

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00030
Applicant	Spectura Studio
Proposal	Residential - Construction of New Dwelling with Attached Deck and Separate Carport
Location	11 Scamander Avenue, Scamander (CT 180671/1)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 25th April 2026 **until 5pm Friday 8th May 2026.**

John Brown
GENERAL MANAGER

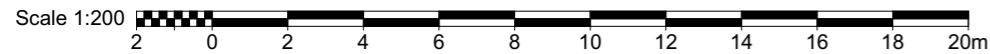
SHEET No.	DRAWING TITLE	ISSUE	DATE
A00	COVER SHEET	A.1	21/04/2026 5:14 PM
A01	SITE PLAN	A.1	21/04/2026 5:14 PM
A02	FLOOR PLAN	A	10/02/2026 7:51 PM
A03	ELEVATIONS	A	10/02/2026 7:51 PM
A04	ELEVATIONS 2	A	10/02/2026 7:51 PM
A05	DOOR / WINDOW SCHEDULE	A	10/02/2026 7:51 PM
A06	FINISHES SCHEDULE	A	10/02/2026 7:51 PM

Development Application

Issue: A.1 - Development Application - LGA RFI

Tuesday, 21 April 2026





Areas:	
Carport:	36m ²
Dwelling:	69.77m ²
Deck:	24.30m ²
Total Building Footprint:	130.07m²
Site Area:	1199m ²
Site Coverage:	10.8%

NOTE:
 ALL DIMENSIONS TO BE VERIFIED
 ONSITE BY BUILDING CONTRACTOR
 AND PHYSICALLY LOCATE ALL
 UNDERGROUND SERVICES AND
 THEIR LOCATION IN RELATION TO
 PROPOSED WORKS.
 WRITTEN DIMENSIONS
 PREFERRED OVER SCALED
 DIMENSIONS.
 DISCREPANCIES TO BE REFERRED TO
 THE BUILDING DESIGNER BEFORE
 PROCEEDING.

ISSUE LIST		
No.	DESCRIPTION	DATE
SK1	CONCEPT DEVELOPMENT	19/08/2025
SK2	CONCEPT DEVELOPMENT	8/09/2025
SK3	CONCEPT FINALISATION	18/12/2025
A	Development Application	10/02/2026
A.1	Development Application - LGA RFI	21/04/2026

PROJECT
 Proposed Demountable Cabin

PROJECT ADDRESS:
 180671/1
 11 Scamander Avenue Scamander TAS
 7215

CLIENT
 Charlie Edis

SHEET SIZE A3

A01

SITE PLAN

SCALE: 1:200

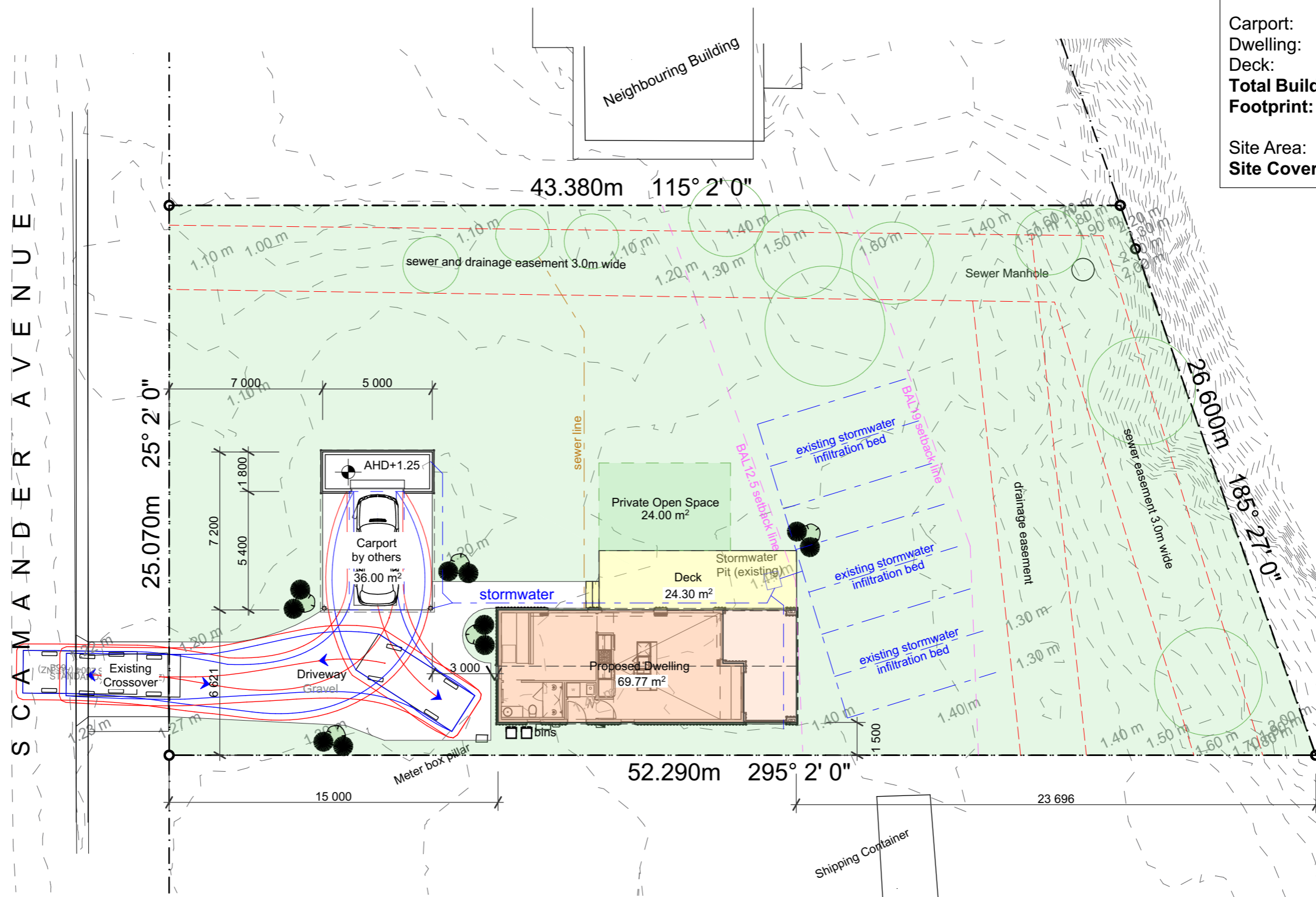
PROJECT NUMBER: T212

DRAWN BY:
 MP

CHECKED BY:
 MP

DATE:
 Tuesday, 21 April
 2026

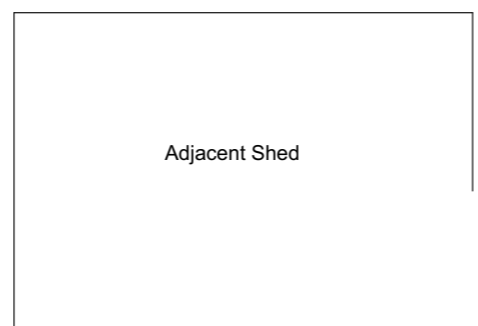
CBOS: 964058515



Proposed Site Plan

Scale 1:200 @A3

SITE DETAILS
ADDRESS: 11 Scamander Avenue Scamander TAS 7215
LOT/DP: 180671/1
COUNCIL: Break O'Day Council
ZONING: General Residential



Adjacent Shed

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Scale 1:50

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 Proposed Demountable Cabin

PROJECT ADDRESS:
 180671/1
 11 Scamander Avenue Scamander TAS
 7215

CLIENT
 Charlie Edis

SHEET SIZE A3

A02

FLOOR PLAN

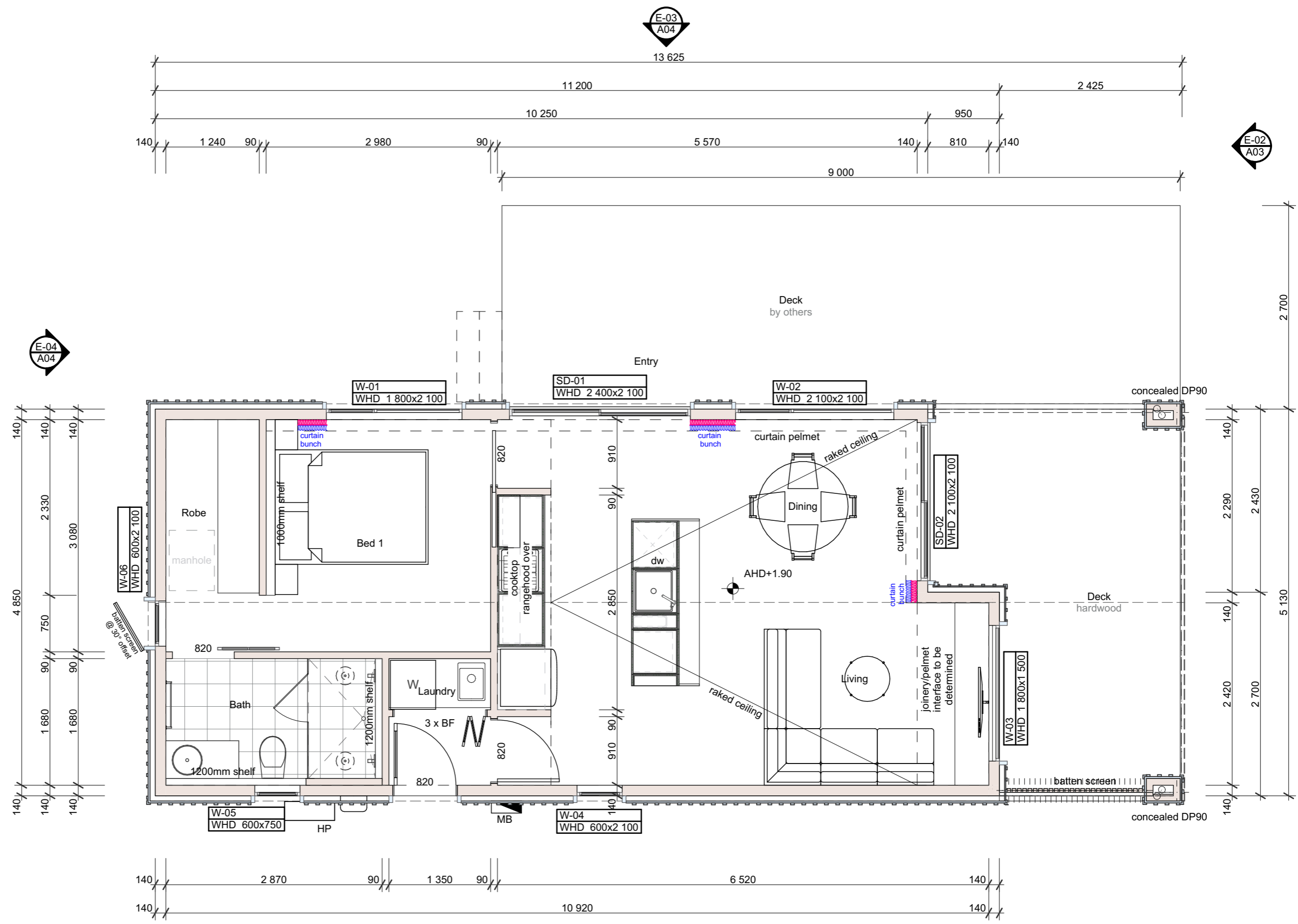
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 PROJECT NUMBER: T212

DRAWN BY:
 MP

CHECKED BY:
 MP

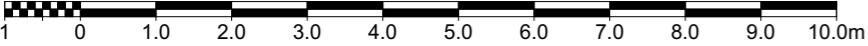
DATE:
 Tuesday, 21 April
 2026

CBOS: 964058515



Proposed Floor Plan
 Scale 1:50 @A3

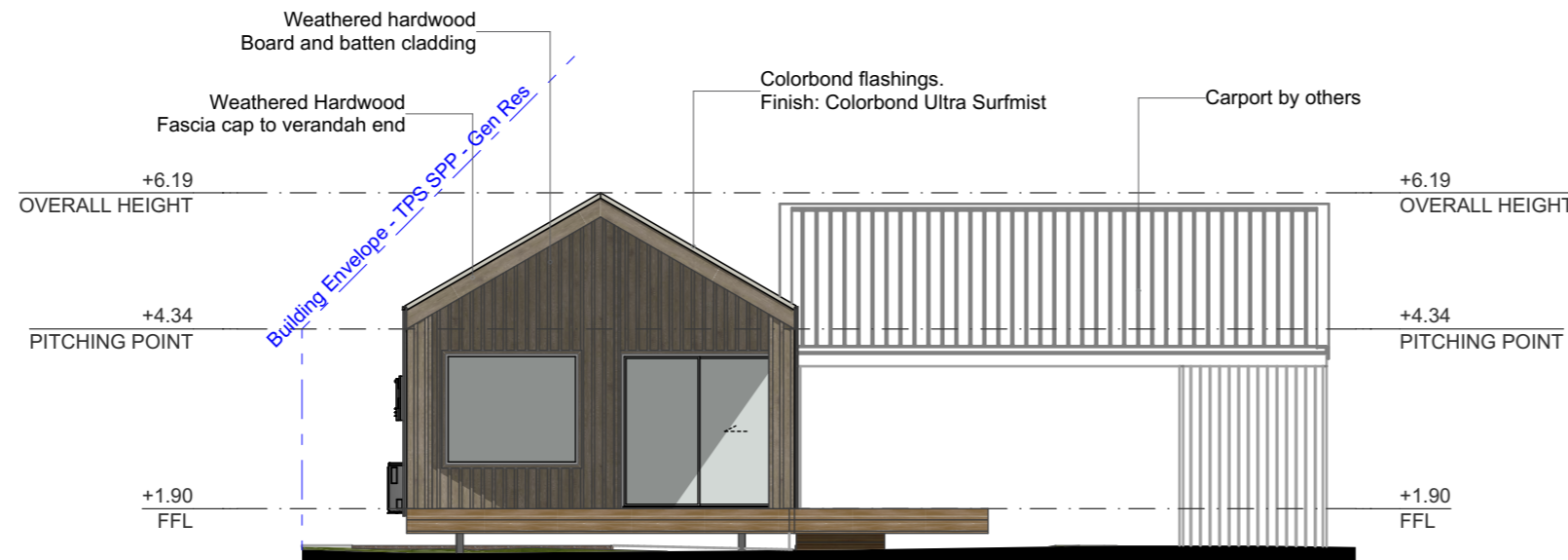
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Scale 1:100 


NOTE:
Heights indicated on elevation storey levels are shown to the Australian Height Datum (AHD).



E-01 South Elevation
A02 Scale 1:100 @A3



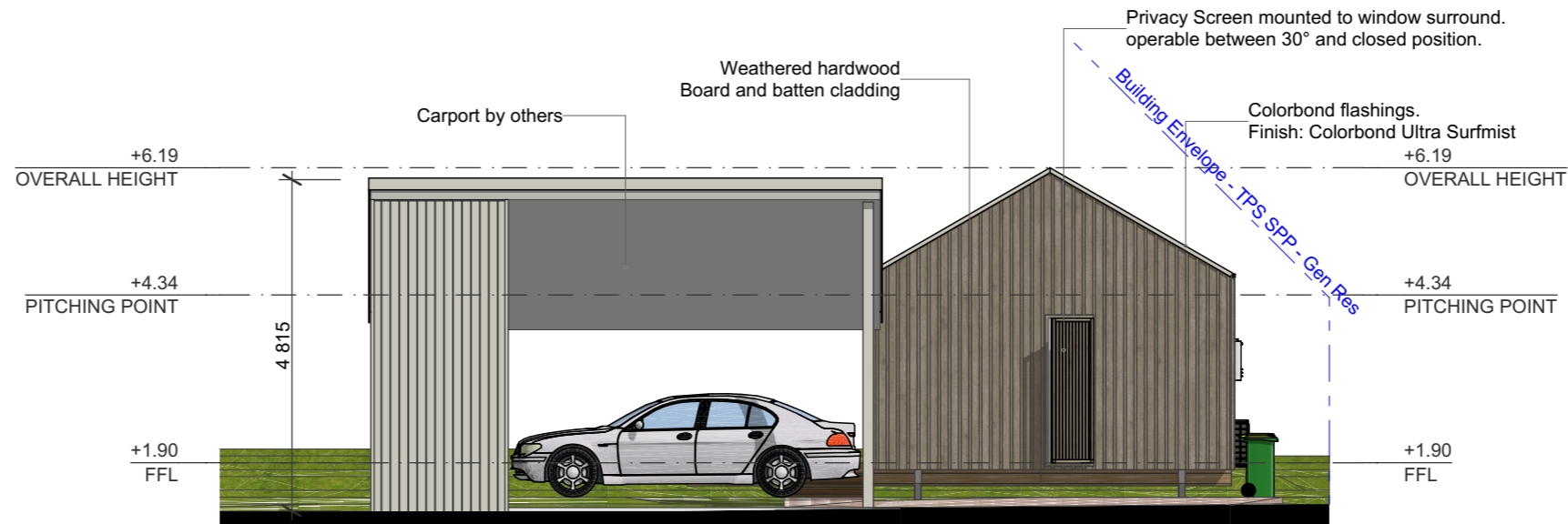
E-02 East Elevation
A02 Scale 1:100 @A3

PROJECT NUMBER: T212		ISSUE LIST		PROJECT		A03	NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERRED OVER SCALED DIMENSIONS. DISCREPANCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.
 SPECTURA STUDIO www.spectura.com.au P: 0423 250 079 E: admin@spectura.com.au QBCC: 15158346 BDA&T: 6521	DRAWN BY:	No.	DESCRIPTION	DATE	Proposed Demountable Cabin		
	CHECKED BY:	SK1	CONCEPT DEVELOPMENT	19/08/2025	PROJECT ADDRESS: 180671/1 11 Scamander Avenue Scamander TAS 7215	ELEVATIONS	
	MP	SK2	CONCEPT DEVELOPMENT	8/09/2025			
	MP	SK3	CONCEPT FINALISATION	18/12/2025			
	DATE:	A	Development Application	10/02/2026	CLIENT	SCALE: 1:100	PROJECT NUMBER: T212
Tuesday, 21 April 2026				Charlie Edis			
CBOS: 964058515							


NOTE:
Heights indicated on elevation storey levels are shown to the Australian Height Datum (AHD).

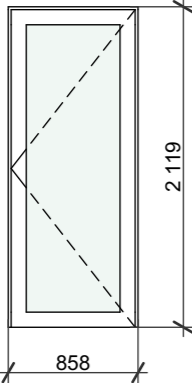
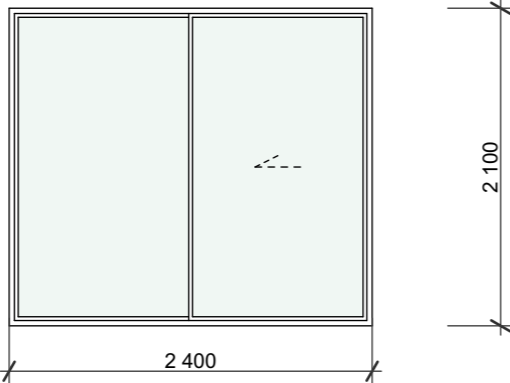
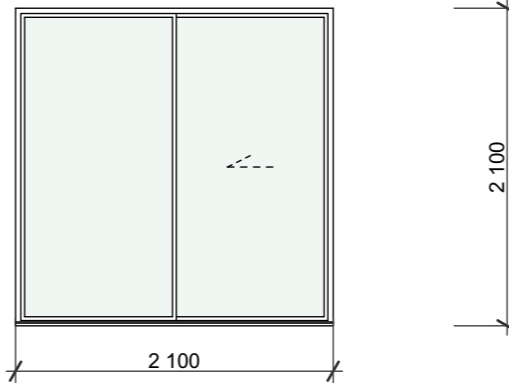
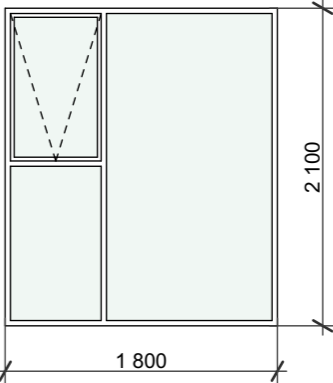


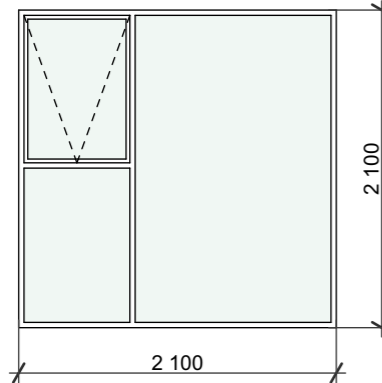
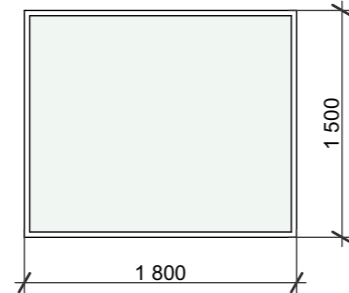
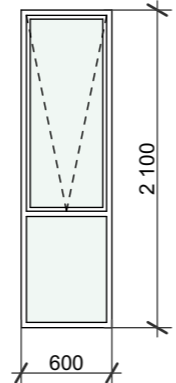
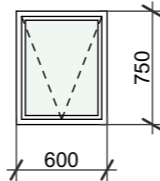
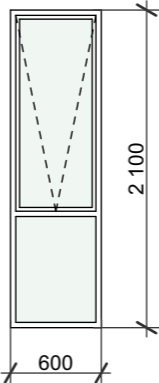
E-03 North Elevation
#LayID Scale 1:100 @A3




E-04 West Elevation (Street Frontage)
#LayID Scale 1:100 @A3

PROJECT NUMBER: T212		ISSUE LIST		PROJECT	A04	NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERENCED OVER SCALED DIMENSIONS. DISCREPANCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.
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	MP	SK3	CONCEPT FINALISATION	18/12/2025	180671/1	
	CHECKED BY:	A	Development Application	10/02/2026	11 Scamander Avenue Scamander TAS 7215	
	MP				CLIENT	
DATE:					ELEVATIONS 2	
Tuesday, 21 April 2026					SCALE: 1:100	
CBOS: 964058515					PROJECT NUMBER: T212	

GLAZING SCHEDULE				
WINDOW ID	ID01	SD-01	SD-02	W-01
NOMINAL HEIGHT	2 100	2 100	2 100	2 100
NOMINAL WIDTH	820	2 400	2 100	1 800
HEAD HEIGHT	0	2 100	2 100	2 100
FRAME				
GLAZING				
WINDOW AREA	1.72	5.04	4.41	3.78
ELEVATION VIEW (internal)				
DETAILS				Bedroom Window

GLAZING SCHEDULE						
WINDOW ID	W-02	W-03	W-04	W-05	W-06	
NOMINAL HEIGHT	2 100	1 500	2 100	750	2 100	
NOMINAL WIDTH	2 100	1 800	600	600	600	
HEAD HEIGHT	2 100	2 100	2 100	2 100	2 100	
FRAME						
GLAZING						
WINDOW AREA	4.41	2.70	1.26	0.45	1.26	25.03 m ²
ELEVATION VIEW (internal)						
DETAILS						

PROJECT NUMBER: T212		ISSUE LIST		PROJECT		A05		NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERRED OVER SCALED DIMENSIONS. DISCREPANCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.
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	DATE: Tuesday, 21 April 2026		A	Development Application	10/02/2026	180671/1 11 Scamander Avenue Scamander TAS 7215		
	CBOS: 964058515					CLIENT Charlie Edis		
						SHEET SIZE A3		
						DOOR / WINDOW SCHEDULE		
						SCALE: PROJECT NUMBER: T212		

Note:
External windows and glazed doors to comply with AS2047:2014 - Windows & external glazed doors in buildings

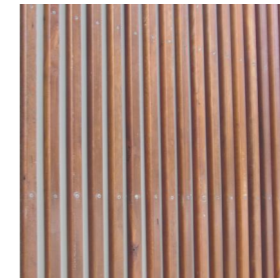
Note:
Glazing to comply with AS1288-2021 - Glass in Buildings



External Finishes



Hardwood Board & Batten Cladding



Hardwood Batten Screen
Privacy Screens
Shade Awnings



Colorbond Surfmist
Roof sheeting
Flashings
Carport



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PROJECT

Proposed Demountable Cabin

PROJECT ADDRESS:

180671/1
11 Scamander Avenue Scamander TAS
7215

CLIENT

Charlie Edis

SHEET SIZE A3

A06

FINISHES SCHEDULE

SCALE:

PROJECT NUMBER: T212



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QBCC: 15158346
BDA&T: 6521

DRAWN BY:
MP
CHECKED BY:
MP
DATE:
Tuesday, 21 April
2026
CBOS: 964058515

Proposed Single Dwelling

11 Scamander Avenue
Scamander
TAS 7215



February 2026
RFI 21/04/26



SPECTURA STUDIO
6 Sunrise Court Scamander
info@spectura.com.au
0423 250 079
www.spectura.com.au



Subject site & locality

1.0 Introduction

This planning scheme response supports the development application for the proposed single dwelling and carport, to be located at 11 Scamander Avenue, Scamander. The proposed development is situated within the General Residential Zone as defined in the Tasmanian Planning Scheme - State Planning Provisions (SPP).

This document's coverage is for the Performance Criteria clauses in the SPP relevant to the related Development Application.

2.0 Project Description

The project involves the construction/installation of a single dwelling and carport on a currently vacant lot.

3.0 Planning Assessment

The following planning items listed rely on performance criteria. If a clause is not listed below, it is due to the proposed development being seen as meeting planning scheme provisions by means of the acceptable solutions relating to that clause.

3.2 Compliance with Overlay Codes

C2.0 Parking and Sustainable Transport Code

- **C2.6.1 – Construction of Parking Areas**

A1 - All parking, access ways, manoeuvring and circulation spaces must:

- (a) be constructed with a durable all-weather pavement;
- (b) be drained to the public stormwater system, or contain stormwater on the site; and
- (c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.

P1 - All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- (a) the nature of the use;
- (b) the topography of the land;
- (c) the drainage system available;
- (d) the likelihood of transporting sediment or debris from the site onto a road or public place;
- (e) the likelihood of generating dust; and
- (f) the nature of the proposed surfacing.

Response:

The proposed car park is to be concrete, with parking access (driveway) to be crushed rock (gravel) which is viewed as a durable all-weather pavement when constructed correctly. In response to P1:

- (a) The use as a residence is low impact and low traffic, a gravel driveway is seen as an appropriate provision.
- (b) The proposed driveway is set out over relatively flat land. The driveway grade is to be in compliance with AS2890 / LGAT Standard Drawings for urban driveways which will allow for appropriate settlement and usage with the designated pavement.
- (c) The permeable nature of the proposed driveway allows for sufficient drainage to take place, with minimal change to existing conditions.
- (d) The topography of the site slopes away from the road, with ample space for provision of drainage/catchment of sediment/debris on-site, with the proposed location of the driveway seen as a stable and sufficient substrate for a crushed rock driveway, with sediment transportation onto the road not anticipated.
- (e) The low traffic use of the driveway is not seen as causing an impact in regard to dust generation – As is seen in adjacent driveways in Scamander Avenue.
- (f) As also seen with precedence in Scamander Avenue – gravel driveways and parking spaces are an appropriate surface capable of handling the traffic anticipated from a single dwelling.

C7.0 Natural Assets Code

Waterway and Coastal Protection Area

Addressed via development standards for building and works in the following subsection.

C7.6 Development Standards for Buildings and Works

C7.6.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area

A1

Buildings and works within a waterway and coastal protection area must:

- (a) be within a building area on a sealed plan approved under this planning scheme;
- (b) in relation to a Class 4 watercourse, be for a crossing or bridge not more than 5m in width; or
- (c) if within the spatial extent of tidal waters, be an extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway that is not more than 20% of the area of the facility existing at the effective date.

P1.1

Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:

- (a) impacts caused by erosion, siltation, sedimentation and runoff;
- (b) impacts on riparian or littoral vegetation;
- (c) maintaining natural streambank and streambed condition, where it exists;
- (d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;
- (e) the need to avoid significantly impeding natural flow and drainage;
- (f) the need to maintain fish passage, where known to exist;
- (g) the need to avoid land filling of wetlands;
- (h) the need to group new facilities with existing facilities, where reasonably practical;
- (i) minimising cut and fill;
- (j) building design that responds to the particular size, shape, contours or slope of the land;
- (k) minimising impacts on coastal processes, including sand movement and wave action;
- (l) minimising the need for future works for the protection of natural assets, infrastructure and property;
- (m) the environmental best practice guidelines in the *Wetlands and Waterways Works Manual*; and
- (n) the guidelines in the *Tasmanian Coastal Works Manual*.

P1.2

Buildings and works within the spatial extent of tidal waters must be for a use that relies upon a coastal location to fulfil its purpose, having regard to:

- (a) the need to access a specific resource in a coastal location;
- (b) the need to operate a marine farming shore facility;
- (c) the need to access infrastructure available in a coastal location;
- (d) the need to service a marine or coastal related activity;
- (e) provision of essential utility or marine infrastructure; or
- (f) provisions of open space or for marine-related educational, research, or recreational facilities.

Response:

P1.1

The proposed building and works is to be undertaken on a residential allotment with existing infrastructure in place to handle the scale of the development without impacting the natural assets by means laid forth in P1.1.

There is no cut and fill to be undertaken and the building design is a response to the existing site conditions with consideration shown in regards to the surrounding natural environment. It is in similar scale to existing surrounding approved developments and the impact upon the site and surrounds from the proposed works is negligible.

N/A

A3

Development within a waterway and coastal protection area or a future coastal refugia area must not involve a new stormwater point discharge into a watercourse, wetland or lake.

Response:

The proposed stormwater management involves capturing stormwater and feeding into the existing infrastructure already available on site.

A4

Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area.

Response:

N/A

A5

Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.

Response:

N/A

BRE-S2.7 Development Standards for Buildings and Works

BRE-S2.7.1 Stormwater Management

Objective: That development provides for adequate stormwater management.

A1

Development must be:

- (a) capable of connecting to the public stormwater system; or
- (b) permitted by the General Manager to discharge stormwater to a system other than the public stormwater system.

A1

The proposed stormwater management involves capturing stormwater and feeding into the existing infrastructure already available on site.

4.0 Conclusion

The proposed residential development at 11 Scamander Avenue, Scamander, is seen as complying with the relevant provisions of the Tasmanian Planning Scheme for the General Residential Zone and applicable Code Overlays. The design and layout of the site have been carefully considered to ensure compatibility with the surrounding area and to meet the objectives of the zone.

We respectfully request that the planning authority grant approval for this development application.

Thank you,



Matthew Purves
Spectura Studio
CBOS Tas: 964058515