

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00028
Applicant	Engineering Plus
Proposal	Residential - Alterations/Additions to Existing Dwelling including Conversion of Separate Laundry to Storage Shed, Demolition of Existing Shed and Construction of New Shed with Amenities
Location	250 St Helens Point Road, Stieglitz (CT 234842/12)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O' Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th April 2026 **until 5pm Friday 8th May 2026**.

John Brown
GENERAL MANAGER

DRAWING SCHEDULE

A00	COVER PAGE
A01	SITE PLAN
A02	RENOVATION & SUNROOM CONSTRUCTION PLAN
A03	RENOVATION & SUNROOM FLOOR PLAN
A04	SHED CONSTRUCTION PLAN
A05	SHED FLOOR PLAN
A06	RENOVATION & SUNROOM ROOF PLAN
A07	SHED ROOF PLAN
A08	RENOVATION & SUNROOM ELEVATIONS
A09	SHED ELEVATIONS
A10	EXISTING SHED FLOOR PLAN
A11	3D PERSPECTIVE #1
A12	3D PERSPECTIVE #2
A13	SHADOW PLANS

PROPOSED RENOVATION, SUNROOM, SHED AND DEMOLITION WORK

T. WRIGLEY & J. MITCHELL
250 ST HELENS POINT RD,
STIEGLITZ, TAS 7216

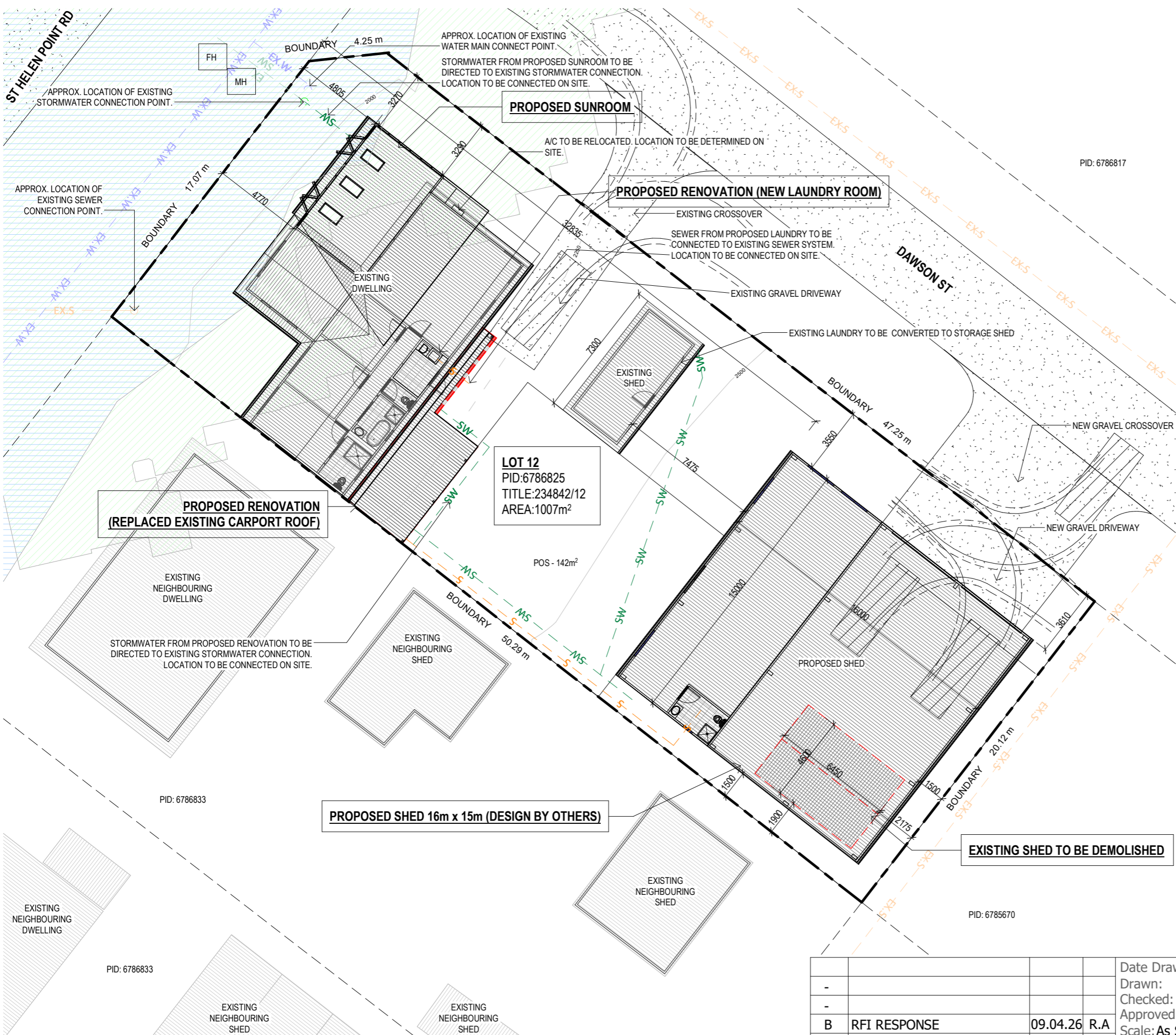
BREAK O' DAY COUNCIL

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	8.0 GENERAL RESIDENTIAL ZONE
BUILDING CLASS:	CLASS 1A & 10A
LAND TITLE REFERENCE NUMBER:	234842/12
DESIGN WIND SPEED:	ASSUMED "N2"
SOIL CLASSIFICATION:	ASSUMED "H1"
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	SEVERE
FLOODING:	LOW
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

DEVELOPMENT AREA	
Name	Area
EXISTING DWELLING	112.45 m ²
EXISTING SHED	20.61 m ²
PROPOSED CARPORT RENOVATION	31.30 m ²
PROPOSED LAUNDRY	4.34 m ²
PROPOSED SHED	240.00 m ²
PROPOSED SUNROOM	30.31 m ²
	439.00 m ²

ISSUED FOR CLIENT REVIEW



DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM PROPOSED SHED, ROOF, LAUNDRY AND SUNROOM TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500. SEWER FROM PROPOSED SHED AND LAUNDRY ROOM TO BE CONNECTED TO EXISTING SEWER SYSTEM TO LOCAL COUNCIL REQUIREMENT & AS3500.

NOTE
THE SITE IS ENTIRELY LOCATED ON AIRPORT OBSTACLE LIMITATION AREA

Area Schedule (Gross Building)	
Name	Area
EXISTING DWELLING	112.45 m ²
EXISTING SHED	20.61 m ²
PROPOSED CARPORT RENOVATION	31.30 m ²
PROPOSED LAUNDRY	4.34 m ²
PROPOSED SHED	240.00 m ²
PROPOSED SUNROOM	30.31 m ²
	439.00 m ²

AREA SCHEDULE (DRIVEWAY)	
Name	Area
EXISTING GRAVEL DRIVEWAY	26.15m ²
NEW GRAVEL DRIVEWAY	33.32m ²
	59.47m ²

TOTAL SITE AREA - 1007m²
BUILD AREA (INCLUDING PAVED) - 43%
DRIVEWAY - 6%
OPEN SPACE - 51%

LEGEND	
	SEWER
	EXISTING SEWER
	EXISTING WATER
	STORMWATER
	STORMWATER
	FLOOD PRONE ZONE
	COASTAL INUNDATION ZONE

ISSUED FOR APPROVAL

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Client: T. WRIGLEY & J. MITCHELL
Project: PROPOSED RENOVATION, SUNROOM, SHED & DEMOLITION WORK
Address: 250 ST HELENS POINT RD, STIEGLITZ, TAS, 7216

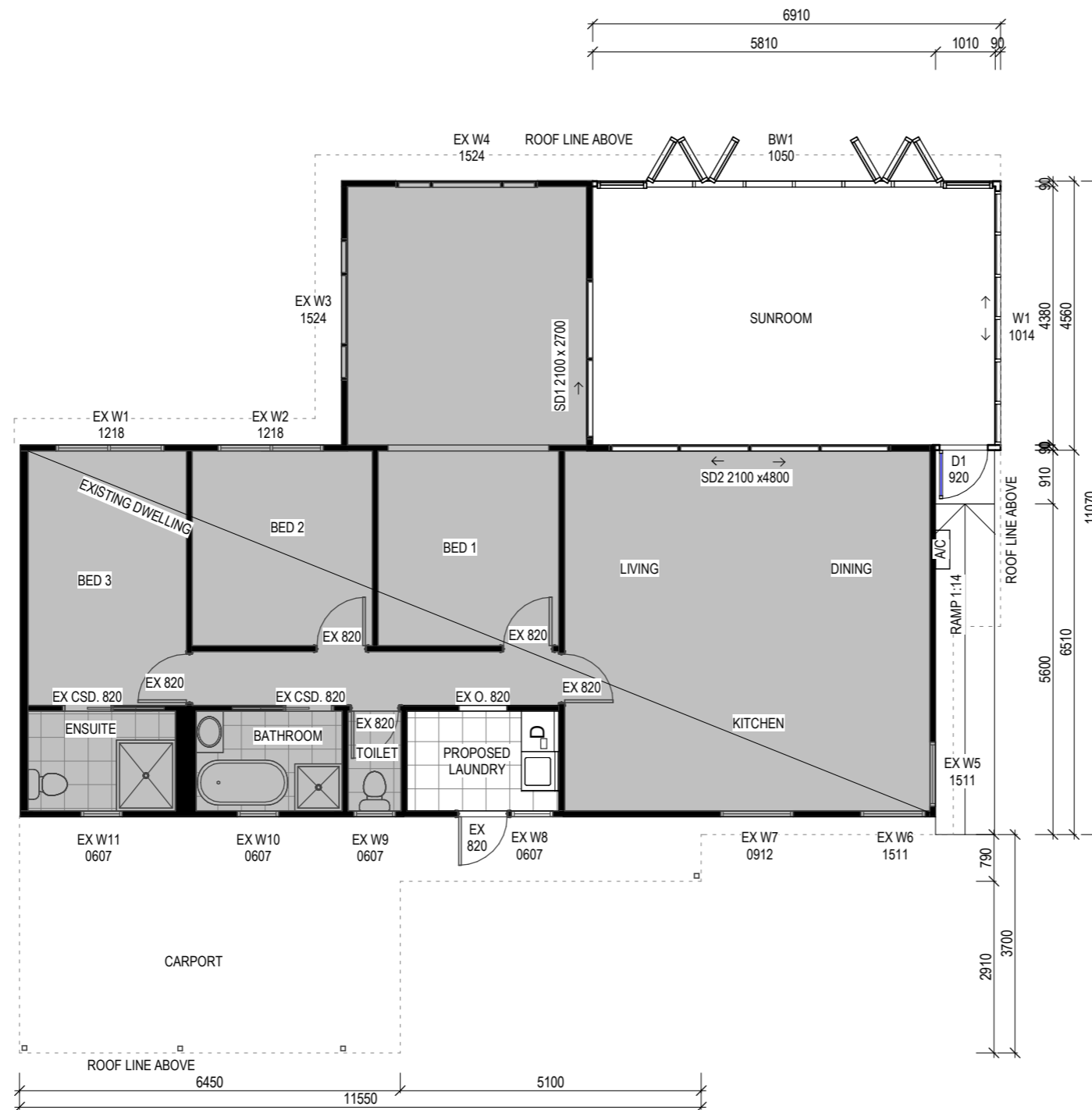
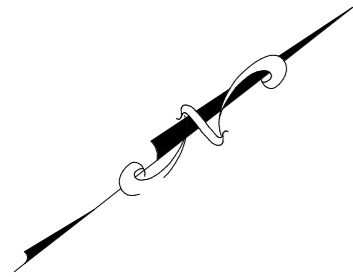
Office: 6331 7021
info@engineeringplus.com.au

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Date Drawn: 26.11.25	Drawn: K. PECK	Checked: R. HALL	Approved: J. Pfeiffer	Scale: As Shown @ A3
B	RFI RESPONSE	09.04.26	R.A	
A	ISSUED FOR APPROVAL	10.02.26	R.A	
SK1	ISSUED FOR REVIEW	05.02.26	K.P	
Rev:	Amendment:	Date:	Int:	

Drawing No: 2025-333
A01 / A12 B

SITE PLAN
SCALE 1:200



WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE
EX W1	1200	1800	DG
EX W2	1200	1800	DG
EX W3	1500	2400	DG
EX W4	1500	2400	DG
EX W5	1500	1100	DG
EX W6	1500	1100	DG
EX W7	900	1200	DG
EX W8	600	700	DG
EX W9	600	700	DG
EX W10	600	700	DG
EX W11	600	700	DG
BW1	1000	5000	DG
W1	1000	1450	DG
SD1	2100	2700	DG
SD2	2100	4800	DG
D1	2100	920	DG

DISCLAIMER
 ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

RENOVATION & SUNROOM CONSTRUCTION FLOOR PLAN
 SCALE 1:100

* - IF HEIGHT TO GROUND IS GREATER THAN 2.0m WINDOW TO HAVE PERMANENTLY FIXED ROBUST SCREEN INSTALLED OR HAVE AN OPENING RESTRICTED TO 125mm

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Name	Area
EXISTING DWELLING	112.45 m ²
EXISTING SHED	20.61 m ²
PROPOSED CARPORT RENOVATION	31.30 m ²
PROPOSED LAUNDRY	4.34 m ²
PROPOSED SHED	240.00 m ²
PROPOSED SUNROOM	30.31 m ²
Total	439.00 m²

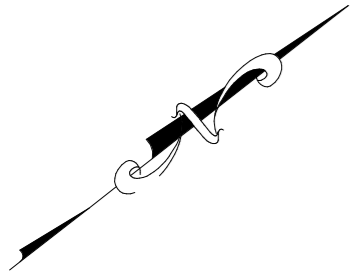
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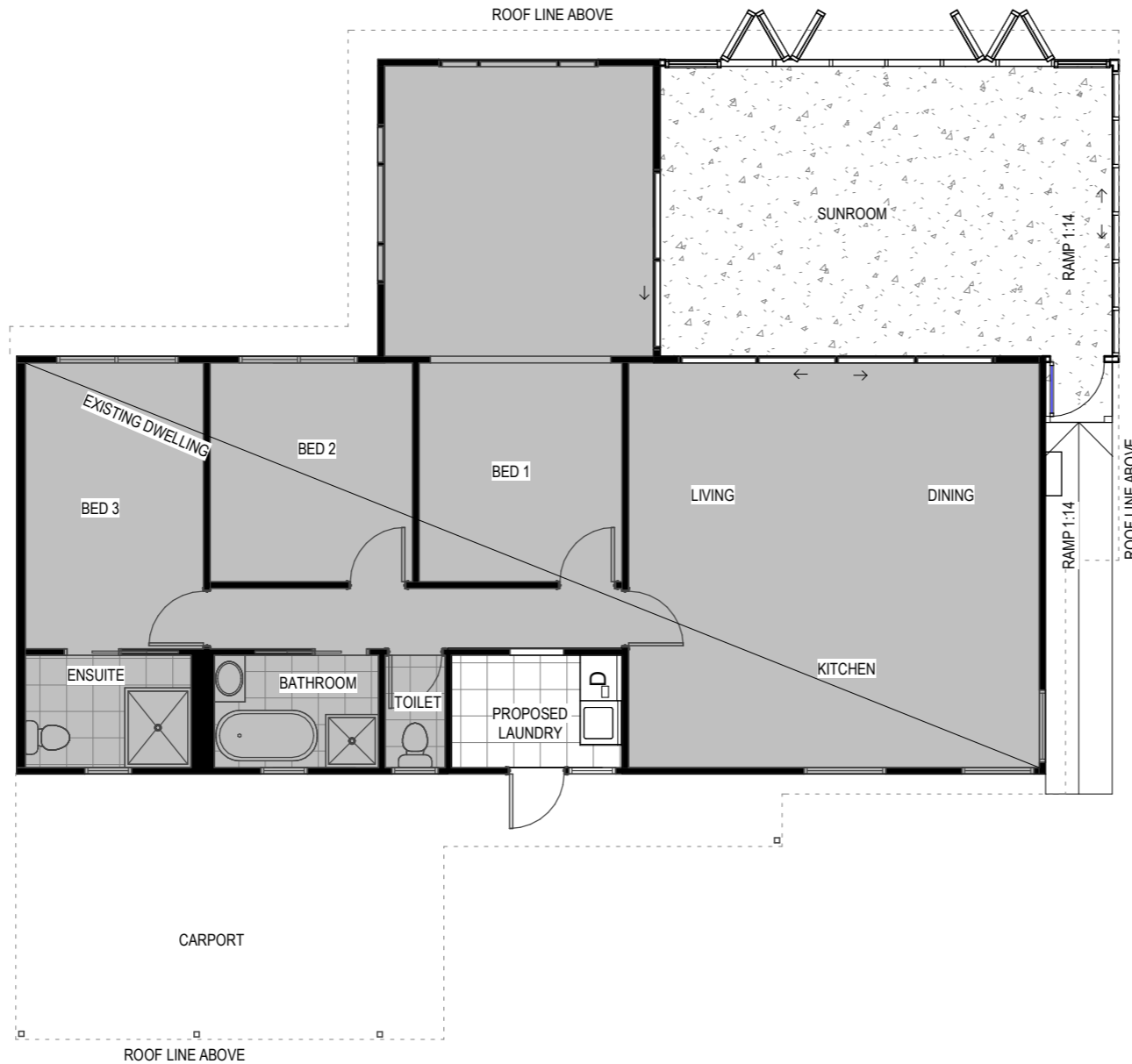
Office: 6331 7021
 info@engineeringplus.com.au

ENGINEERING PLUS
 BUILDING DESIGN
 PROJECT MANAGEMENT
 CIVIL/STRUCTURAL ENGINEERING

Drawing No: 2025-333 A02 / A12 B



FLOOR COVERINGS	
	CONCRETE
	TILE



SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH ABCB OF H3D6 - PART 9.5.2

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

RENOVATION & SUNROOM FLOOR PLAN
 SCALE 1 : 100

ISSUED FOR APPROVAL

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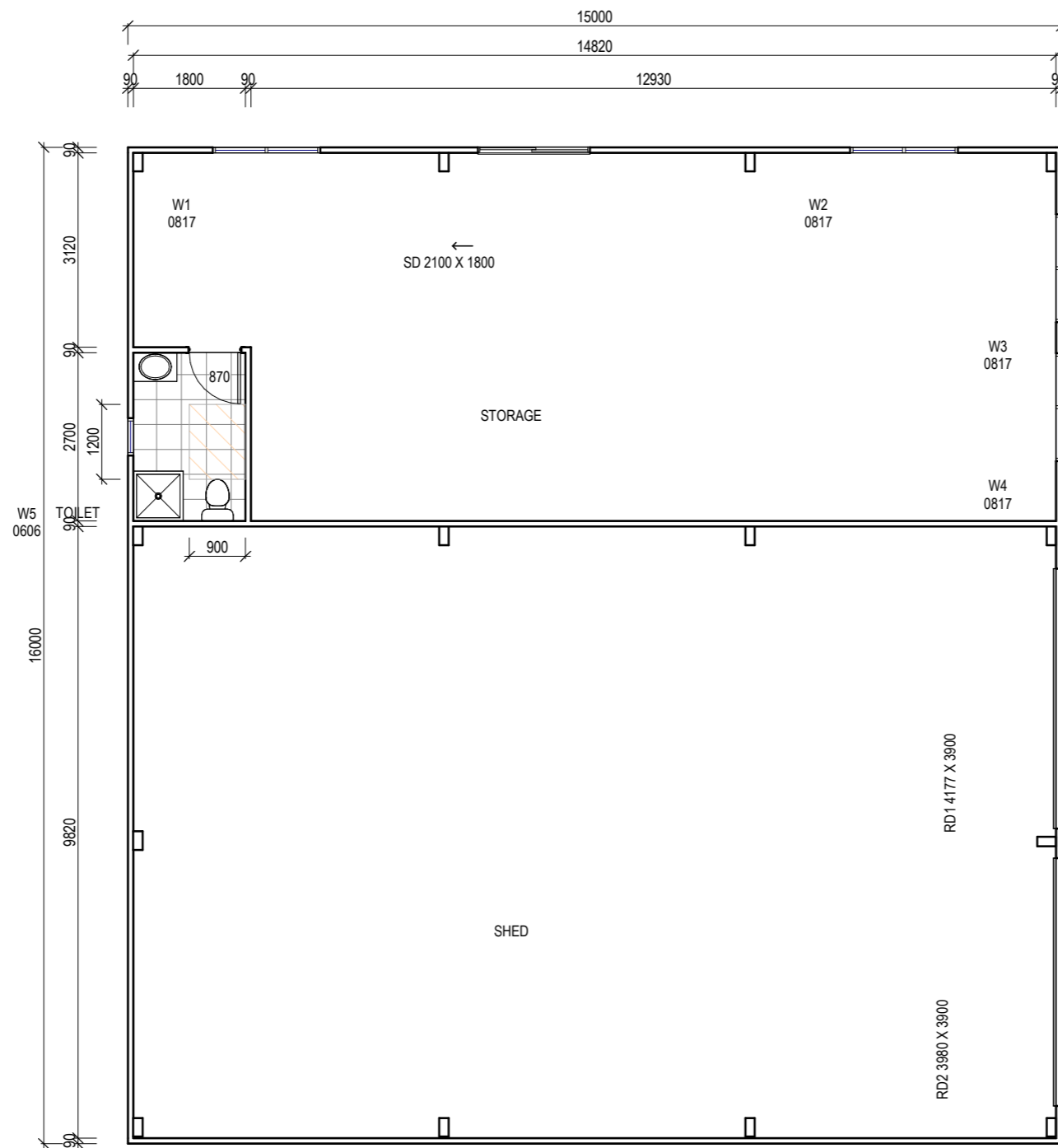
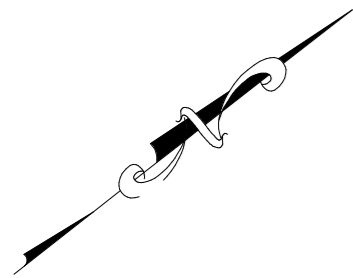
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 Address: 250 ST HELENS POINT RD, STIEGLITZ, TAS, 7216

Office: 6331 7021
 info@engineeringplus.com.au

Drawing No: 2025-333 A03 / A12 B
 Rev



WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE
W1	800	1700	SG
W2	800	1700	SG
W3	800	1700	SG
W4	800	1700	SG
W5	600	600	SG
SD	2100	1800	SG

DISCLAIMER
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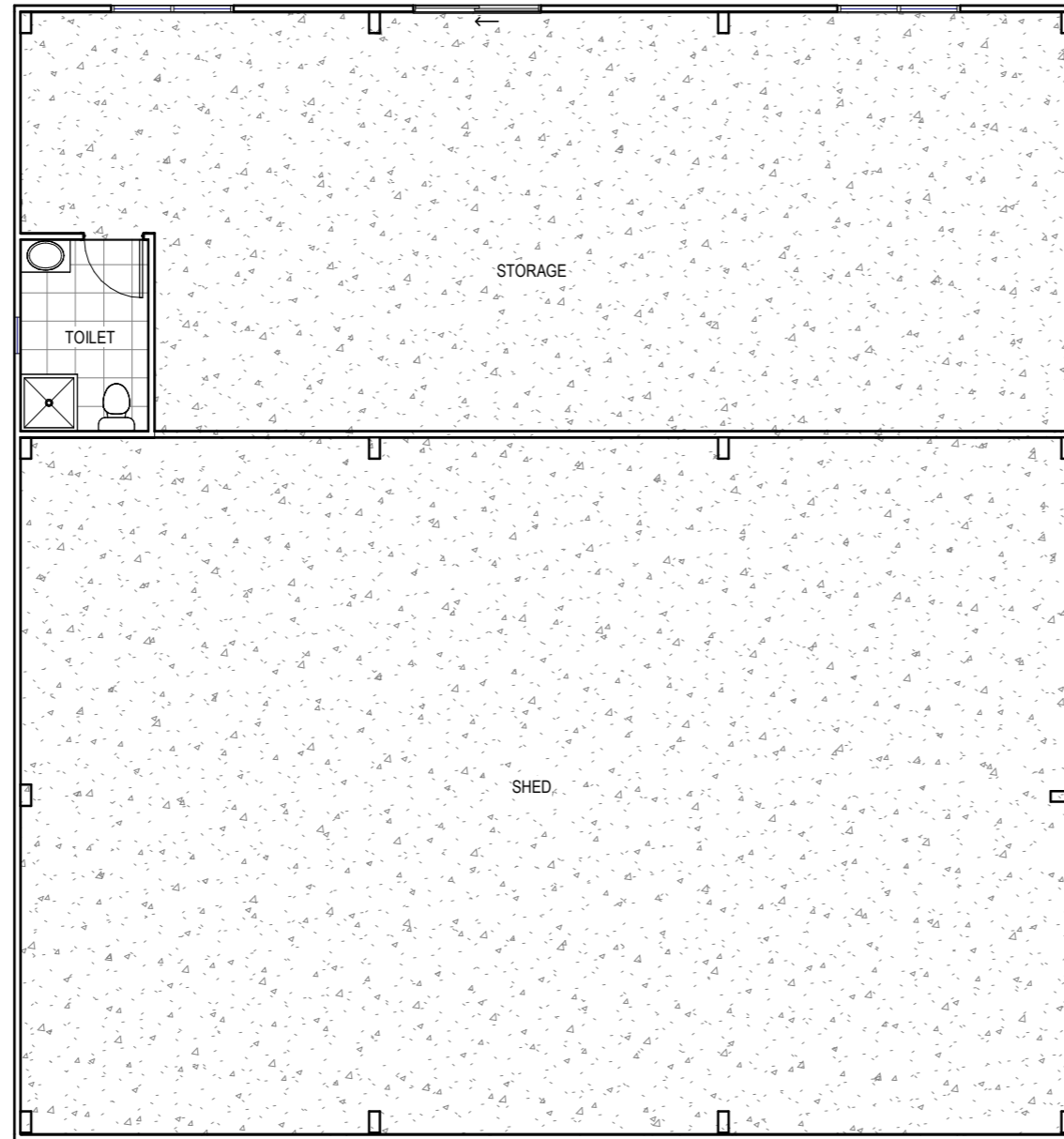
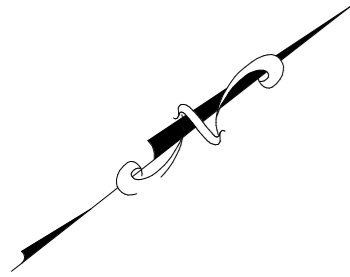
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EXISTING SHED	20.61 m ²
PROPOSED CARPORT RENOVATION	31.30 m ²
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PROPOSED SUNROOM	30.31 m ²
	439.00 m ²

SHED CONSTRUCTION PLAN
 SCALE 1 : 100

-				Date Drawn: 26.11.25
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 Office: 6331 7021
 info@engineeringplus.com.au

Drawing No: 2025-333 A04 / A12 B
 Rev: B



FLOOR COVERINGS	
	CONCRETE
	TILE

SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH ABCB OF H3D6 - PART 9.5.2

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

SHED FLOOR PLAN
 SCALE 1:100

Area Schedule (Gross Building)	
Name	Area
EXISTING DWELLING	112.45 m ²
EXISTING SHED	20.61 m ²
PROPOSED CARPORT RENOVATION	31.30 m ²
PROPOSED LAUNDRY	4.34 m ²
PROPOSED SHED	240.00 m ²
PROPOSED SUNROOM	30.31 m ²
	439.00 m ²

ISSUED FOR APPROVAL

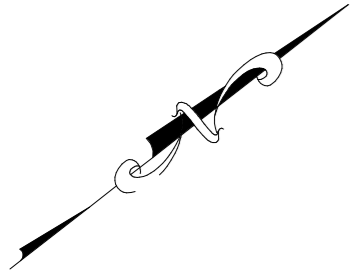
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Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

Drawing No: 2025-333 A05 / A12 B



RENOVATION & SUNROOM ROOF PLAN
 SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC PART 7.2.2
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
 LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
 SELECTED IN ACCORDANCE WITH TABLES 7.4.4a TO 7.4.4c

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d
 END STOP WEIR
 100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
 NOT SUITABLE WHEN END-STOP ABUTS WALL
 INVERTED NOZZLE
 INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
 100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP
 FRONT FACE WEIR
 200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
 INSTALLED MIN. 25mm BELOW FASCIA TOP
 RAINHEAD
 75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
 SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
 VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
 HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
 HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b
 FRONT FACE SLOTTED GUTTER
 MIN SLOT OPENING 1200mm/ GUTTER m
 LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP
 CONTROLLED BACK GAP
 PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
 ONE PER BRACKET - MIN. 50mm WIDE
 GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

ISSUED FOR APPROVAL

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Client: **T. WRIGLEY & J. MITCHELL**
 Project: **PROPOSED RENOVATION, SUNROOM, SHED & DEMOLITION WORK**
 Address: **250 ST HELENS POINT RD, STIEGLITZ, TAS, 7216**

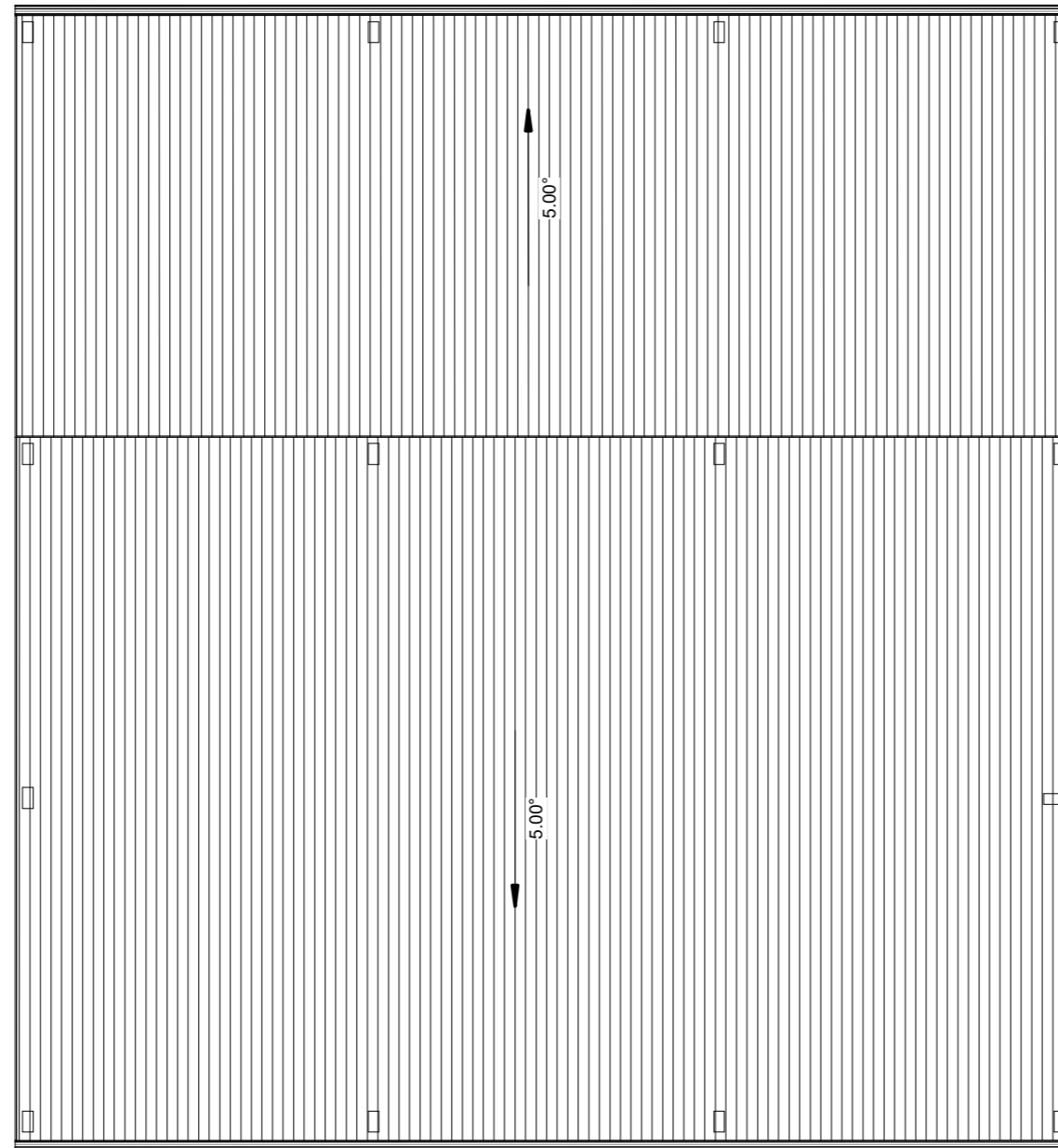
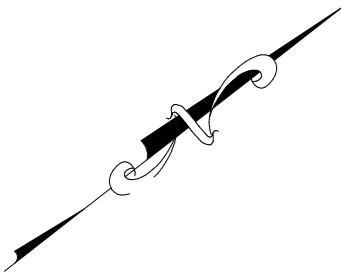
Office: 6331 7021
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-			
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 Approved: J. Pfeiffer
 Scale: As Shown @ A3

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Drawing No: 2025-333
 A06 / A12 B



SHED ROOF PLAN
 SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC PART 7.2.2
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
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R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

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DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
 LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
 SELECTED IN ACCORDANCE WITH TABLES 7.4.4a TO 7.4.4c

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d
 END STOP WEIR
 100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
 NOT SUITABLE WHEN END-STOP ABUTS WALL
 INVERTED NOZZLE
 INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
 100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP
 FRONT FACE WEIR
 200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
 INSTALLED MIN. 25mm BELOW FASCIA TOP
 RAINHEAD
 75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
 SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
 VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
 HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
 HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b
 FRONT FACE SLOTTED GUTTER
 MIN SLOT OPENING 1200mm/ GUTTER m
 LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP
 CONTROLLED BACK GAP
 PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
 ONE PER BRACKET - MIN. 50mm WIDE
 GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

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 Project: PROPOSED RENOVATION,
 SUNROOM, SHED &
 DEMOLITION WORK
 Address: 250 ST HELENS POINT
 RD, STIEGLITZ, TAS, 7216

Office: 6331 7021
 info@engineeringplus.com.au

Drawing No: 2025-333 A07 / A12 B
 Rev

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

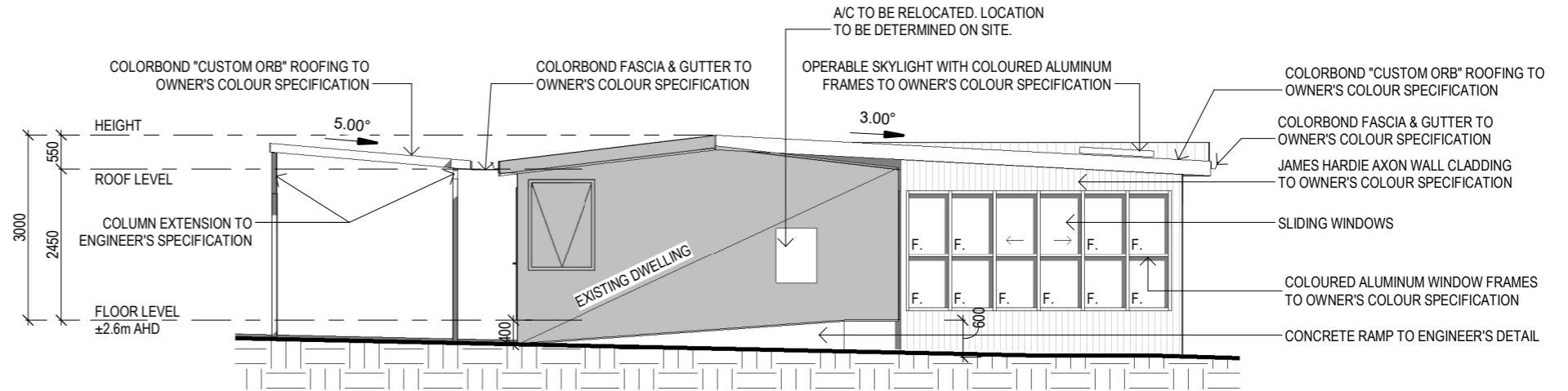
SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

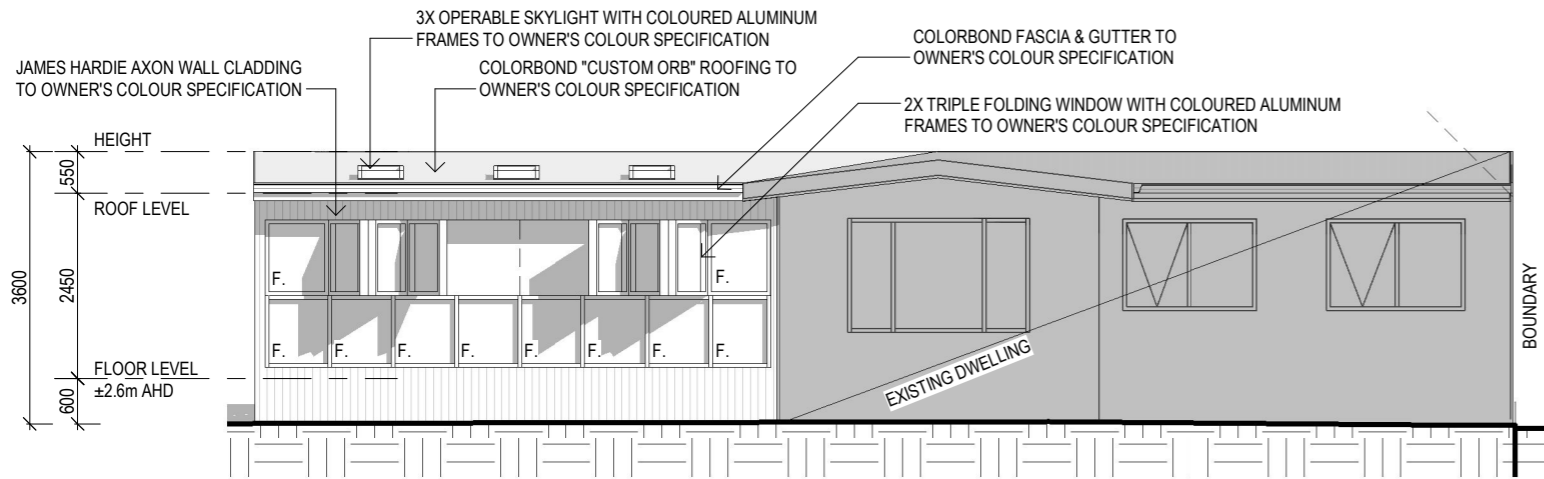
TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

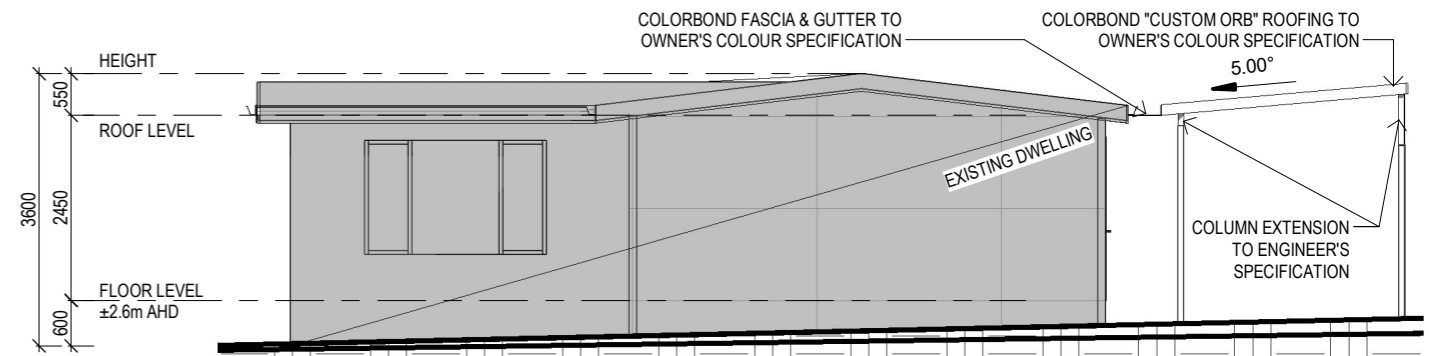
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS



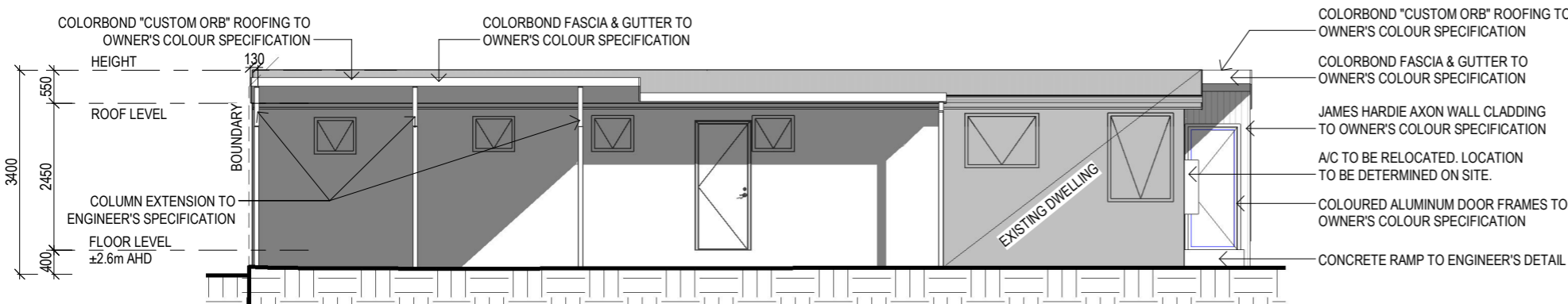
RENOVATION & SUNROOM NORTH EAST ELEVATION
 SCALE 1:100



RENOVATION & SUNROOM NORTH WEST ELEVATION
 SCALE 1:100



RENOVATION & SUNROOM SOUTH WEST ELEVATION
 SCALE 1:100



RENOVATION & SUNROOM SOUTH EAST ELEVATION
 SCALE 1:100

SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM² PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
 PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

ISSUED FOR APPROVAL

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Client: T. WRIGLEY & J. MITCHELL
 Project: PROPOSED RENOVATION, SUNROOM, SHED & DEMOLITION WORK
 Address: 250 ST HELENS POINT RD, STIEGLITZ, TAS, 7216

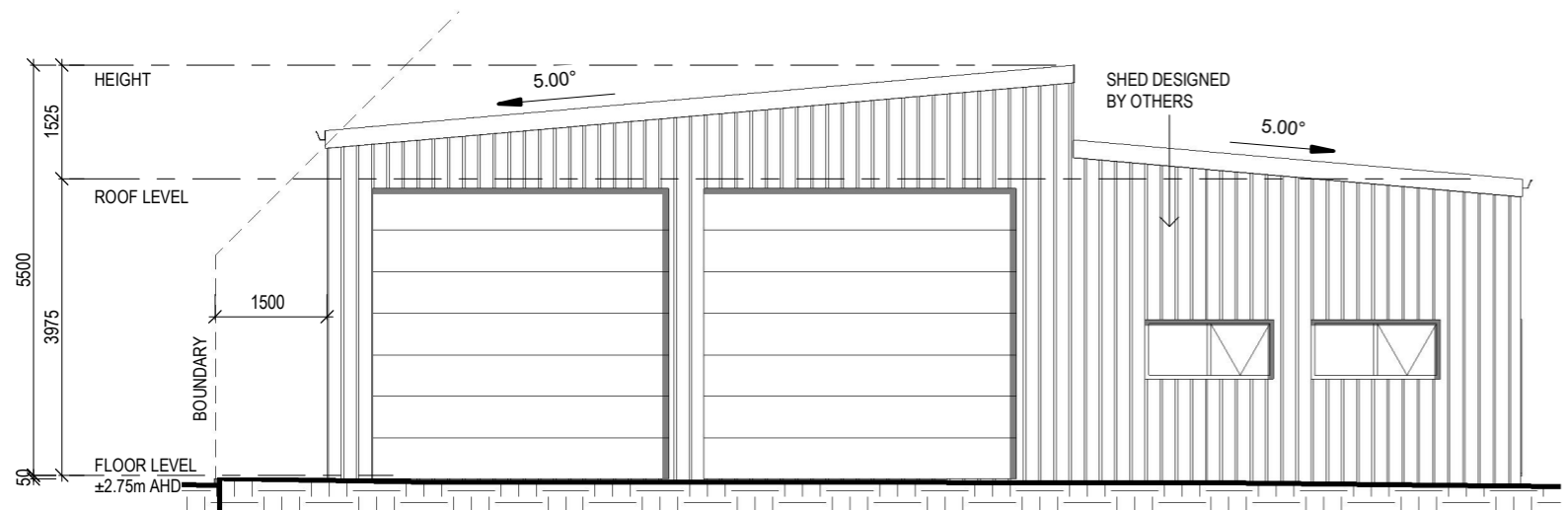
Office: 6331 7021
 info@engineeringplus.com.au

-			
-			
B	RFI RESPONSE	09.04.26	R.A
A	ISSUED FOR APPROVAL	10.02.26	R.A
SK1	ISSUED FOR REVIEW	05.02.26	K.P
Rev:	Amendment:	Date:	Int:

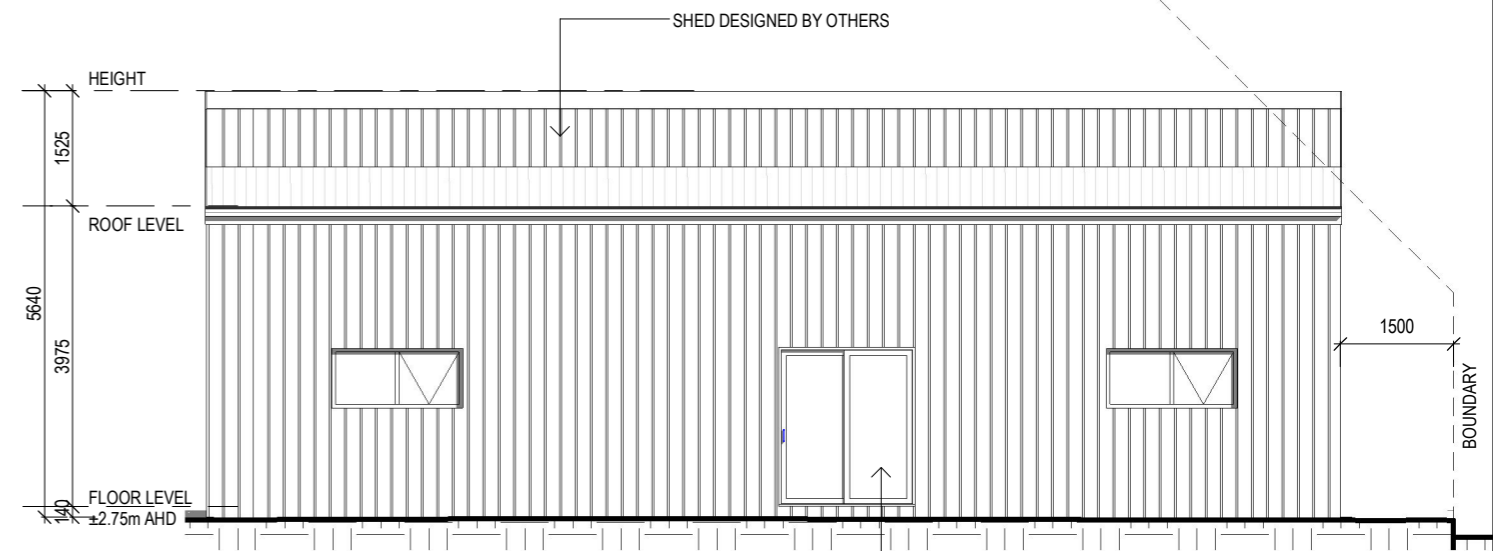
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 Drawn: K. PECK
 Checked: R. HALL
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

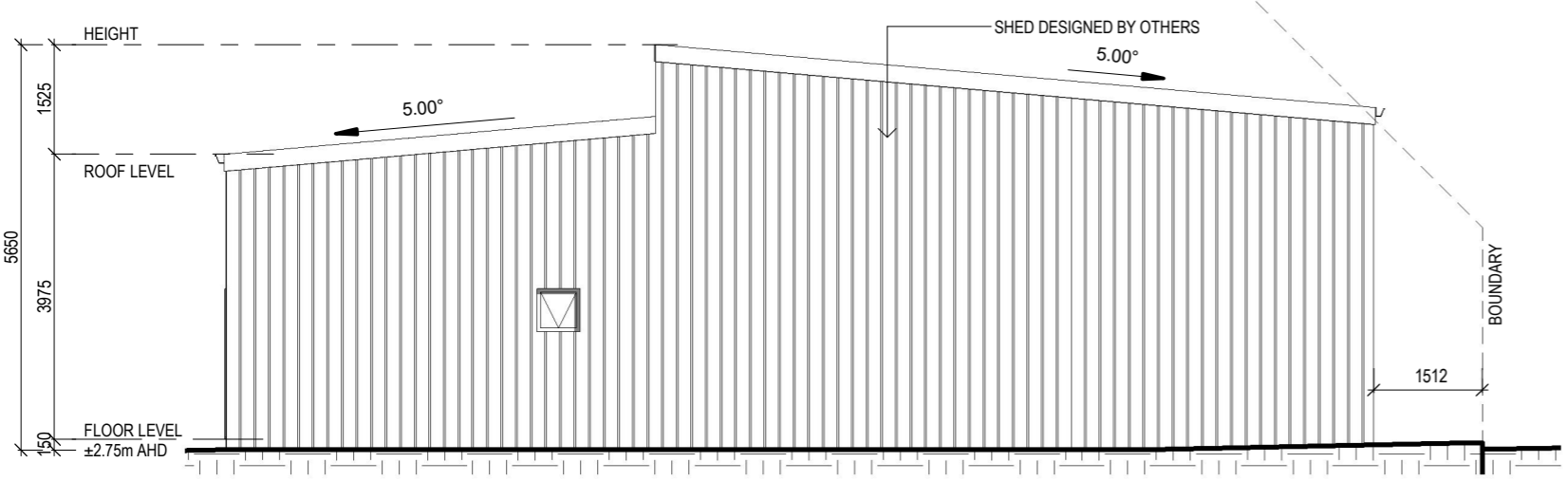
Drawing No: 2025-333 A08 / A12 B
 Rev



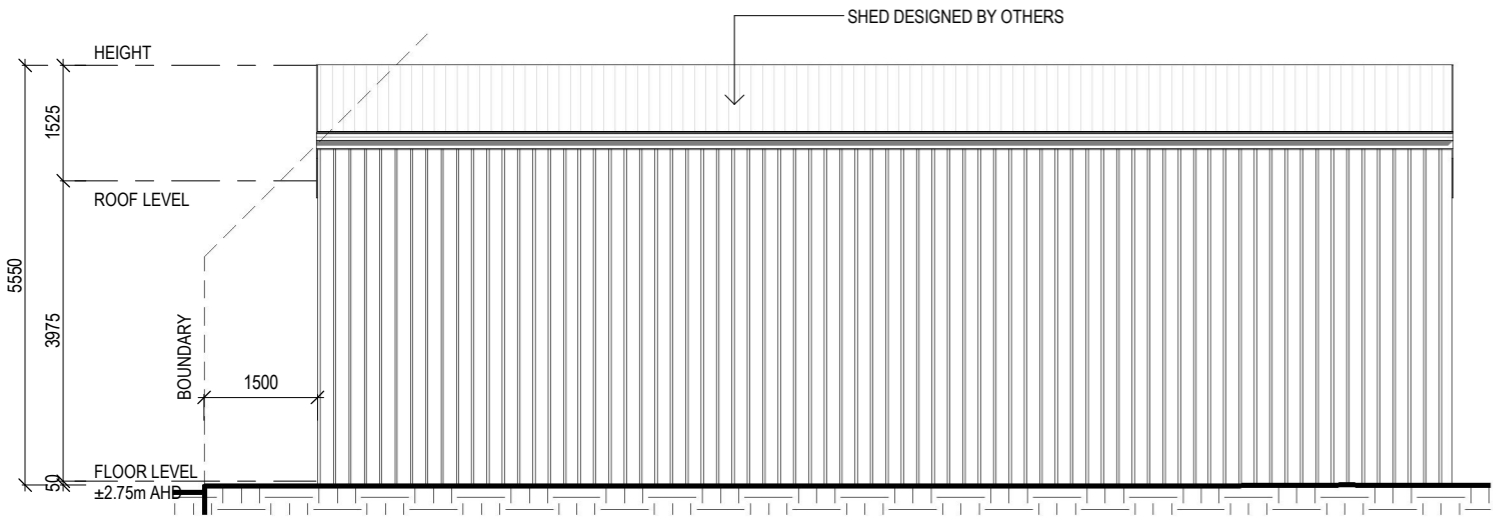
SHED NORTH EAST ELEVATION
 SCALE 1:100



SHED NORTH WEST ELEVATION
 SCALE 1:100



SHED SOUTH WEST ELEVATION
 SCALE 1:100



SHED SOUTH EAST ELEVATION
 SCALE 1:100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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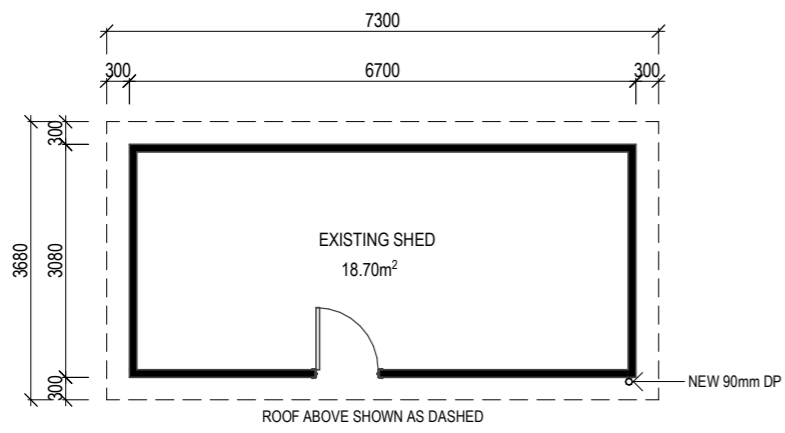
Client: T. WRIGLEY & J. MITCHELL
 Project: PROPOSED RENOVATION, SUNROOM, SHED & DEMOLITION WORK
 Address: 250 ST HELENS POINT RD, STIEGLITZ, TAS, 7216

Office: 6331 7021
 info@engineeringplus.com.au

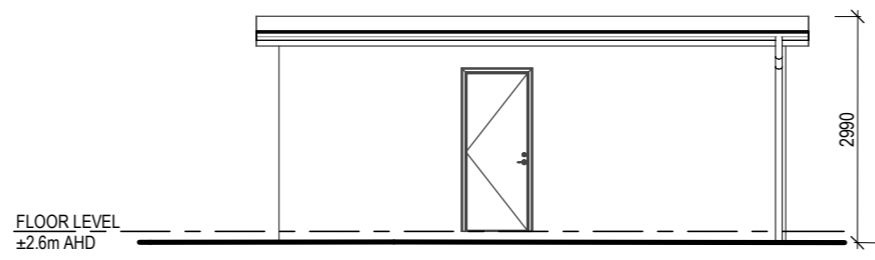
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-				Drawn: K. PECK
				Checked: R. HALL
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A	ISSUED FOR APPROVAL	10.02.26	R.A	Scale: As Shown @ A3
SK1	ISSUED FOR REVIEW	05.02.26	K.P	Accredited Building Designer
Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

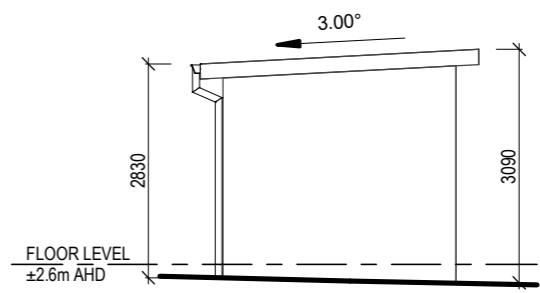
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 A09 / A12 B



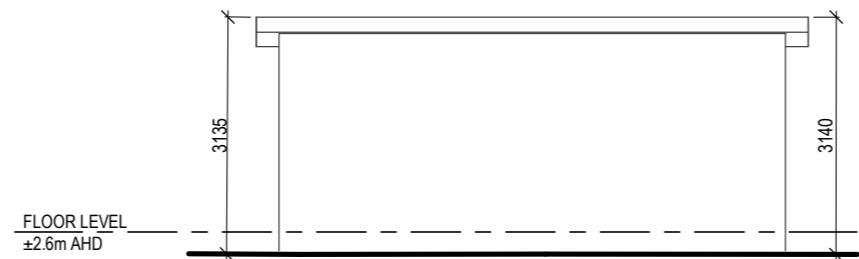
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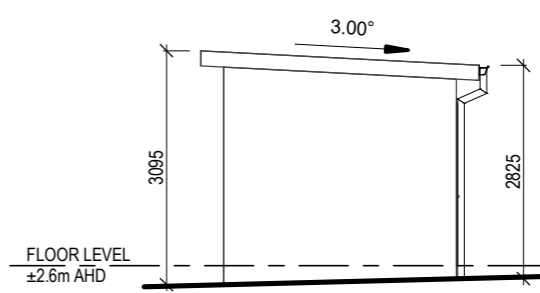
SOUTH-EAST ELEVATION
 SCALE 1:100



NORTH-EAST ELEVATION
 SCALE 1:100



NORTH-WEST ELEVATION
 SCALE 1:100



SOUTH-WEST ELEVATION
 SCALE 1:100

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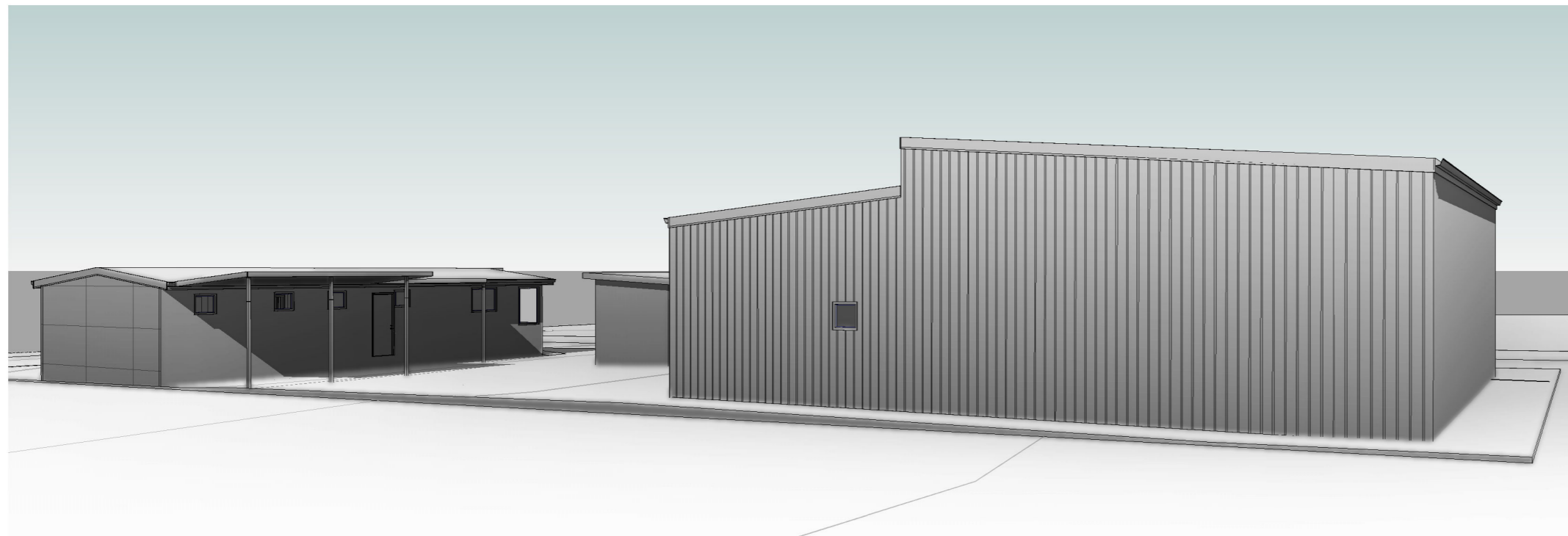
Client: T. WRIGLEY & J. MITCHELL
 Project: PROPOSED RENOVATION,
 SUNROOM, SHED &
 DEMOLITION WORK
 Address: 250 ST HELENS POINT
 RD, STIEGLITZ, TAS, 7216

Office: 6331 7021
 info@engineeringplus.com.au

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-				Drawn: K. PECK
				Checked: R. HALL
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Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Drawing No: 2025-333 A10 / A12 B
 Rev: B



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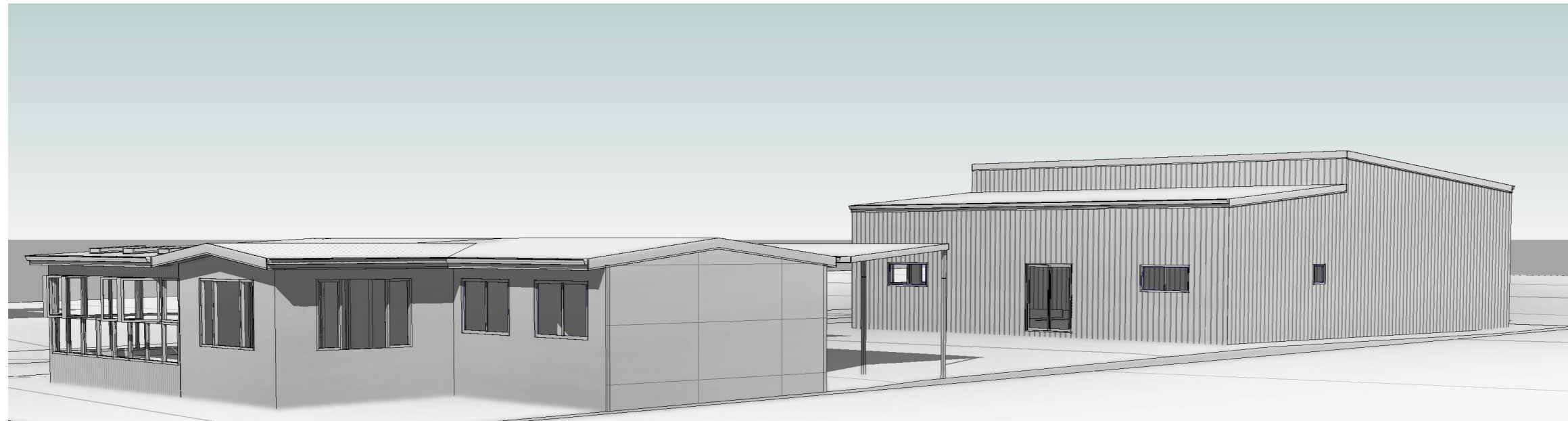
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 Project: PROPOSED RENOVATION,
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SK1	ISSUED FOR REVIEW	05.02.26	K.P	
Rev:	Amendment:	Date:	Int:	

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Drawing No: 2025-333
 A11 / A12 B



ISSUED FOR APPROVAL

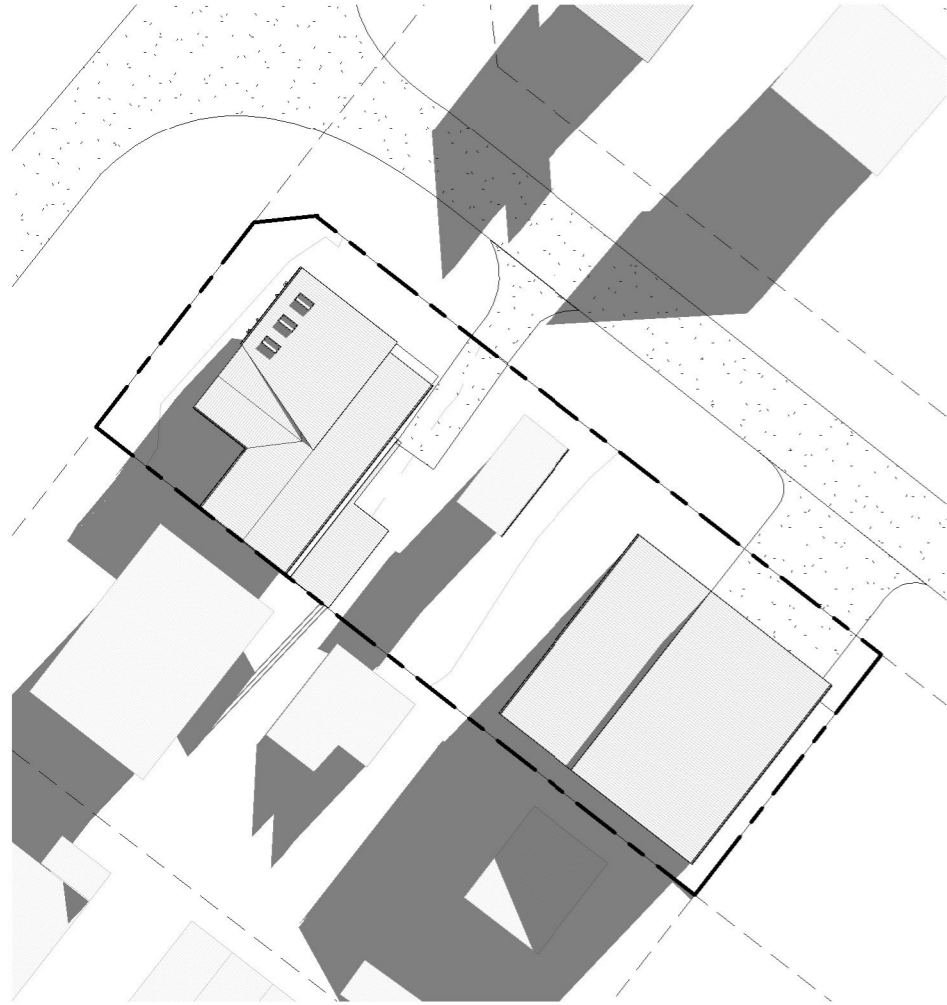
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 Project: PROPOSED RENOVATION,
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Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

Drawing No: 2025-333
 A12 / A12 B



9AM
SCALE 1:500



12PM
SCALE 1:500



3PM
SCALE 1:500

ISSUED FOR APPROVAL

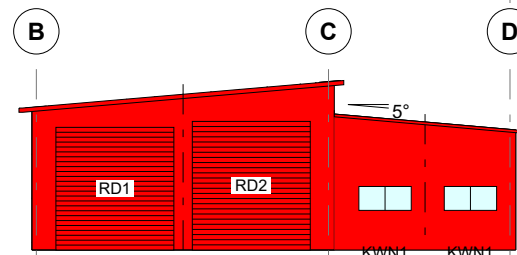
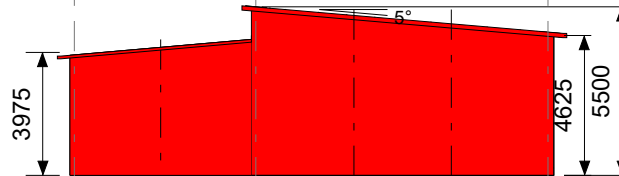
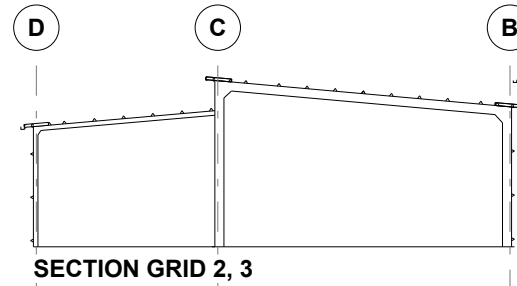
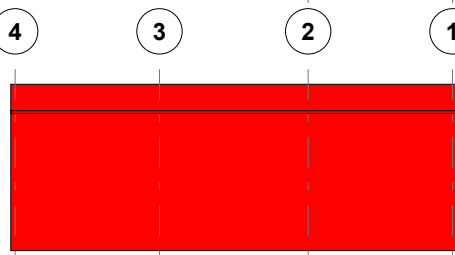
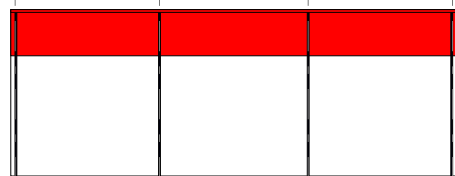
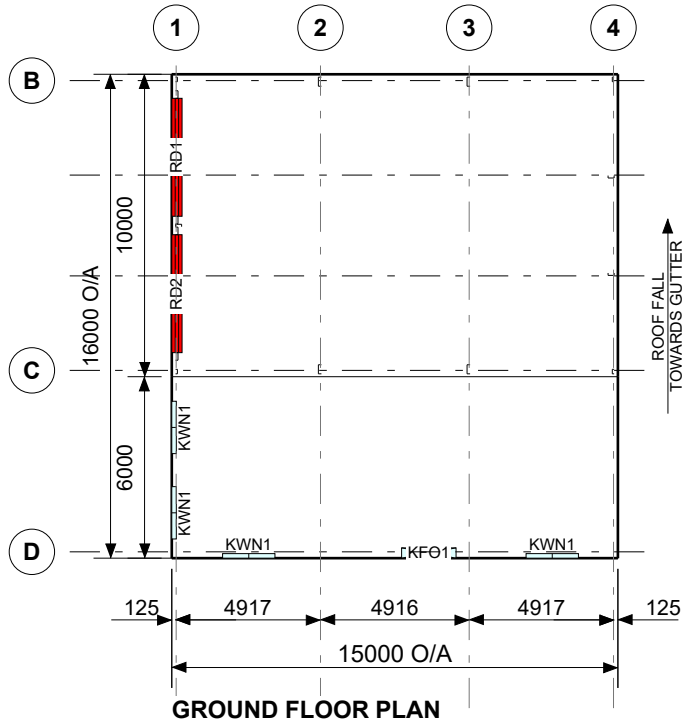
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Client: T. WRIGLEY & J. MITCHELL
 Project: PROPOSED RENOVATION,
 SUNROOM, SHED &
 DEMOLITION WORK
 Address: 250 ST HELENS POINT
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Office: 6331 7021
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-				Drawn: K. PECK
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Rev:	Amendment:	Date:	Int:	Designer Name: J.Pfeiffer
				Accreditation No: CC2211T

Drawing No: 2025-333 A13 / A12 B
 Rev B



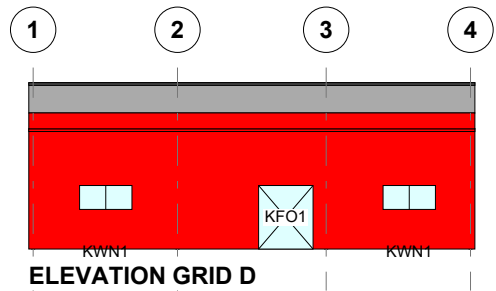
CLADDING			
ITEM	PROFILE (min)	FINISH	COLOUR
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WALLS	TRIMDEK 0.42 BMT	CB	AA
CORNERS	-	CB	AA
BARGE	-	CB	AA
GUTTER	HI-QUAD	CB	AA

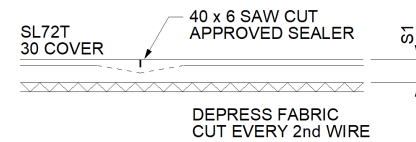
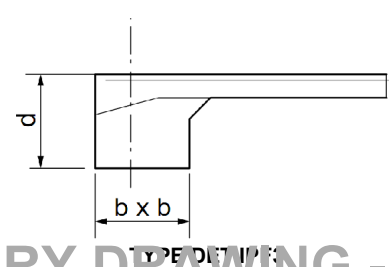
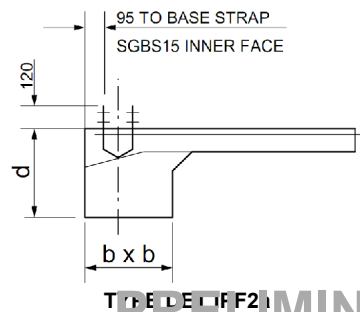
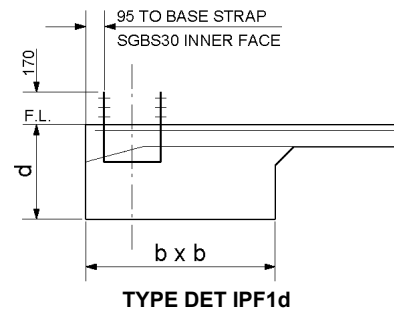
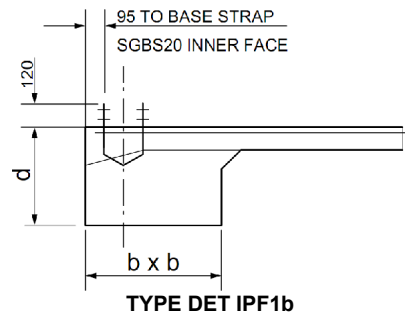
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ACCESSORY SCHEDULE & LEGEND		
QTY	MARK	DESCRIPTION
1	RD1	Taurean, Light Indust. Commando S B 3980 high x 3900 wide Clr. Open. Windstrong
1	RD2	Taurean, Light Indust. Commando S B 4177 high x 3900 wide Clr. Open. Windstrong
4	KWN1	AMI - Reg A & B, 790x1731 CLR + FG Fly Screen, Window Kit (BG)
1	KFO1	2100H x 1800W Framed Opening. Door must be fitted

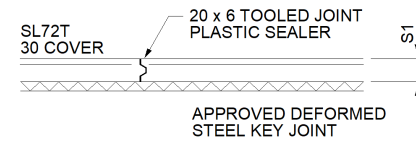
ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

CLIENT Tony Wrigley			
SITE 250 St Helens Point Road ST HELENS TAS 7216			
BUILDING BIG G SKILLION 10000S x 4625/5500E x 15000L PLUS 6000 ANNEXE			
TITLE FLOOR PLAN & ELEVATION			
SCALE A4 SHEET 1:250	DRAWING NUMBER LAUNC3-14969	REV A	PAGE 1/2

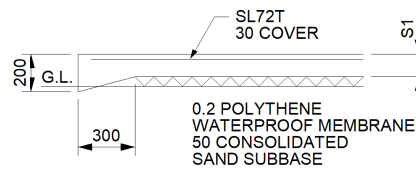




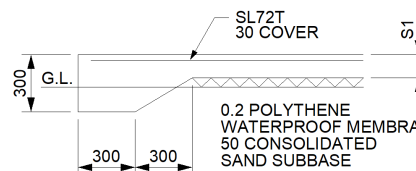
DET S1/A
CONTROL JOINT



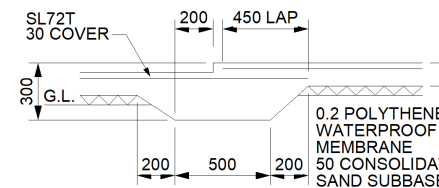
DET S1/C
CONSTRUCTION JOINT



DET S1/EB1
NOT SUITABLE AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/EB2
REQUIRED AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/IB2
REQUIRED SLAB SETDOWNS

Cont. on page 2

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION PURPOSES

NOTES

FOR PAD FOOTING DIMENSIONS & STRAP NOTATION, REFER TO THE INTEGRAL PAD FOOTING SCHEDULE LOCATED ON A SEPARATE PAGE OF THIS DRAWING.

IT IS IMPORTANT TO NOTE THAT DIMENSIONS MAY NOT ALWAYS BE TO CENTRE LINES.

ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS.

SEE ENGINEERING DRAWINGS FOR SITE NOTES, CONCRETE REINFORCEMENT NOTES, CONCRETE NOTES, SLAB ON GRADE NOTES AND ADDITIONAL INTEGRAL PAD FOOTING NOTES.

PROVIDE CONSTRUCTION JOINTS SO THAT THE MAXIMUM UNBROKEN RUN OF CONCRETE IS 20m IN EITHER DIRECTION

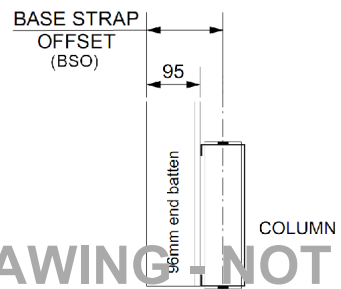
SET DOWN ALL SHADED AREAS 50mm

SLAB THICKNESS (S1) = 100mm

CLIENT Tony Wrigley			
SITE 250 St Helens Point Road ST HELENS TAS 7216			
BUILDING BIG G SKILLION 10000S x 4625/5500E x 15000L PLUS 6000 ANNEXE			
TITLE INTEGRAL PAD FOOTING & RC FLOOR DET			
SCALE NTS	DRAWING NUMBER IPF-14969	REV A	PAGE 1/5

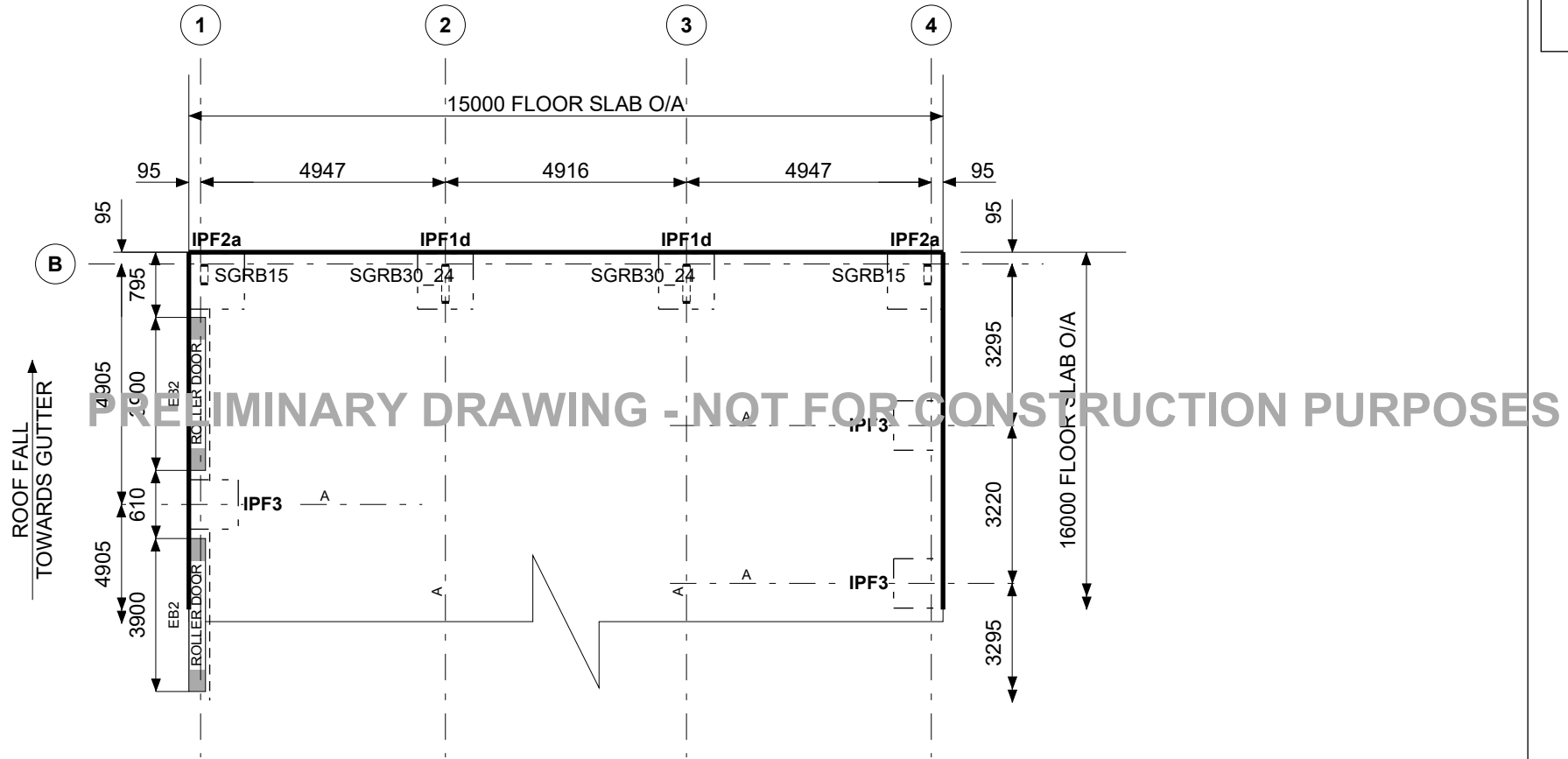
Cont. on page 3

Cont. on page 1



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION PURPOSES

COLUMN STRAP	BASE STRAP OFFSET
SGBS15	125mm
SGBS20	135mm
SGBS25	135mm
SGBS30	145mm
SGBS35	160mm



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION PURPOSES

SCALE NTS	REV A
DRAWING NUMBER IPF-14969	PAGE 3/5

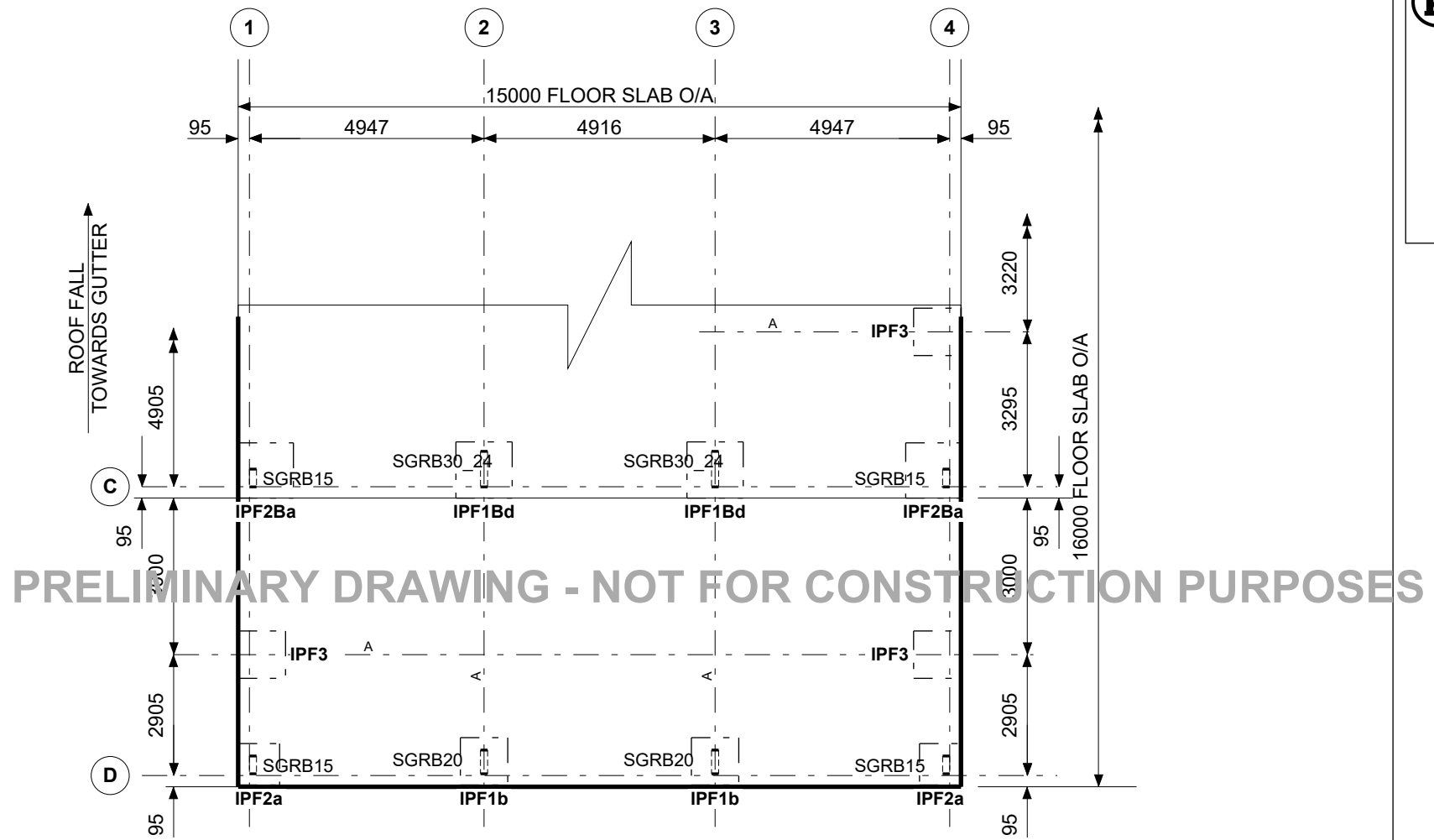
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION PURPOSES

INTEGRAL PAD FOOTING SCHEDULE

CENTRE LINE REFERENCE	FRAME REFERENCE(S)	LABEL	STRAP	d x b x b
B	1, 4	IPF2a	SGRB15	550 x 550 x 550
B	2, 3	IPF1d	SGRB30_24	550 x 550 x 550
BC	1, 4	IPF3		350 x 450 x 450
C	1, 4	IPF2Ba	SGRB15	600 x 600 x 600
C	2, 3	IPF1Bd	SGRB30_24	625 x 625 x 625
CD	1, 4	IPF3		300 x 400 x 400
D	1, 4	IPF2a	SGRB15	350 x 350 x 350
D	2, 3	IPF1b	SGRB20	400 x 400 x 400

SCALE NTS	REV A
DRAWING NUMBER IPF-14969	PAGE 4/5

Cont. on page 4



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Solutions Pty Ltd
trading as RANBUILD

SCALE NTS	REV A
DRAWING NUMBER IPF-14969	PAGE 5/5

To,
Break O'Day council
Attention: Jake Ihnen
Date: 13.04.2026

Subject: Response to Request for additional information – DA2026/0028

Project: Alterations/ Additions to existing dwelling including conversion of separate laundry to storage shed and demolition of existing shed and construction of new shed.

Site: 250 St Helens Point Road, Stieglitz TAS 7216

This correspondence is submitted in response to the Request for Additional Information (RAI) dated 10 December 2025, in relation to the above Development Application.

1. Clause 6.1.2(e) – Description of Proposed Use or Development

The proposed shed is intended to use as a private workshop and garage.

2. Stormwater Management

Refer to the updated site plan for further detail. Stormwater from the converted shed will be directed to the existing stormwater connection on site.

3. Setbacks

The proposed shed has been repositioned to achieve a setback of 1500mm from both the southern and western boundaries.

4. Shadow Diagrams

Shadow diagrams have been included on Sheet A13. Please refer to the drawing set for further detail.

5. Planning Scheme Response

○ **8.0 General Residential Zone**

▪ **8.4.2 –**

A1 – The proposed extension to the dwelling provides a setback of 4.8 m from the primary frontage (minimum 4.5 m required) and 3.2 m from the side boundary (minimum 3.0 m required). The proposal therefore complies with the acceptable solutions.

A2- The proposed garage is located approximately 32 m from the primary frontage and 3.6 m from the secondary frontage. It is also setback 1.5 m from the side and rear boundaries. The siting of the garage is consistent with, and compatible with, the setbacks of existing garages within the street.

P3- The scale of the extension and the proposed new garage will not result in an unreasonable loss of amenity to adjoining properties. This includes consideration of potential impacts such as reduction in sunlight, overshadowing of private open space, and visual impacts associated with building bulk and scale. These matters are demonstrated in the shadow diagrams provided on Sheet A13.

- **8.4.3** – the site coverage is less than 50% as mentioned on the sheet A01. Private open space also has been denoted on sheet A01.

- **8.5.1** – The proposed shed is intended to use as a private workshop, storage for boat and caravan.
- **C2.0 Parking and Sustainable Transport Code**
 - **C2.5.1-** A total of three on-site car parking spaces is provided, consistent with the requirements of Table
 - **C2.1.C2.6.1-** The parking area will be located within a garage constructed over concrete, while the driveway will be finished in gravel. The gravel driveway is consistent with the existing character and topography of the site and aligns with the current drainage system.
 - **C2.6.2-** The design and layout of the parking area provide for safe and efficient vehicle access, manoeuvring, and on-site parking, in accordance with the applicable standards.
 - **C26.3-** The site has two access points; however, these do not result in any loss of on-street parking or negatively impact pedestrian or traffic safety. The proposal also does not adversely affect the residential amenity of adjoining land and maintains the existing streetscape character. Dawson Street is a low-traffic road, further minimising any potential impact.

We trust the above addresses Council's request for additional information. Please let us know if any further clarification is required.

Kind regards,



Ritika Agrawal
Engineering plus
13th April 2026