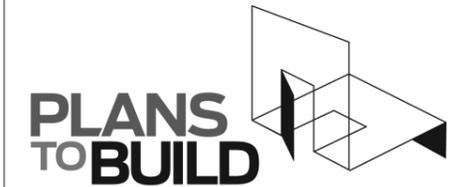
**PRINT DATE:**  
**3/03/2026**



**LOCATION PLAN**

### DRAWING SCHEDULE

- A00 COVER PAGE
- A01 OVERALL SITE PLAN
- A02 PART SITE DEMOLITION PLAN
- A03 PART SITE PLAN
- A04 SITE DRAINAGE PLAN
- A05 DWELLING DEMOLITION PLAN
- A06 DWELLING FLOOR PLAN
- A07 DWELLING NORTHERN & EASTERN ELEVATIONS
- A08 DWELLING SOUTHERN & WESTERN ELEVATIONS
- A09 NEW OUTBUILDING NORTHERN ELEVATION



**ABN 23 269 055 701**  
 Level 1, Holyman House, 52-60 Brisbane St,  
 Launceston, Tasmania, 7250.  
 Tel - 6388 9287 - Mob - 0400 655 771  
 Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**GENERAL NOTES:**  
 IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

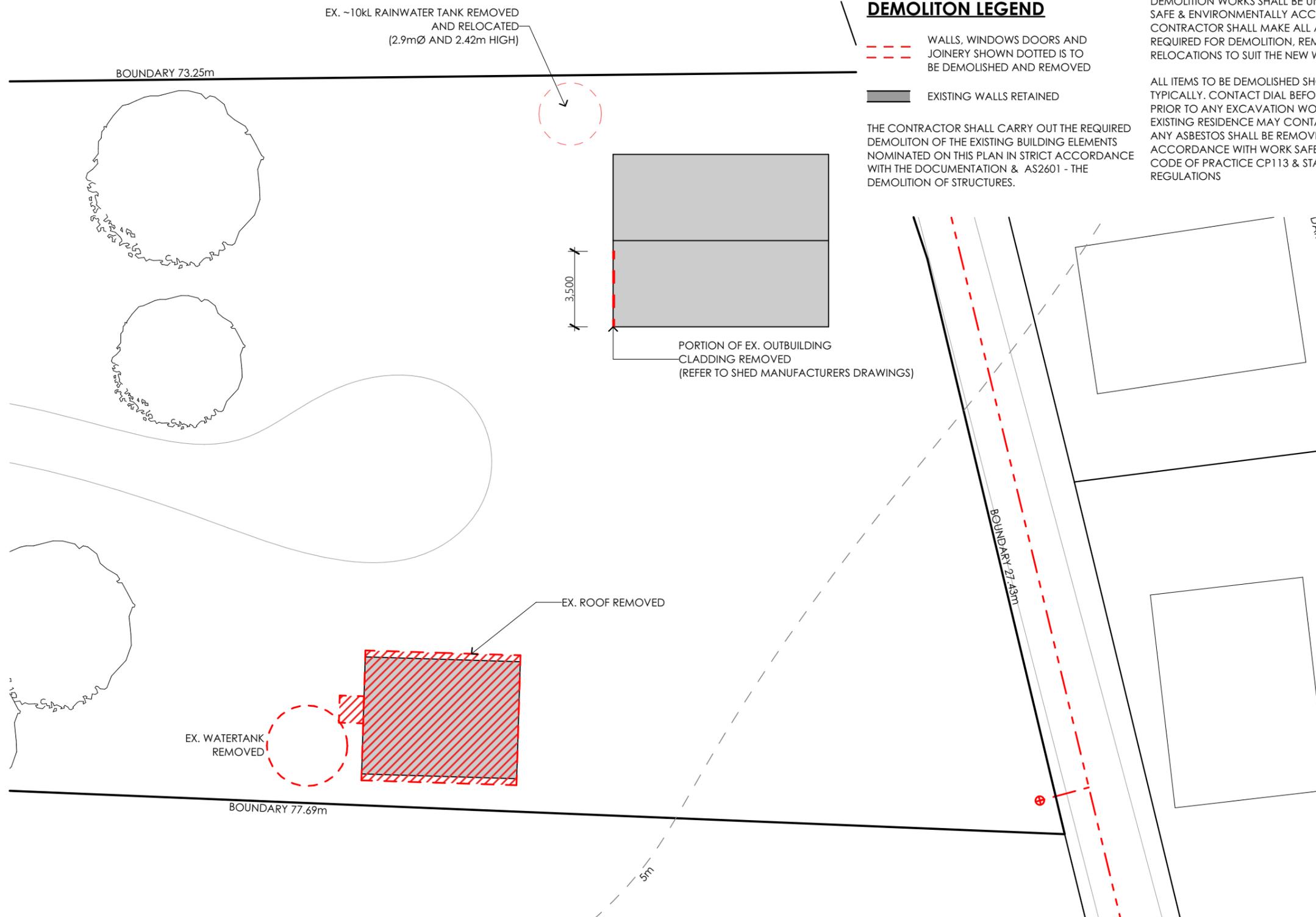
ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

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|                |                 |
|----------------|-----------------|
| rev. Amendment | Date            |
| DRAWING No:    | ISSUE: APPROVAL |
| <b>A00</b>     | REV: 0          |





**DEMOLITON LEGEND**

--- WALLS, WINDOWS DOORS AND JOINERY SHOWN DOTTED IS TO BE DEMOLISHED AND REMOVED

■ EXISTING WALLS RETAINED

THE CONTRACTOR SHALL CARRY OUT THE REQUIRED DEMOLITON OF THE EXISTING BUILDING ELEMENTS NOMINATED ON THIS PLAN IN STRICT ACCORDANCE WITH THE DOCUMENTATION & AS2601 - THE DEMOLITION OF STRUCTURES.

DEMOLITION WORKS SHALL BE UNDERTAKEN IN A SAFE & ENVIRONMENTALLY ACCEPTABLE MANNER. CONTRACTOR SHALL MAKE ALL ALLOWANCES AS REQUIRED FOR DEMOLITION, REMOVALS & RELOCATIONS TO SUIT THE NEW WORKS.

ALL ITEMS TO BE DEMOLISHED SHOWN DOTTED TYPICALLY. CONTACT DIAL BEFORE YOU DIG PRIOR TO ANY EXCAVATION WORKS. THE EXISTING RESIDENCE MAY CONTAIN ASBESTOS. ANY ASBESTOS SHALL BE REMOVED IN ACCORDANCE WITH WORK SAFE TASMANIA CODE OF PRACTICE CP113 & STATUTORY REGULATIONS

**SITE PLAN NOTES**

**SURFACE AND SUBSURFACE DRAINAGE SYSTEMS**  
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

**SOIL AND WATER MANAGEMENT**  
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

**PART SITE DEMOLITION PLAN**  
SCALE 1:200

North

**ALTERATIONS AND ADDITIONS**  
**37 ACACIA DRIVE ANSONS BAY TAS 7264**

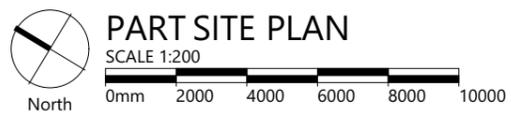
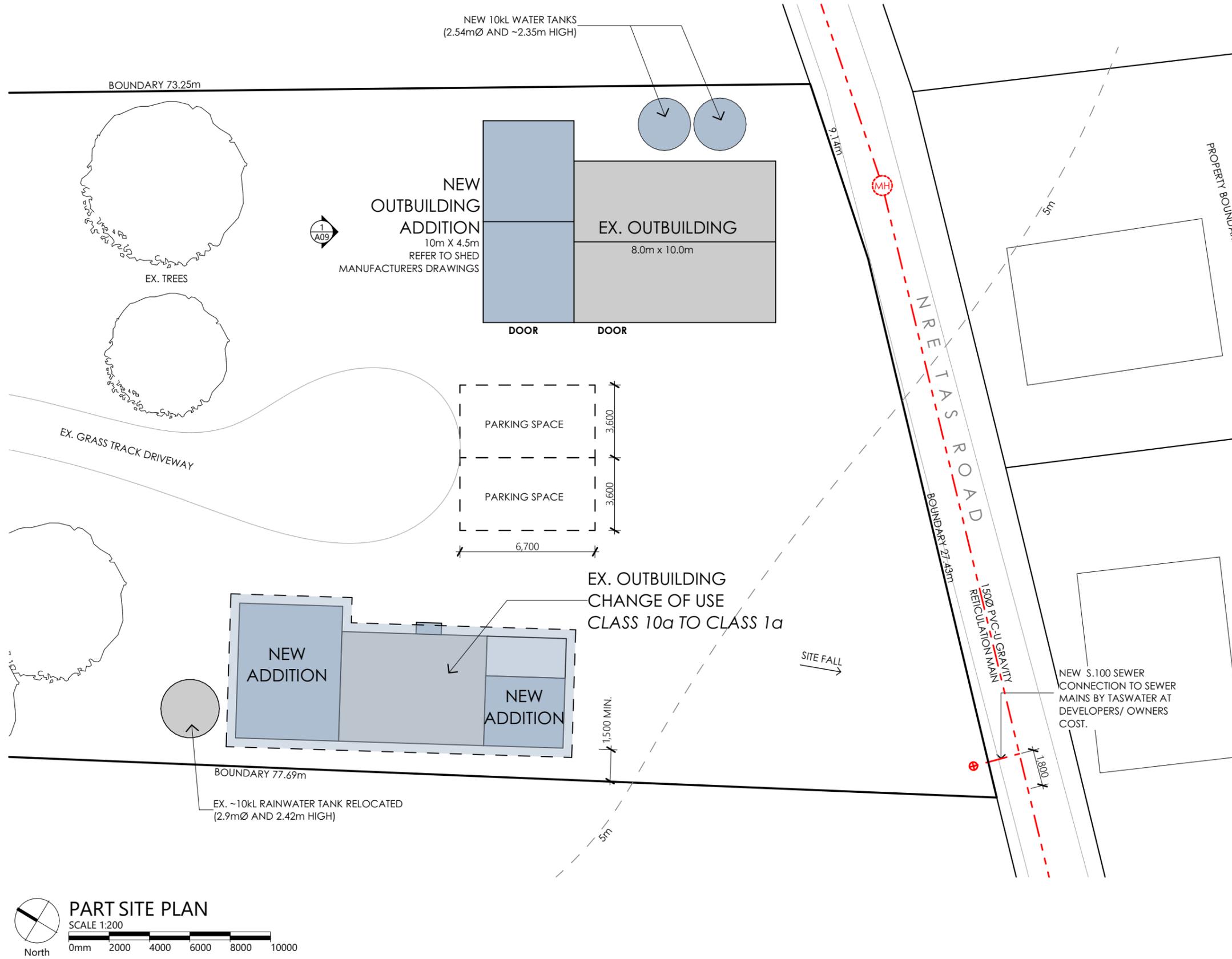
NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

|                                 |   |                                 |                        |               |
|---------------------------------|---|---------------------------------|------------------------|---------------|
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| DRAWING No:<br><b>A02</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: <b>0</b> |
|                                 |   |                                 | <b>3 of 11</b>         |               |

**PLANS TO BUILD**

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St, Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner: J. M. LONG & R. A. GREENWOOD**



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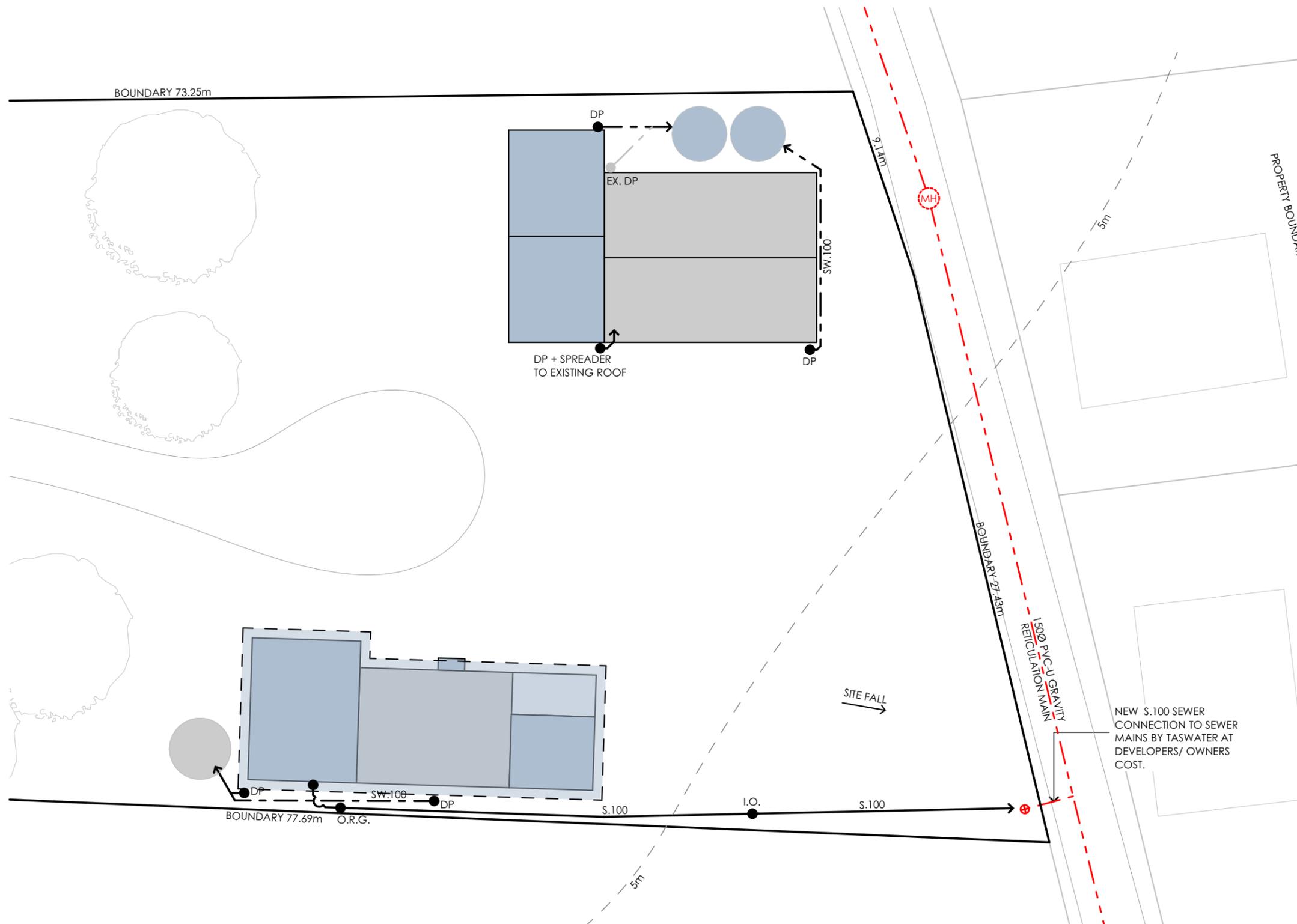
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**37 ACACIA DRIVE ANSONS BAY TAS 7264**

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|                                 |   |                                 |                        |               |
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| DRAWING No:<br><b>A03</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: <b>0</b> |
|                                 |   |                                 | <b>4 of 11</b>         |               |



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**PLUMBING LEGEND**

- SW. 100** NEW 100mm DWV PVC SN6 STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- S. 100** NEW 100mm DWV PVC SN6 SEWER PIPE WITH 1: 60 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW

**PART SITE DRAINAGE PLAN**  
 SCALE 1:200  
 0mm 2000 4000 6000 8000 10000  
 North

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| DRAWING No:<br><b>A04</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: <b>0</b> |
|                                 |   |                                 | <b>5 of 11</b>         |               |

**DEMOLITON LEGEND**

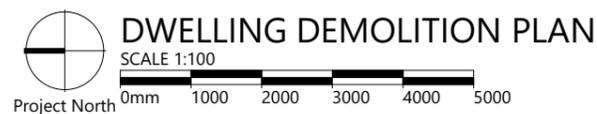
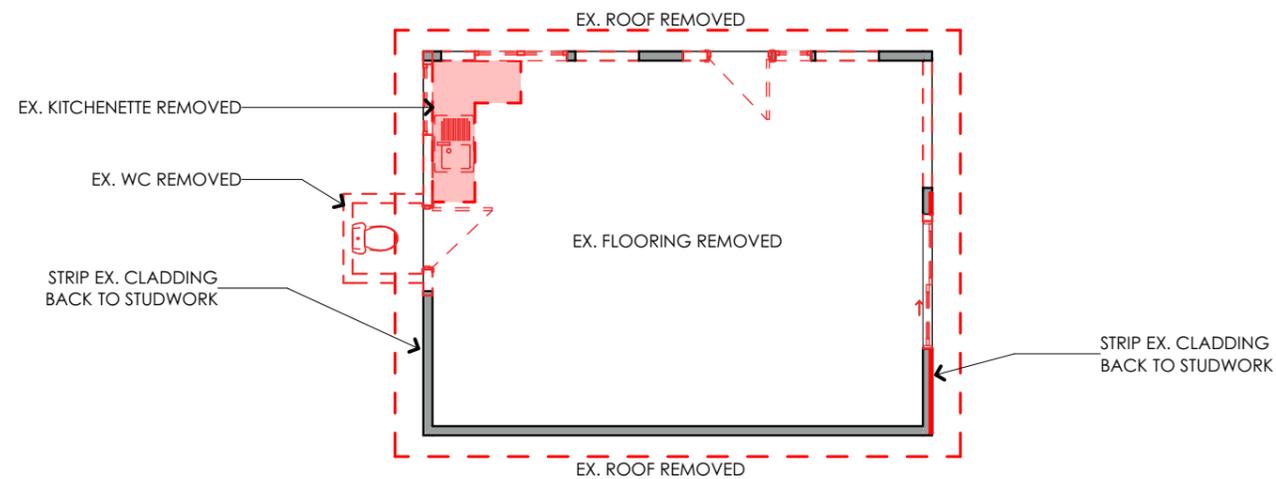
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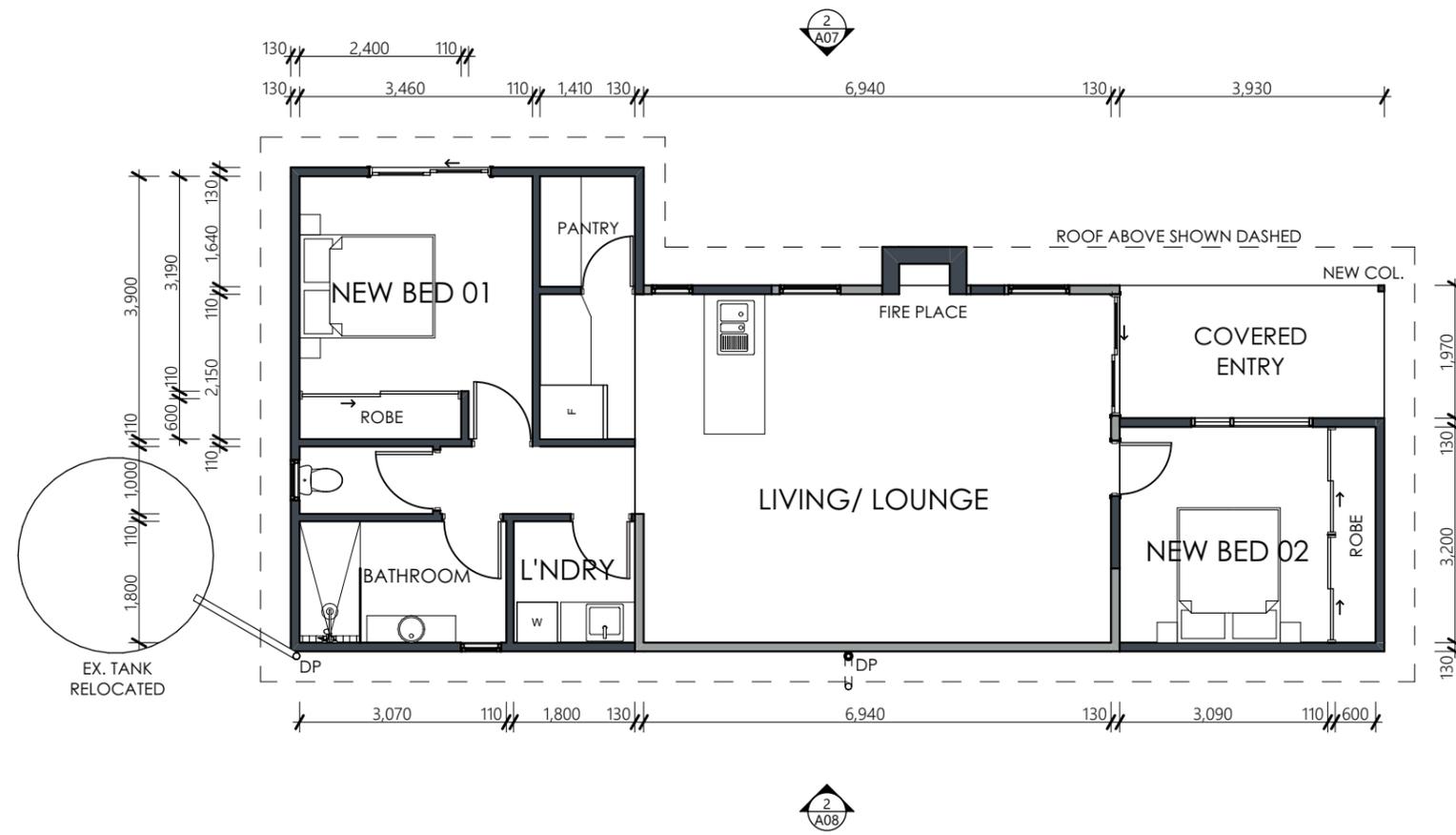
**ALTERATIONS AND ADDITIONS**  
**37 ACACIA DRIVE ANSONS BAY TAS 7264**

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| DRAWING No:<br><b>A05</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: <b>0</b> |
|                                 |   |                                 | <b>6 of 11</b>         |               |

**FLOOR PLAN LEGEND**

-  EXISTING WALLS RETAINED
-  EX. DOORS RETAINED
-  EX. SLIDING DOORS RETAINED (NO OPENING ARROW)
-  NEW WALLS
-  NEW PAINT GRADE HOLLOW CORE INTERIOR SWING DOOR WITH ARCHITRAVES, JAMBS AND STOPS. PAINT FINISH
-  NEW PAINT GRADE HOLLOW CORE (SOLID IN WETAREAS) INTERIOR CAVITY SLIDING DOOR WITH ARCHITRAVES AND JAMBS. PAINT FINISH (SOLID OPENING ARROW)
-  W## POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOWS REFER TO DOOR AND WINDOW SCHEDULE



**GROUND FLOOR PLAN**  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000  
Project North

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| DRAWING No:<br><b>A06</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: 0 |
|                                 |   |                                 | <b>7 of 11</b>         |        |

**PLANS TO BUILD**

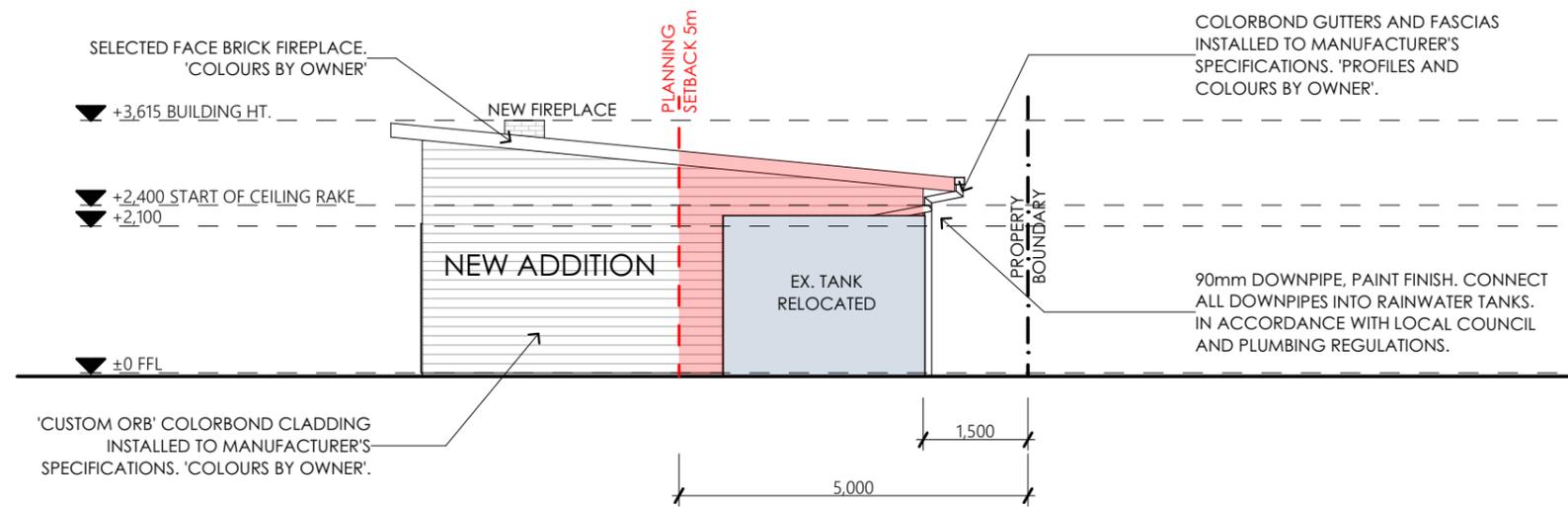
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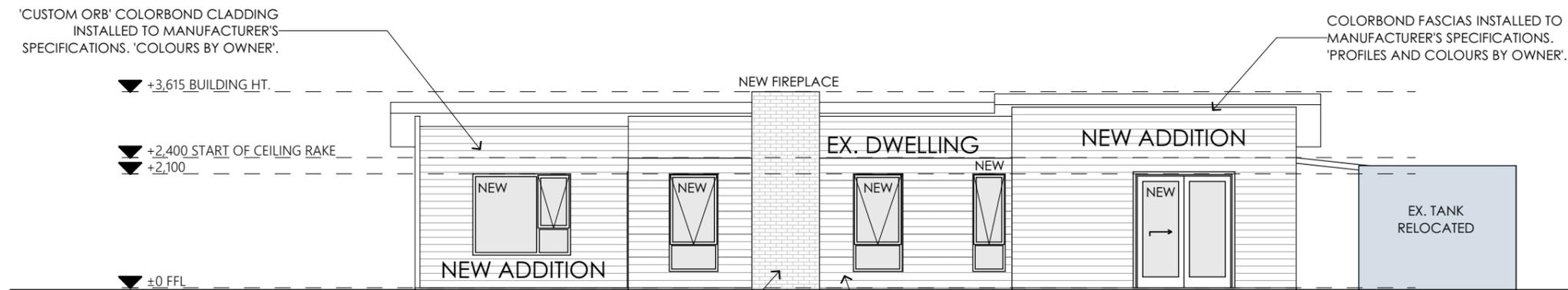
**ELEVATION NOTES**

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.



**1 NORTHERN ELEVATION**  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000



**2 EASTERN ELEVATION**  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

**PLANS TO BUILD**

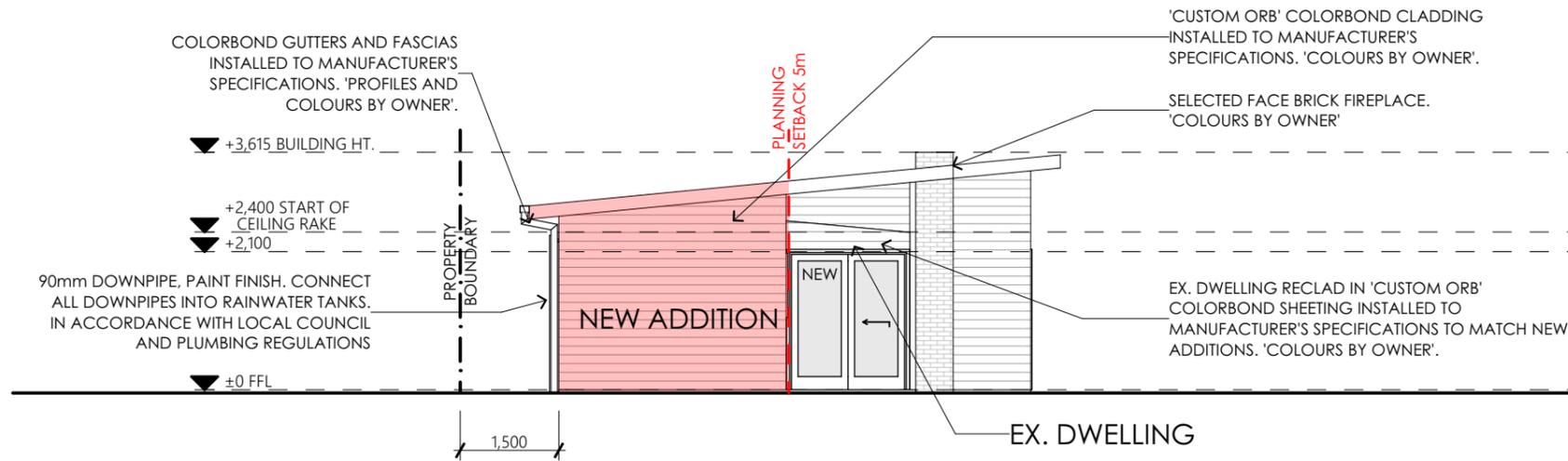
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| DRAWING No:<br><b>A07</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: 0 |
|                                 |   |                                 | <b>8 of 11</b>         |        |

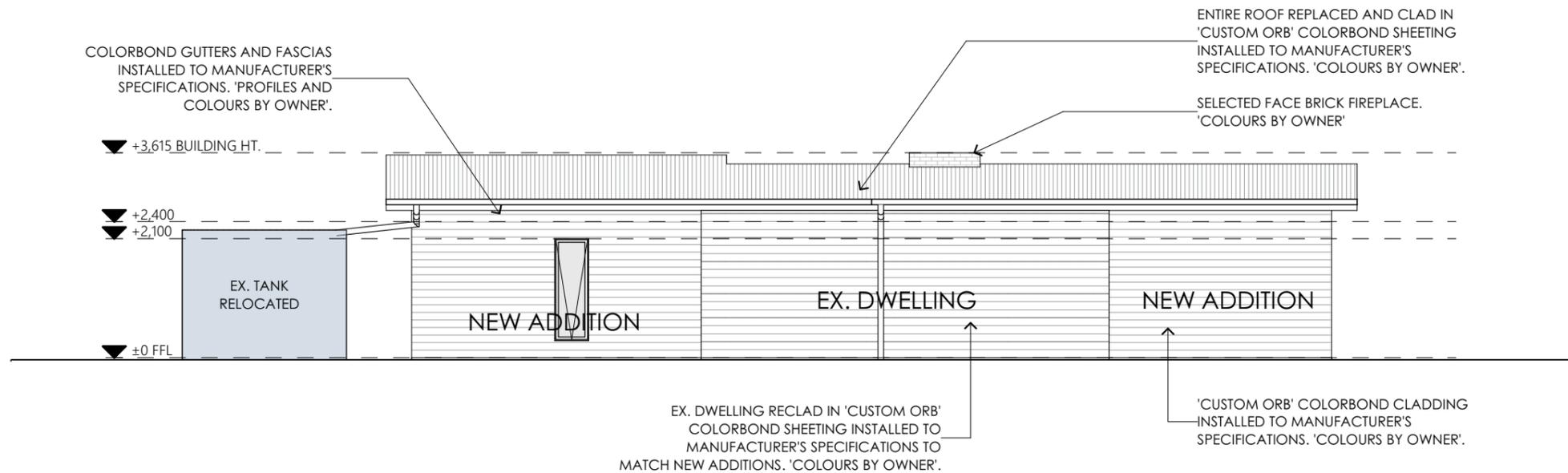


1 SOUTHERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

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2 WESTERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

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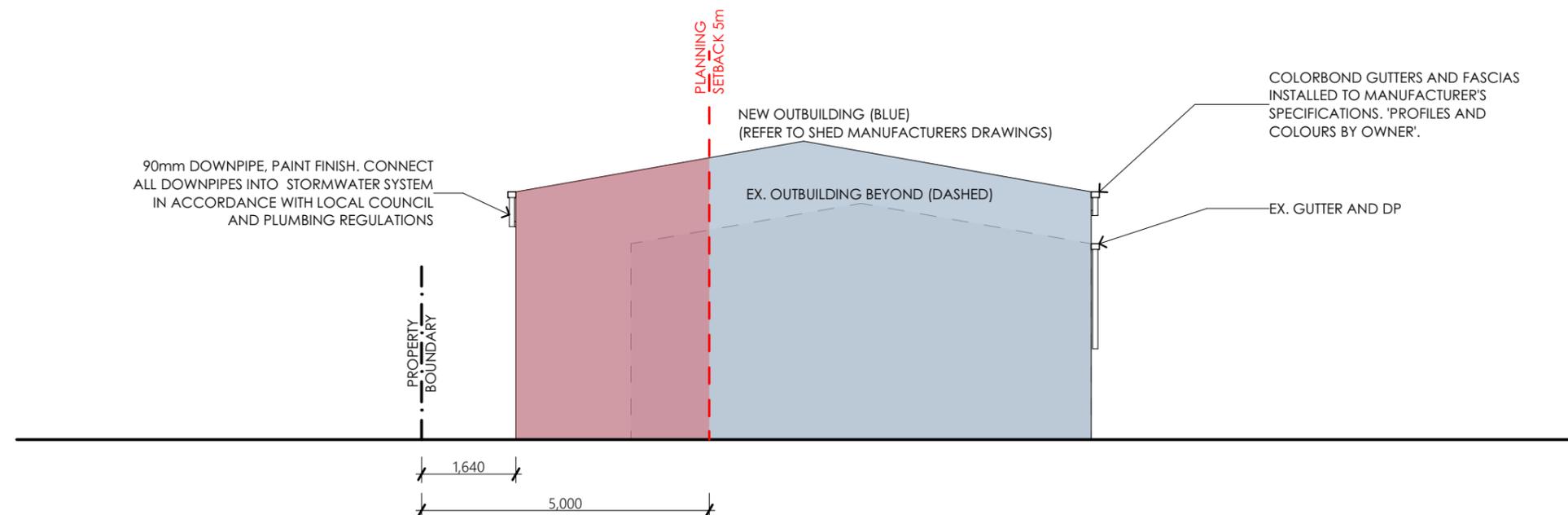
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| DRAWING No:<br><b>A08</b>       |   |                                 | ISSUE: <b>APPROVAL</b> | REV: 0 |
|                                 |   |                                 | <b>9 of 11</b>         |        |

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1  
-  
NEW OUTBUILDING NORTHERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

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**25091**

SCALE: IF IN DOUBT ASK  
**SCALE @ A3**

PRINT DATE:  
**3/03/2026**

| rev. | Amendment | Date |
|------|-----------|------|
|      |           |      |

DRAWING No: **A09** 10 of 11  
ISSUE: APPROVAL  
REV: 0

## QUOTATION

Julian Long  
 37 Acacia Drive  
 Ansons Bay  
 TAS7264  
 Australia

Quote # : rebt12510021-2  
 Date : 19 Nov 2025  
 Salesman : Rebecca Thomson  
 Phone : 03 6343 3649  
 Email : [rebecca.thomson@shedshomes.com.au](mailto:rebecca.thomson@shedshomes.com.au)

Thank you for the opportunity to provide you with information for your proposed building. We have set out below the specifications and the information for your approval.

### BUILDING SPECIFICATIONS

|                         |  |
|-------------------------|--|
| Building Classification | 10a<br>A non-habitable building including a private garage, carport, shed or the like. (Refer NCC A6G11) |
| Span                    | Main Building: 10 m  |
| Length                  | 4.5 m (2 Bays: 0.5 m, 4 m)   |
| Height                  | 4.3 m  |
| Roof Type               | Gable, 10 degrees  |
| Roof                    | COLORBOND® steel<br>CORODEK® 0.42 BMT<br>sheeting, BlueScope   |
| Walls & Trim            | COLORBOND® steel<br>TRIMCLAD® 0.42 BMT<br>sheeting, BlueScope  |
| Weight (approximately)  | 2,000 kg   |

### KIT PRICE

|                        |                    |
|------------------------|--------------------|
| Steel Building Kit     | \$14,418.18        |
| GST                    | \$1,441.82         |
| <b>Total Kit Price</b> | <b>\$15,860.00</b> |

### DELIVERY

|                      |         |
|----------------------|---------|
| From Launceston, TAS | \$70.00 |
|----------------------|---------|

### TOTAL PRICE

|                    |                    |
|--------------------|--------------------|
| Kit Price          | \$15,860.00        |
| Delivery           | \$70.00            |
| <b>Grand Total</b> | <b>\$15,930.00</b> |

Anything that has been discussed or implied that is not detailed in this quote or general specifications has not been allowed for in the quote price. If you require anything extra to the above, then please contact us and we will send you a revised quotation.

### DELIVERY

**Delivery location:** <-41.04031, 148.26537>

**Address for Reference Purposes:** 37 Acacia Drive Ansons Bay TAS 7264 Australia

Conditions apply, refer to General Specifications below for more information.



## PAYMENT SCHEDULE

- 15% initial deposit to be paid to receive all appropriate plans, engineering specifications & certificates.
- 45% further deposit to be paid to commence manufacturing.
- 40% final payment to be paid 10 working days prior to the confirmed delivery date of your building.

## BUILDING DETAILS

|                           |   |
|---------------------------|---|
| Building Classification   | 10a<br>A non-habitable building including a private garage, carport, shed or the like. (Refer NCC A6G11)  |
| Weight                    | Approximately: 2,000 kg   |
| Span                      | Main Building: 10 m   |
| Length                    | 4.5 m (2 Bays: 0.5 m, 4 m)  |
| Height                    | 4.3 m   |
| Roof Type                 | Gable, 10 degrees   |
| Roof                      | COLORBOND® steel CORODEK® 0.42 BMT sheeting, BlueScope  |
| Walls & Trims             | COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope   |
| Gutters                   | COLORBOND® GUTTER-01. We have calculated the number of [Supplied by Others] downpipes required for: Left Side = 1. Right Side = 1.  |
| Roller Doors              | One (1) COLORBOND® steel 3.6 m high x 3.3 m wide roller door supplied with a planetary gearing system (roller door is not wind rated). An internal chain drive has been added to the door to assist with opening and closing the door at heights. Refer to the General Specification (# Access Doors) in relation to opening sizes. The Roller Door is boxed or steel wrapped for protection during transport. Refer to the Building information for details on Industrial Door Handling. |
| Open Bays                 | Two (2) 3.33m open bays on the right end of the steel building. Refer to Layout (attached) for location & height clearances.  |
| Bracing                   | The building will have Knee and Apex braces. Clearances are subject to the engineer's final design requirements. Estimated internal knee clearances are: Main Building 3.389m. Estimated internal apex clearance is: 4.607m. Side Walls bracing will be supplied as cable.  |
| Roof Purlins & Wall Girts | Z sections bolted to rafters & columns with a minimum overlap of 10% of the bay width. The purlins and girts are Z100.  |
| Fixing to Concrete        | Screw-Bolts fitted after concrete is cured.   |

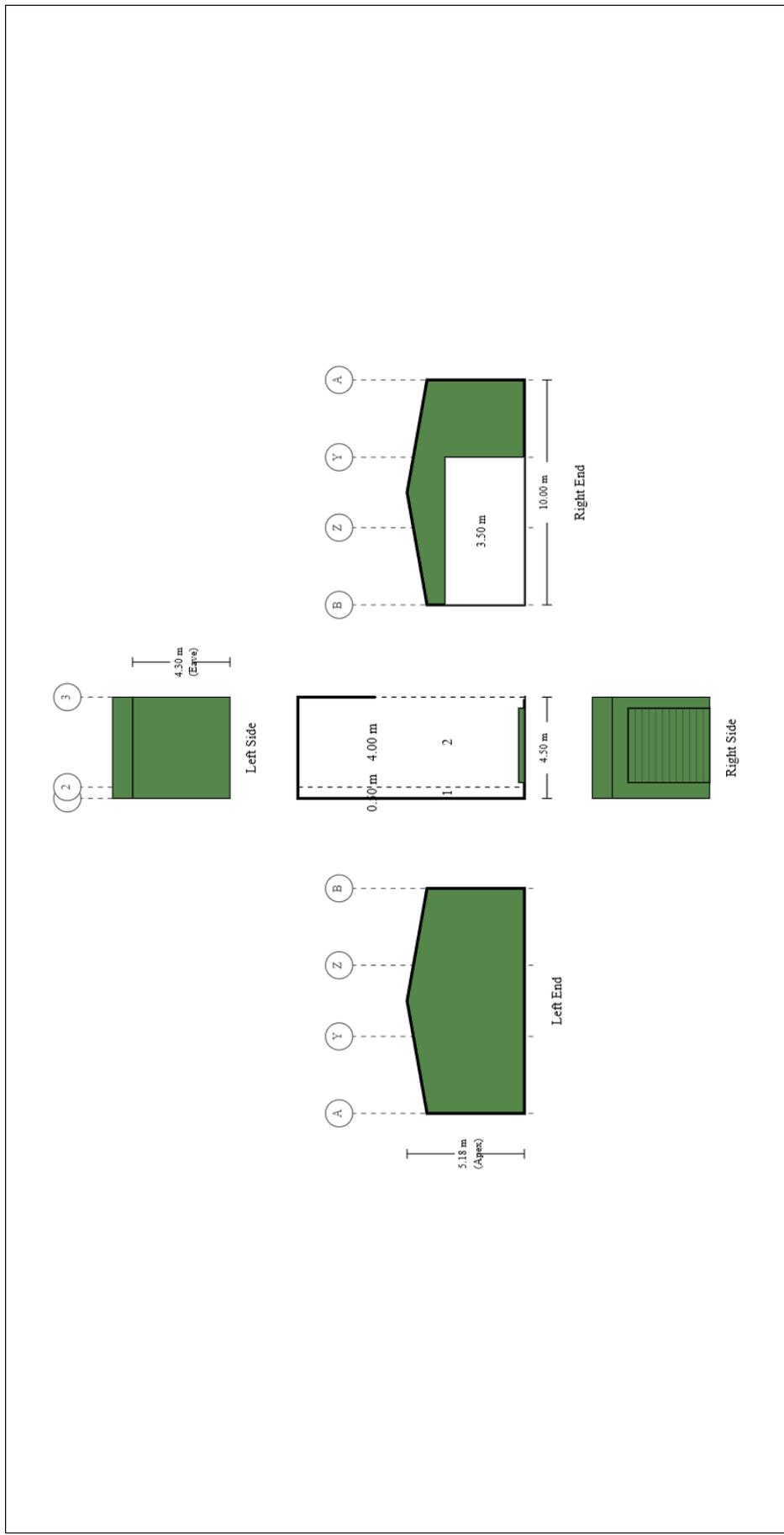
## SPECIFIC INCLUSIONS

- Determination of the design criteria by the engineer. This includes assessment in 8 cardinal directions to determine the site design wind speed based on the building orientation.
- Engineering certification of the steel building to the appropriate Australian Standards.
- Engineers certification letter plus Completion of Form 35 solely for certifying the Structural matters associated with the Steel Framed Building and Foundation Design as described in the drawings provided.
- Slab or Pier designs for soil classes A, S, M, H1 and H2.
- Materials as nominated above supplied as per the attached "General Specification".
- BlueScope product warranties of up to 15 years apply.

## SPECIFIC EXCLUSIONS

- Drawings and providing of any other forms or additional information to be added to forms other than detailed above. eg BushFire Compliance forms.
- Consent authority including any building, development or construction certificate application(s).
- Construction of the steel building, its foundations plus inspections or certification of any site works. (building is supplied as a kit).
- Insurance of the steel building once delivered to site or collected from depot.





|                             |  |   |
|-----------------------------|--|---|
| Purchaser Name: Julian Long | <b>Building Layout</b><br>Ref: rebt2510021-2 | Seller: Sheds n Homes Launceston<br>Name: Rebecca Thomson<br>Phone: 03 6343 3649<br>Fax:<br>Email: rebecca.thomson@shedsnhomes.com.au |
| Site Location:              |  |   |
| Ref # rebt2510021-2         | Print Date: 19/11/25                         | <br>SHEDS MADE TOUGH                               |

## BUILDING INFORMATION

The design criteria for the exact location and orientation has been positioned and assessed by your trained sales consultant. The NCC version used is 2022. This code was published on 1st October 2022 and is due to be updated on 1st May 2025. Any change to the NCC version required by your certifier will result in additional costs for engineering certification and to meet the requirements of the NCC. This assessment is subject to the certifying engineer's site-specific analysis using online tools. Final assessment by the engineer may result in a change to the materials and price. If the location or orientation needs to be changed, advise your sales consultant and obtain a new quotation.

From the site location and the usage information we have at hand, it is likely that the building is subject to a Marine Influence and/or Industrial Influence. We refer you to BlueScope Technical Bulletins (in particular but not limited to TB1A, TB1B, TB4, TB17, TB30 and TB35) to consider the environmental conditions and the materials that have been specified in your quotation. BlueScope warranties and any other supplier warranties will be limited under certain conditions. If you contact BlueScope on 1800 800 789, they will be able to discuss this further with you. Should you wish to consider changing to materials with a longer warranty or service life, your sales consultant will be able to assist.



## DESIGN CRITERIA

|   |  |
|---|--|
| Site Location and Building Orientation                  | Geographic Co-ordinates of <-41.04048, 148.26553>. Refer to the image below showing this location and the left side orientation.                             |
| Address for Reference Purposes                          | 37 Acacia Drive Ansons Bay TAS 7264 Australia  |
| Building Orientation                                    | Left Side of building orientated to 58° (northeasterly direction)  |
| NCC Version   | NCC 2022   |
| Design Wind Criteria for the Highest Cardinal Direction | Importance Level 2 with a Vr of 45.00 m/s ; Region A4; TC = 1.0; Mt = 1; Mc = 1; Ms = 1.0; giving a Vdes of 37.5 m/s.  |
| Earthquake  | An Earthquake Acceleration Co-efficient (Z) of up to 0.08 has been allowed for in the design of the building, however wind is the determining design factor. |
| Other Design Factors                                    | No Snow Loading allowed.   |

## LOCATION & ORIENTATION FOR DETERMINING THE DESIGN CRITERIA



Due to ongoing product development, the seller reserves the right to make design and engineering changes up to the point of scheduling manufacture. The engineer's final design requirements may override anything nominated.

**Standards & Codes** -All buildings are designed in accordance with test results, computer analysis, NCC, AS/NZS 1170, AS 3600, AS 4100 and AS 4600. Where more than 1 version of any code is applicable, the code to be used shall be at the engineers discretion.

**Design Criteria** - Prior to issuing an engineering certification, using online tools, the engineer carries out a site specific check based solely on the nominate coordinates and orientation. A structural design check is also done. Changes to the design criteria may result in a price increase or decrease. Unless nominated, no allowance has been made for solar panels, earthquake or snow loading. The building is not suitable for lining with gyprock.

**Dimensions** - all dimensions nominated are nominal sizes only Length and span are to inside of sheeting. Height is to top of gutter. Length and span may vary when sides are fully open by up to 200mm per side/end. If an exact opening or clearance is required, then this must be specifically nominated as "exact size" in the quotation.

**Environmental Characteristics** - All components of the steel building are designed to suit the conditions generally described as Non aggressive. Care must be taken with any steel building to ensure that regular maintenance is carried out. The suitable conditions and Maintenance requirements are defined in the various BlueScope Technical Bulletins.

**Roof & Wall Sheeting** - COLORBOND® steel or ZINCALUME® steel as nominated. TCT refers to Total Coated Thickness. BMT refers to Base Metal Thickness. Refer to BlueScope TB-1a&1b

**GALVSPAN® steel Sections** - GALVSPAN® steel C-sections, Z-sections, purlins and girts have a minimum coating of 350-gsm (Z350) and a minimum yield strength of 450MPa. Refer to BlueScope TB-17

**Brackets** - All brackets are made with a minimum coating of 350-gsm (Z350) and a minimum yield strength of 450Mpa or greater.

**Fasteners** - All major connections including Z purlins and girts are bolted. All other connections are tec screwed. Roof screws with cyclonic washers are ONLY provided where the building is rated cyclonic. Should conditions be severe (ISO Category 4 or 5), the purchaser should advise the seller of any special requirements. (Refer to BlueScope TB-16 and manufacturers warranty data.)

### Bracing

**Wall & Roof** : Cross and Fly bracing as per the engineering plans, steel strapping will be supplied unless otherwise nominated. In open bays, a double eave purlin is provided for bracing purposes. Subject to engineering cross bracing in some open bays and over windows may be required.

**Apex:** Where nominated by the engineering, apex braces are supplied. Apex braces will reduce the apex clearance height. rafters.

**Knee Braces:** Where nominated by the engineering, lateral and/or transverse knee braces are provided. Knee braces will reduce the clearance heights.

**End Wall Mullions** - Fixed at 90 degrees to the columns and inside the rafter. These will reduce internal clearance.

**Gutters** - Unless otherwise nominated, the gutter type supplied will be nominated by our supplier as the most common type for the area. All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose. No consideration for door openings or other obstructions. Any changes to the design due to obstructions is the responsibility of the purchaser.

**Piers and Slab** - Designs are for a safe bearing value  $\geq 100\text{kPa}$ . (400kPa ultimate). Where a concrete slab, or concrete slab and piers is nominated, the wall sheeting will be supplied to extend 35 mm past the slab (building height + 35 mm). When concrete piers only are nominated, wall sheeting is provided to building height. Where a 50mm step down is nominated, the wall sheeting is not extended any further. If site conditions or the intended use vary from these assumptions, a revised slab and/or foundation design may be required. In such cases, slab reactions and the full design responsibility must be provided by the client's chosen engineer.

**Fixing Method** - The fixing method nominated is for the main side columns. Other columns are supplied as per engineering design.

The Engineers design may override your request.

**Marking, Cutting and Drilling** - Most components are marked for easy identification and placement. Most are also cut to length and drilled to suit bolt placement. It will be necessary to cut and/or drill some components on site.

**Sheeted Portals and Mullions** - All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

**Communications** - By requesting a quote, you agree to our Privacy Policy which states that we can notify you about special offers, products or services available from us or our participating partners. You can unsubscribe from these marketing newsletters at any time.

**# symbol indicates items that are only included when specifically nominated in your quotation.**

**# Access Doors** - All roller doors, sectional doors, shutters, steel sliding or bifold doors and PA doors are NOT wind rated. Roller doors can be supplied wind rated at an additional cost. The sizes quoted are approximate door sizes - NOT clear opening sizes. Clear opening sizes may be reduced due to the building height, widths, motors or chains. At least 70mm in height will be lost due to the 'lead in'. All roller door keys (where included) are keyed alike, unless otherwise stated. All Stable shutters will be provided in the same colour as the wall colour. Sliding doors are supplied so that each door will slide across the door bay plus one other bay as per shed layout.



**# Colours** - Not all colours are available from all manufacturing depots. 0.40 TCT wall sheeting has limited colours in most areas.

**# Delivery** - Delivery is quoted to within the normal delivery runs. Alternatively delivery is to be ex works. Unloading of the whole kit is not included where any length exceeds 11.8m. Semi trailer access required. Where a body truck is requested, it is subject to availability. Should a body truck be requested, and it is not available for the site, then the building shall be either ex works or delivered to an alternative address by a semi trailer. Any additional fees for delivery due to the requirement of escort vehicle/s are not included.

**# Pricing** - Pricing is valid for 30 days, unless notified of an impending price rise where the price rise date will become the new validation date. *Purchase agreements are also subject to price rises.*

**# Roller Door** - Industrial and residential roller doors may have a slightly different profile.

**# Roller Door Transport Protection** - All doors are wrapped by the manufacturer in their recommended method for regular road transport. Any damage to a door will be accessed in accordance with the AGDA guide to visual inspection of garage doors.



# SHEDS. MADE. TOUGH.



1800 764 764



[shedsnhomes.com.au](https://www.shedsnhomes.com.au)



[www.shedsnhomes.com.au](https://www.shedsnhomes.com.au)



# BUYER PROTECTION

These are our guarantees to you



## NO QUESTIONS ASKED GUARANTEE

Sheds n Homes guarantees that your steel kit building will be supplied in full and undamaged. Careful cross-checking is in place to ensure this happens first time. However, in the event that there are any missing or damaged components, we will arrange for these to be replaced at the first available opportunity.

For more information, visit:

[www.shedsnhomes.com.au/no-questions-asked-guarantee](http://www.shedsnhomes.com.au/no-questions-asked-guarantee)



## GUARANTEE OF SUPPLY

By making all payments directly to the account of Sheds n Homes Australia in accordance with the invoices issued, Sheds n Homes Australia guarantees that you will receive the kit building, as ordered by you through your Sheds n Homes Distributor, as described in your purchase agreement. This guarantee has been developed to provide our customers with the confidence of dealing with a brand that has national strength and financial security - whilst still buying locally.

For full terms and conditions, visit the Sheds n Homes website:

[www.shedsnhomes.com.au/guarantee-of-supply](http://www.shedsnhomes.com.au/guarantee-of-supply)



## BLUESCOPE STEEL GUARANTEE

Sheds n Homes guarantees that your steel kit building will be manufactured in Australia and that all structural components supplied will be made entirely from premium hi-tensile Australian 450MPa or greater, BlueScope Steel.

For more information, visit:

[www.shedsnhomes.com.au/steel-guarantee](http://www.shedsnhomes.com.au/steel-guarantee)



## SITE SPECIFIC ENGINEERING

Once your local Sheds n Homes store has created your building design, it is then certified and cross-checked by a specialist team at head office. This ensures that all factors have been correctly identified to ensure that in the event of a serious weather event, your structure will withstand the forces of a design event.

For more information, visit:

[www.shedsnhomes.com.au/site-specific-engineering](http://www.shedsnhomes.com.au/site-specific-engineering)



## SHEDSAFE ACCREDITED

ShedSafe is a new industry benchmark for Australian manufactured steel sheds. It is an independent accreditation program designed to assist shed buyers in making an informed purchase decision. ShedSafe accreditation means that both the shed manufacturer and seller are committed to ensuring sheds meet Australian Standards and are the best fit for your site and circumstance.

For more information, visit:

[www.shedsnhomes.com.au/shedsafe](http://www.shedsnhomes.com.au/shedsafe)

**FREECALL: 1800 764 764** [www.shedsnhomes.com.au](http://www.shedsnhomes.com.au)



[www.shedsnhomes.com.au](http://www.shedsnhomes.com.au)

## DEVELOPMENT APPLICATION REPORT

### **Project**

Change of Use, Alterations & Additions

### **The site**

The site, a Torrens Title volume CT-6668, Folio 116 and is located within the 10.0 Low Density Residential zone of the Tasmanian - planning scheme (Break O' Day).

### **The Development**

The development is for a change of use of an existing class 10a outbuilding to a 1a dwelling, alterations/additions to this same 1a dwelling and alterations/additions to a separate existing class 10a outbuilding. One existing water tank is being relocated and two new ones are being installed.

### **Interim Planning Scheme Overlays**

#### **Overlays**

Waterway and Coastal Protection Area, Future Coastal Refugia Area and Bushfire Prone

### **Attachments**

*Land Title & Schedule of Easements*

*Shed manufacturer's drawings*

Dear Sr/Madam

This is a response to the RFI dated 13 February 2026 relating to DA 2026 / 00023. Please read this document in conjunction with the most recently issued set of DA drawings.

In response to parts;

#### **1. Provision of shed manufacturer plans.**

A copy of the shed manufacturer's plans have been attached to this response and includes the internal layout and elevations.



2. **4.6.13 Rain-Water Tanks (split into two subsections; existing tank being relocated 2.1 and new tanks 2.2).**

2.1. *Existing tank:*

- (a) The existing tank at the East of the property is being moved next to the new extension, the flat topography of the site means that the relocation of the tank has not placed it anywhere higher or lower in regards to the topography that may adversely impact adjoining properties.
- (b) The tank is existing and circular, therefore the size, shape and orientation has not changed or been altered. It also simply maintains the existing setback previously from the respective boundary and moves only parallel with this same boundary ~5m. This we believe is an acceptable and minor change.
- (c) The existing tank at the East of the property is being moved next to the new extension and maintains a similar setback to the new extension as the existing tank did to the existing outbuilding and therefore does not cause any additional loss of amenity in this regard.
- (d) The existing tank at the East of the property is being moved next to the new extension and maintains a similar relationship to the new extension as the existing tank did to the existing outbuilding and therefore does not cause any additional loss of amenity in this regard.
- (e) The existing tank at the East of the property is being moved next to the new extension and maintains a similar relationship to the new extension as the existing tank did to the existing outbuilding. We therefore believe this change will introduce little to no new negative impact on the new dwelling and private open space of the property regarding shadowing.
- (f) The existing tank at the East of the property is being moved next to the new extension and maintains a similar relationship to the new extension as the existing tank did to the existing outbuilding. We believe the overshadowing of the adjacent property will not be increased from what it currently is and is therefore acceptable.
- (g) The tank is already existing and being marginally moved parallel along its respective boundary which we believe will have no adverse affects to the current character of the area and adjoining properties.

2.2: *New Tanks*

- (a) The flat topography of the site means that the two new tanks will not be any higher or lower than existing tanks or structures on the property and thus have no adverse affects in regards to their topographic siting.
- (b) The size and shape of the tanks will be similar to the existing tank previously located near them which is not very large, therefore not introducing significantly greater bulk or mass. Due to their circular shape their orientation has very minimal effect.



- (c) The new tanks will maintain a similar setback as the existing tank previously near there and therefor we believe that it is an acceptable setback maintaining established trends.
- (d) The size and shape of the tanks will be similar to the existing tank located next to them and therefor do not introduce significantly greater bulk or mass. Due to their circular shape their orientation has very minimal effect.
- (e) The location of the new tanks behind the existing and new outbuildings will therefor we believe not incur any shadowing of the sites current private open space. The shadowing on the outbuildings is also not of concern as they are uninhabited.
- (f) The location of the new tanks behind the existing and new outbuildings means that the overshadowing of adjoining properties we believe will not be greater than any of the overshadowing caused by the new and existing outbuildings next to it and that have already been discussed in the previous planning report.
- (g) The new tanks will be in keeping with the existing character of the area as there is already existing tanks of similar size and setback on the property and multiple properties in the area have water tanks of similar sizes and similar setbacks as well obtained through satellite image analysis.

### **3. Updated Parking and Driveway Information**

- Two carparking spaces have been shown at the property.
- The owner's of the property have advised that the existing driveway is a permeable grassy track. The design has also changed and there is no desire to gravel or seal or extend the existing grass track driveway and therefor the design will utilise the existing grassy track. Parking spaces have been moved in order to allow access from this track directly to the parking space.

### **4. C7.6.1 Buildings and Works Within a Waterway and Coastal Protection Area or a Future Coastal Refugia Area**

- The new water tank previously within this zone has been moved and no development is occurring within this zone.

Yours Faithfully

L.M.Dell

04.02.2026



Level 1/52 Brisbane Street, Launceston TAS 7250.

Tel - 633 89914 - Mob -0400 655 771 - Email leigh@planstobuild.com.au