

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00127
Applicant	Design To Live
Proposal	Community Meeting & Entertainment - Part Change of Use From Food Services to Art & Craft Centre
Location	167 Scamander Avenue, Scamander (CT 12619/4)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 18th July 2026 **until 5pm Friday 31st July 2026**.

John Brown
GENERAL MANAGER



PART CHANGE OF USE FROM FOOD SERVICES TO ARTS & CENTRE
167 SCAMANDER AVENUE,
SCAMANDER, 7215.

DRAWING #	DRAWING
SCM167-1	COVER PAGE
SCM167-2	SITE PLAN
SCM167-3	FLOOR PLAN
SCM167-4	EXTERNAL SERVICES
SCM167-5	ELEVATIONS

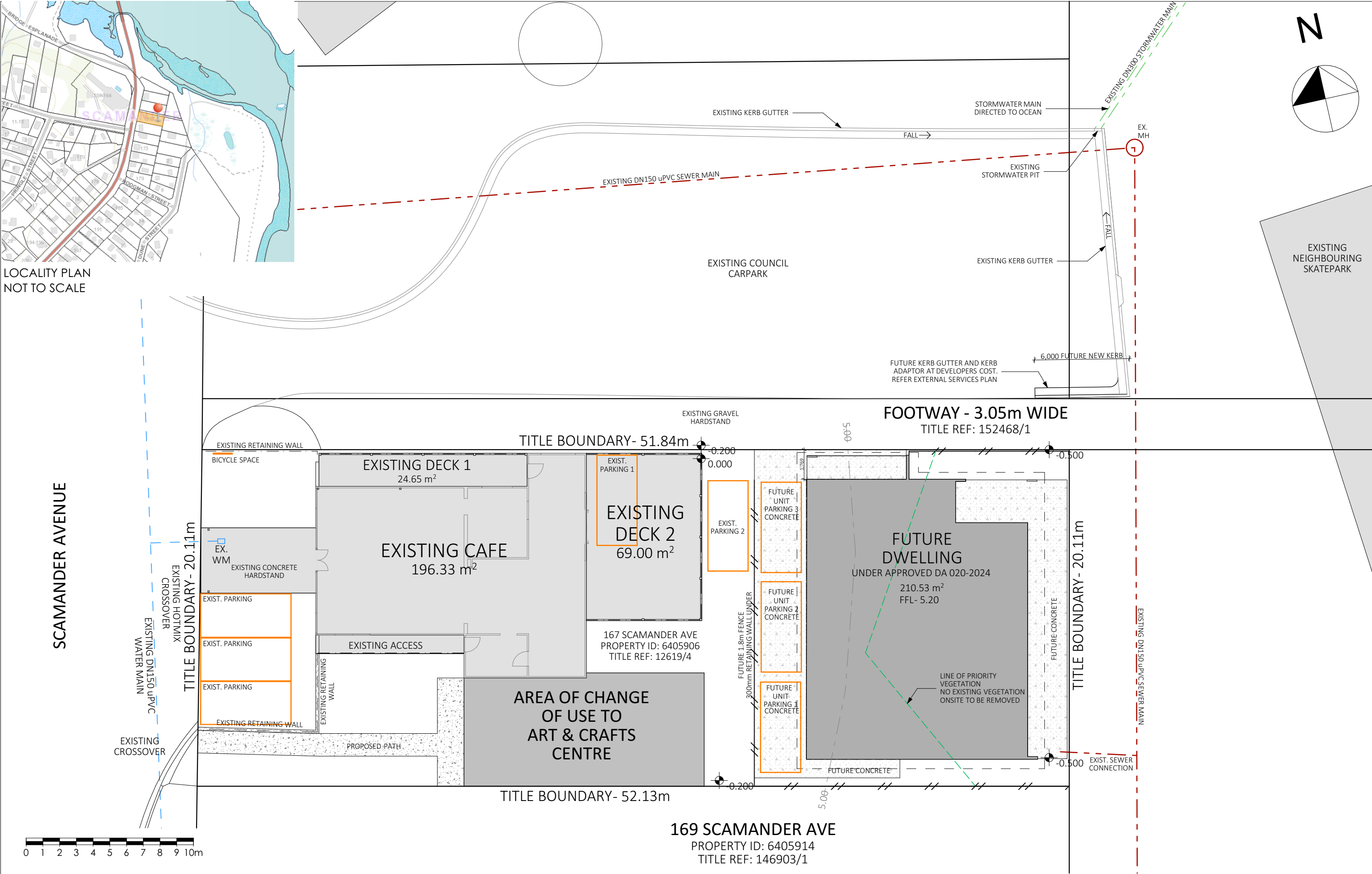
BUILDING CLASSIFICATION
CLASS 6 - EXISTING CAFE & ART STUDIO
CLASS 1 - FUTURE DWELLING

COUNCIL	ZONE	ENERGY STAR RATING	TBC
BREAK O'DAY (m²)	GENERAL RESIDENTIAL	BAL RATING	N/A
EXISTING CAFE 196.33	LAND TITLE REFERENCE 12619/4	DESIGN WIND CLASS	N3
FUTURE DWELLING 210.53	PROPERTY ID 6405906	SOIL CLASSIFICATION	P / S
EXISTING DECK 2 69.00	LOT SIZE (M²) 1057	CLIMATE ZONE	7
EXISTING DECK 1 24.65	CORROSIVE ENVIRONMENT SEVERE	ALPINE AREA	N/A
EXISTING ACCESS 9.75	SITE HAZARDS N/A	PLANNING OVERLAY	STORMWATER MANAGEMENT, PRIORITY VEGETATION
ARTS & CRAFTS CENTRE 95.03			

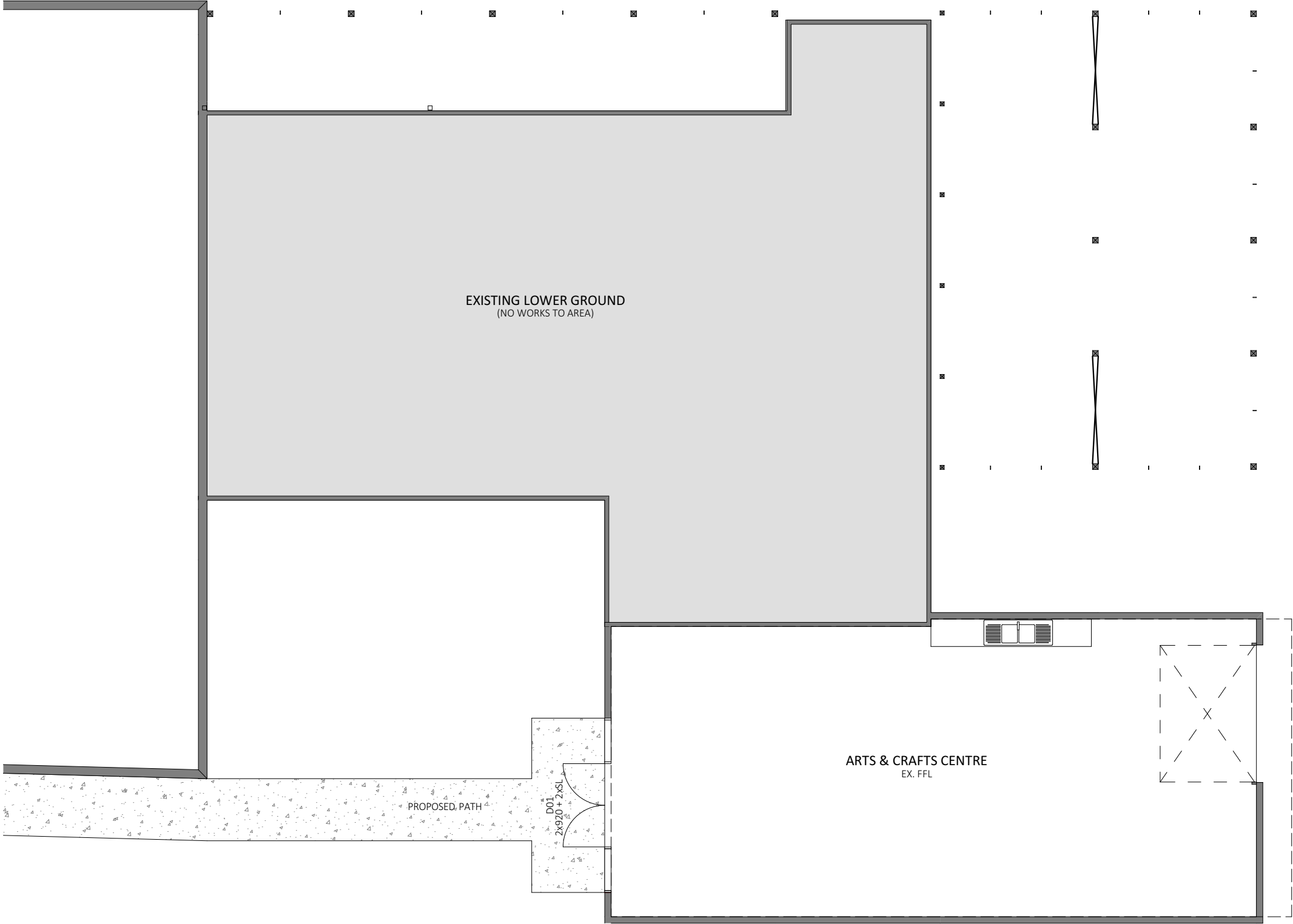
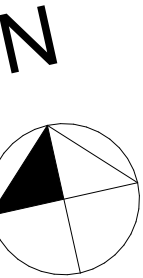
	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: PETER AND ANNE ROUTLEY	SITE ADDRESS: 167 SCAMANDER AVENUE, SCAMANDER, 7215.	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: DATE: SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	SCM167
							R1	05/05/2026	CLIENT REVIEW				
							R2	25/05/2026	FOR DA	DRAWN	D.P	DRAWING	1/5
										CHECKED	M.L.	SCALE (@A3)	NTS



LOCALITY PLAN
NOT TO SCALE



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									R1	05/05/2026	CLIENT REVIEW	DRAWN	D.P	DRAWING	2/5
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**DRAWING
FLOOR PLAN**

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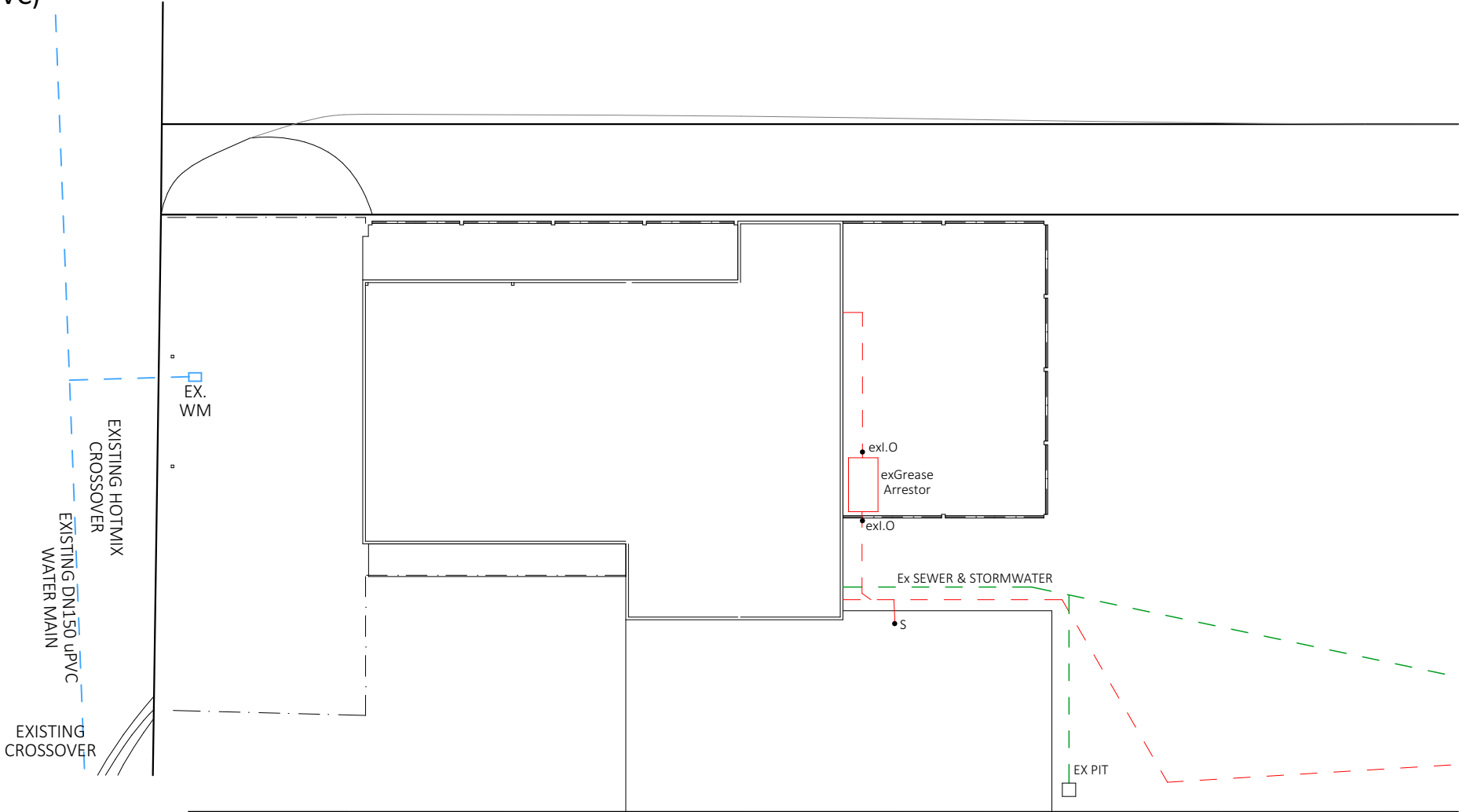
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	SCM167
R1	05/05/2026	CLIENT REVIEW	DRAWN	D.P	DRAWING	3/5
R2	25/05/2026	FOR DA				
			CHECKED	M.L.	SCALE (@A3)	1:100

- LEGEND**
- B - BASIN
 - Ba - BATH
 - S - SINK (65Ø)
 - T - LAUNDRY TUB (65Ø)
 - SH - SHOWER
 - WC - WATER CLOSET
 - FW - FLOOR WASTE
 - EV - VENT (THROUGH TO ROOF)
 - FWG - FLOOR WASTE GULLY
 - IO - INSPECTION OPENING
 - ORG - O/FLOW RELIEF GULLY
 - RE - RODDING EYE
 - HW - HOT WATER CYLINDER
 - X - EXTERNAL TAP
 - P - DRAINAGE PIT (450 x 450mm)
 - DP - DOWNPIPE (90 Ø)
 -  - WET AREAS
 -  - STORMWATER LINE (100mm PVC)
 -  - SEWER LINE (100mm PVC)



ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.



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DRAWING
EXTERNAL
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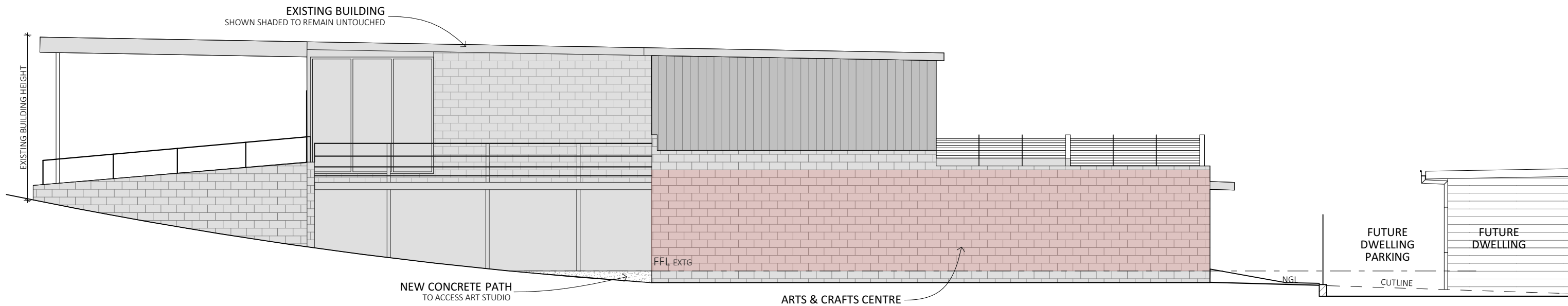
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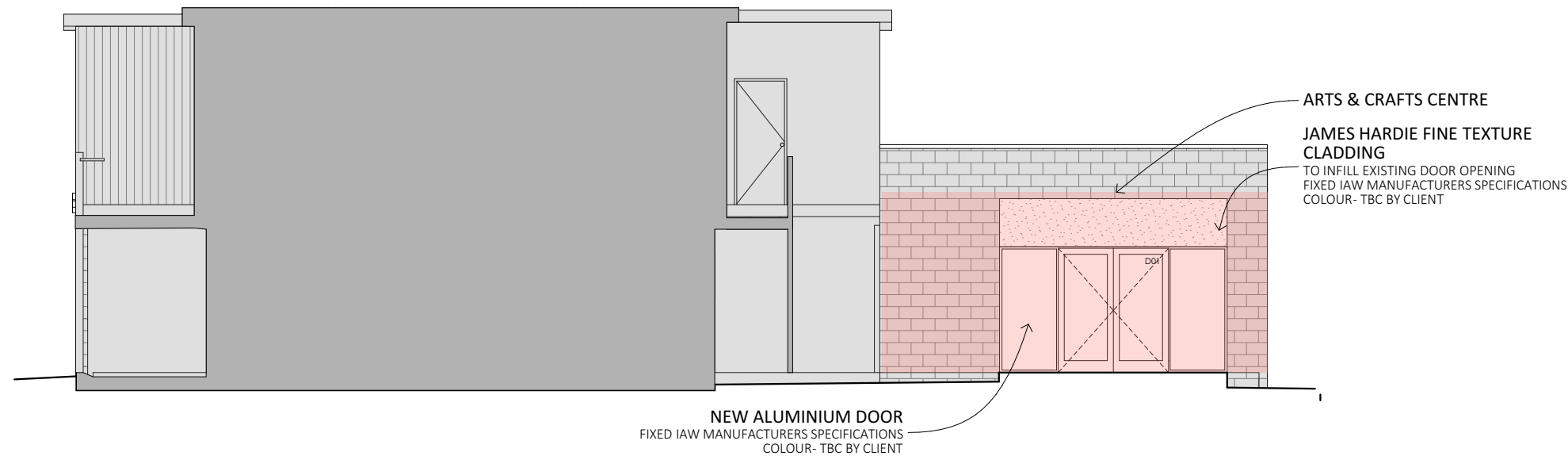
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SOUTHERN ELEVATION



WESTERN ELEVATION



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Mail: 202 Wellington Street, South Launceston 7249

13 July 2026

A.B.N: 71 615 812 747

Phone: 6344 7319

Email: info@designtolive.com.au

Planning Application Cover Letter

Development: Part Change of Use from Food Services to Arts & Crafts Centre

Address: 167 Scamander Avenue

Council: Break O'Day

Zone: General Residential

Please find below further information for the proposed Development at the above address.

Use Description – Arts & Crafts Centre Table 3.1:

The proposed arts & crafts centre will be used to predominately manufacture & produce artwork with 1 Artist onsite.

Workshops will be 1-5 participants.

Facilities will be shared with the Cafe

8.3.1 Discretionary Uses

A1) Hours will be within the acceptable solution of 8am – 6pm

A2) Any external lighting will be baffled and not operate between 7pm & 7am

A3) No expected commercial movements, however if required will be between 7am – 7pm Mon-Friday & 9am to 12pm on Saturday

Signage:

None Proposed

C3.5.1 Traffic Generation

A1.4) Anticipated vehicular traffic of vehicle crossing while not increase by more than table 3.1

C2.5.1 Parking Numbers

The Existing Area of the Café to be utilised as the Art & Crafts Centre is 95.03m² and under its current use for that area requires 1 Space per 15m² of Floor area equalling 6.33 Parking spaces in Table C2.1 requirements.

The proposed Arts & Crafts Centre requires 1 Space per 30m² of Floor area equalling 3.16 Parking Spaces in Table C2.1 requirements.

The Proposal is Decreasing the amount of onsite parking required by 3 spaces therefore bringing the overall site closer to compliance.

BRE-S2.0 Stormwater management Specific Area Plan:

No Proposed works – Only internal works to existing building footprint.

Regards,

Dyllan Penney