

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00047
Applicant	A Beswick
Proposal	Residential - Additions and Alteration to Existing Dwelling and Extension to Existing Outbuilding
Location	104 Main Road, Binalong Bay (CT 240588/5)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 29th August 2026 **until 5pm Friday 11th September 2026.**

John Brown
GENERAL MANAGER

DRAWING SCHEDULE

A000	COVER PAGE	C
A101	SITE PLAN	C
A201	FLOOR PLAN	C
A202	UPPER FLOOR - DEMOLITION	C
A203	UPPER FLOOR PLAN	C
A301	ELEVATIONS #1	C
A302	ELEVATIONS #2	C
A401	ROOF PLAN - PROPOSED	C
A601	3D PERSPECTIVE #1	C
A602	3D PERSPECTIVE #2	C
A603	3D PERSPECTIVE #3	C
A604	3D PERSPECTIVE #4	C

PROJECT INFORMATION

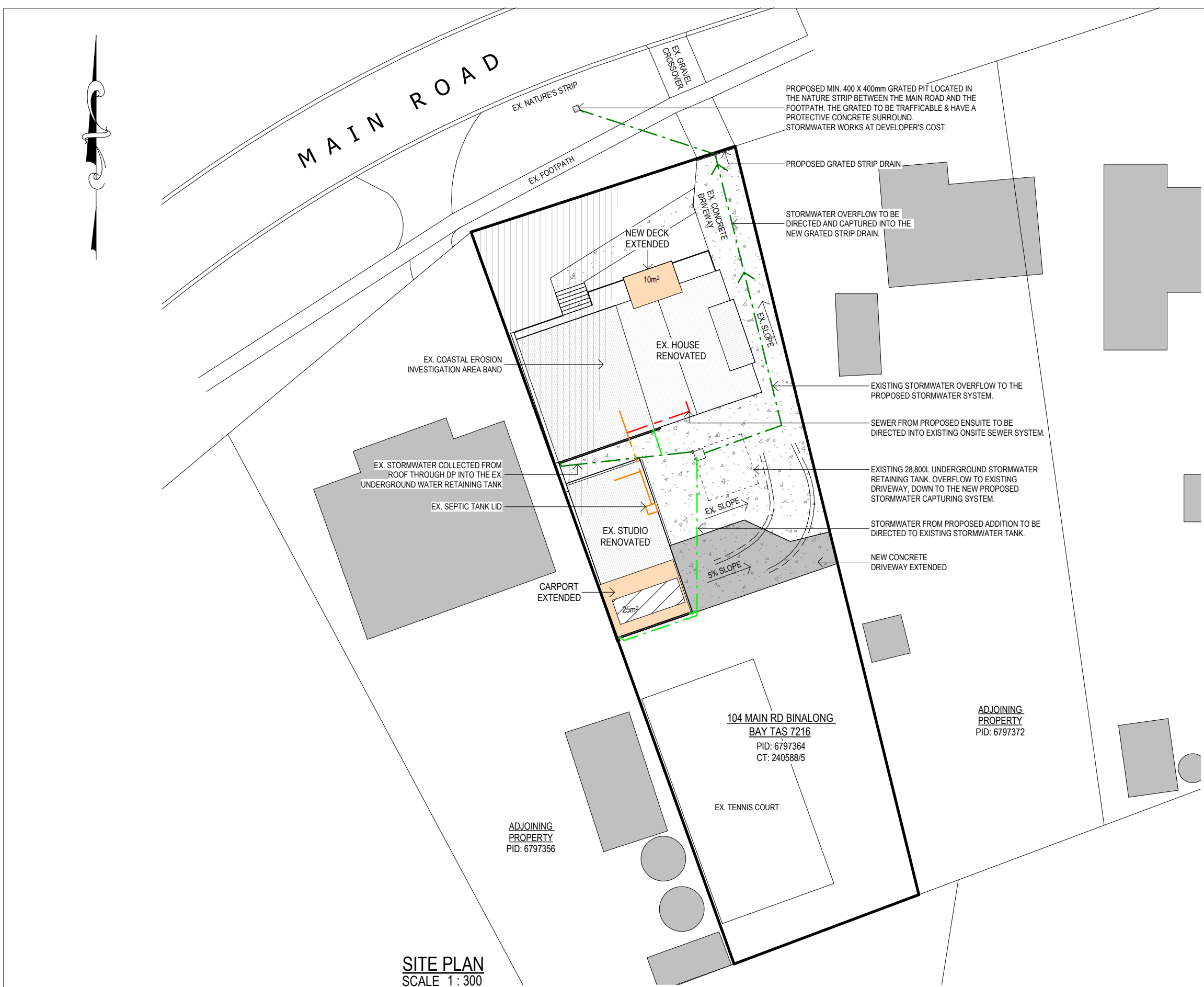
BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	LOW DENSITY RESIDENTIAL
BUILDING CLASS:	CLASS 1A
LAND TITLE REFERENCE NUMBER:	240588/5
DESIGN WIND SPEED:	ASSUMED N3
SOIL CLASSIFICATION:	ASSUMED H1
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	TBA
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	MEDIUM
FLOODING:	NO
LANDSLIP:	N/A
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

PROPOSED DWELLING

L. MALECKY
104 MAIN RD,
BINALONG BAY TAS 7216

BREAK O'DAY COUNCIL

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Area Schedule	
Name	Area
DWELLING	114 m ²
VERANDAH	41 m ²
STUDIO	17 m ²
CARPORT	42 m ²
Grand total	214 m ²

SITE AREA - 1075m²
BUILT AREA - 214m² (19%)
DRIVEWAY - 267m² (24%)
TENNIS COURT - 162m² (15%)

NOTE:
THE ENTIRETY OF THE PROPERTY LOT
SITS WITHIN BUSHFIRE PRONE AREAS
AND PRIORITY VEGETATION AREA

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO
AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL
AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF
NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE
CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO NEW
STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

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BAY TAS 7310

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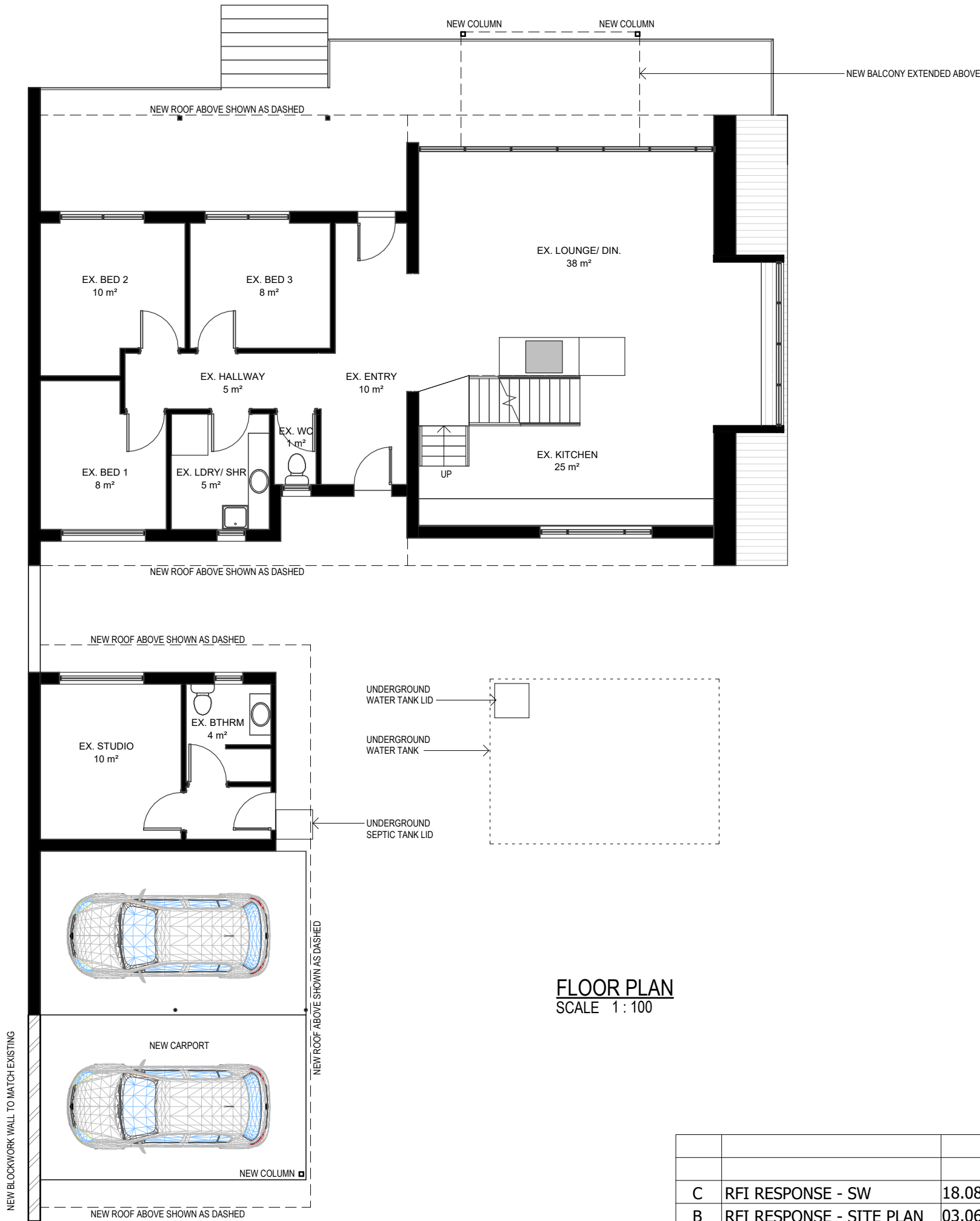
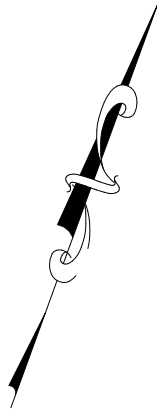
Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No:
EP2025-89 A101 / A11

Rev
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NOTE:
ALL WORKS ARE TO COMPLY WITH BUT NOT LIMITED TO THE LATEST NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, A RELEVANT REPORT WILL BE PRESENTED. MEASUREMENTS INDICATED ON DRAWINGS ARE CLEAR DIMENSIONS TO STRUCTURAL FRAMELINE AND DO NOT INCLUDE PLASTERBOARD LININGS OR INTERNAL FINISHES. UNLESS OTHERWISE STATED, ALL PROPOSED INTERNAL WALLS ARE SHOWN AS STRUCTURAL STUDS ONLY.
BUILDER IS TO VERIFY ALL INTERNAL WIDTHS AND CLEARANCES PRIOR TO CONSTRUCTION TO ENSURE STRICT COMPLIANCE WITH CURRENT NCC STANDARDS. SPECIAL ATTENTION MUST BE GIVEN TO MINIMUM CLEAR WIDTHS FOR ACCESSIBLE CORRIDORS, DOORWAYS, AND SANITARY COMPARTMENT REQUIREMENTS.
BUILDERS MUST VERIFY ALL MEASUREMENTS, SERVICES, MATERIALS, AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS OR DISCREPANCIES FOUND. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS. DO NOT PROCEED WHERE DISCREPANCIES EXIST BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS. ENGINEERING PLUS DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION RESULTING FROM A FAILURE TO VERIFY SITE CONDITIONS OR ADHERE TO THE NCC STANDARDS MENTIONED ABOVE.

				Date Drawn: 06.03.26
				Drawn: R.A
				Checked: R.H
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
C	RFI RESPONSE - SW	18.08.26	R.A.	
B	RFI RESPONSE - SITE PLAN	03.06.26	R.A.	
A	RFI RESPONSE	08.04.26	R.A.	
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FLOOR PLAN
SCALE 1 : 100

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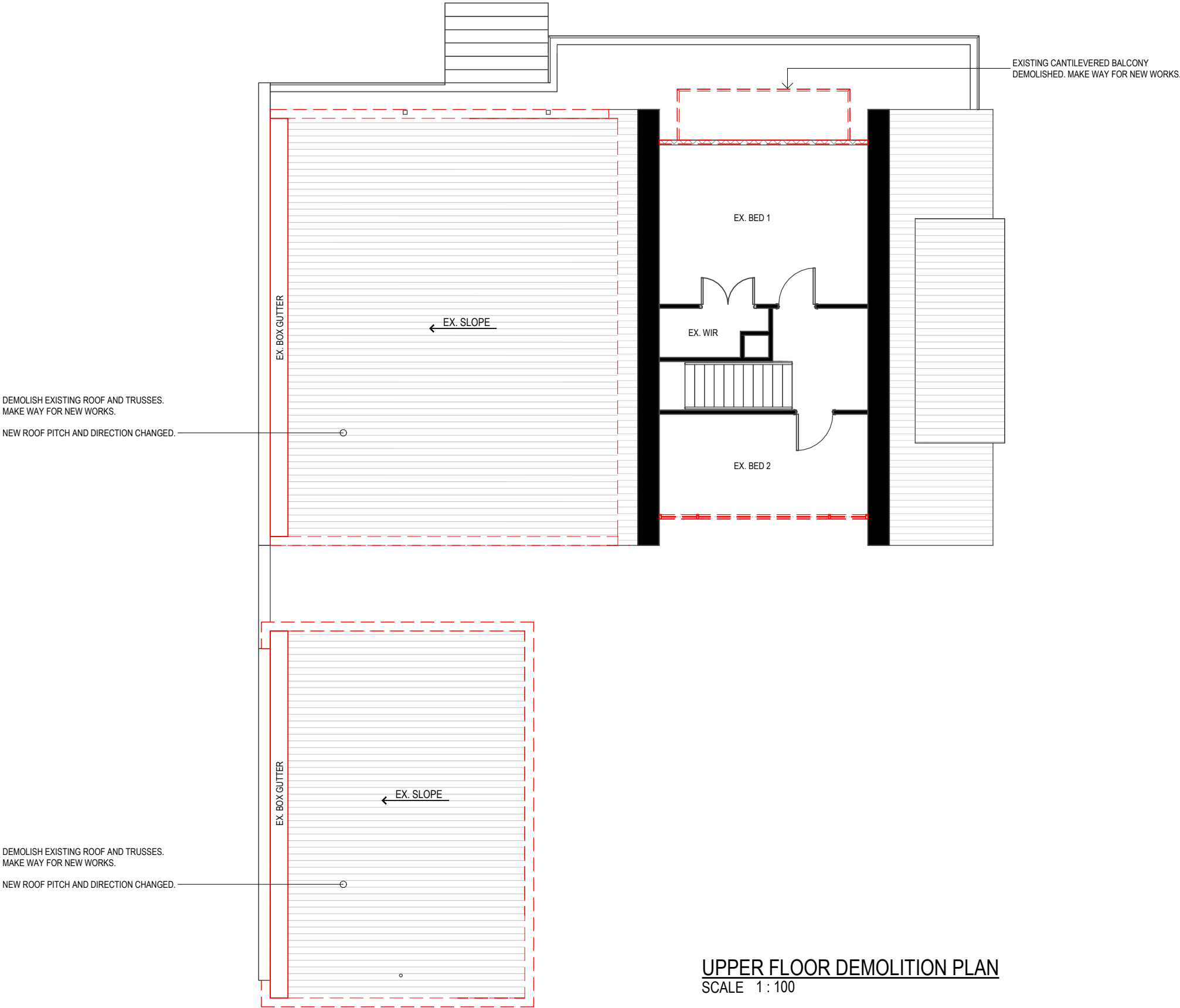
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Drawing No:
EP2025-89 A201 / A11

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- DEMOLISHED WALL
- DEMOLISHED
- EXISTING WALL
- EXISTING



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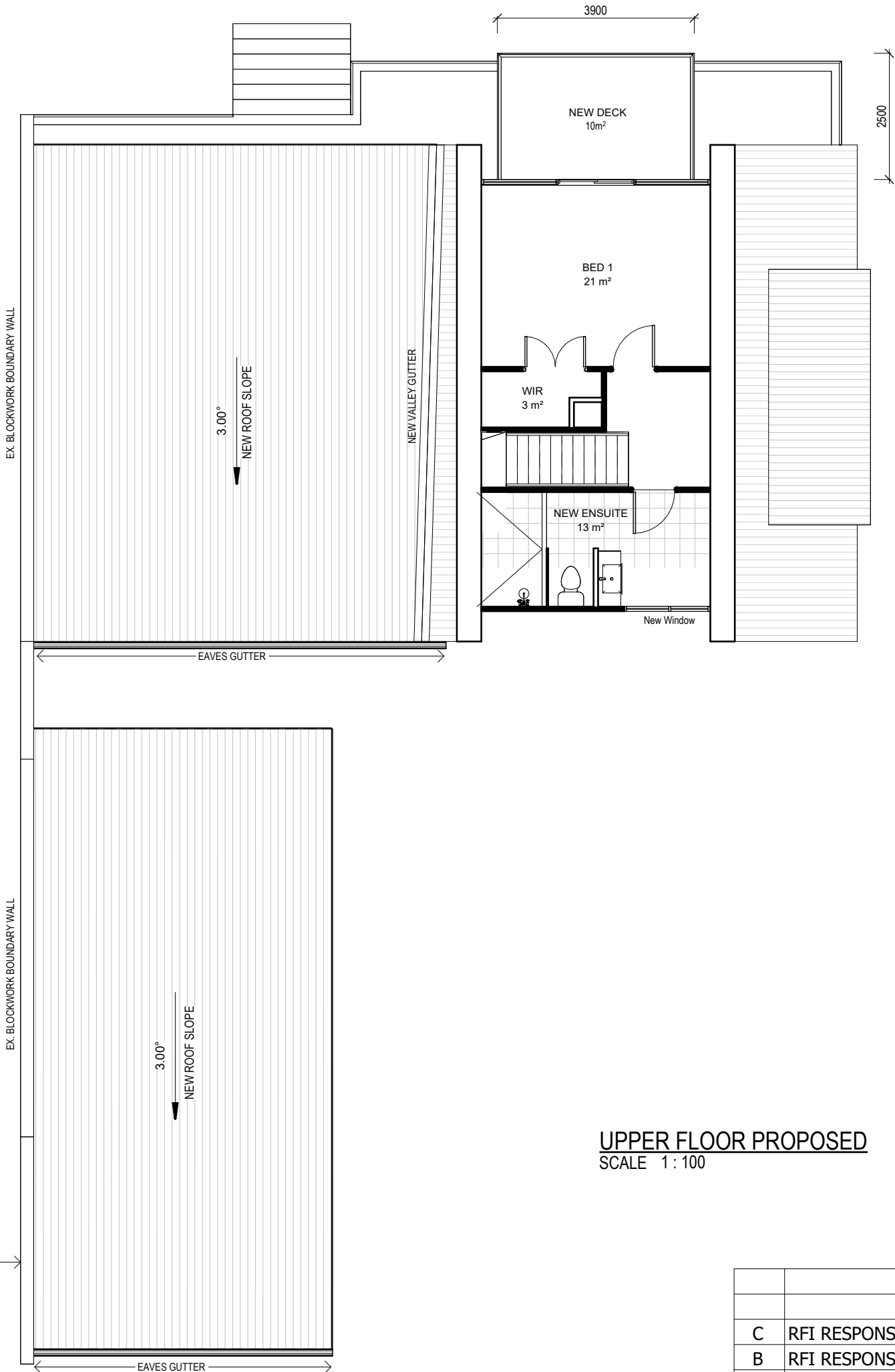
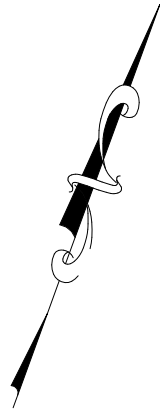
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BAY TAS 7310

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UPPER FLOOR PROPOSED
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Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No:
EP2025-89 A203 / A11

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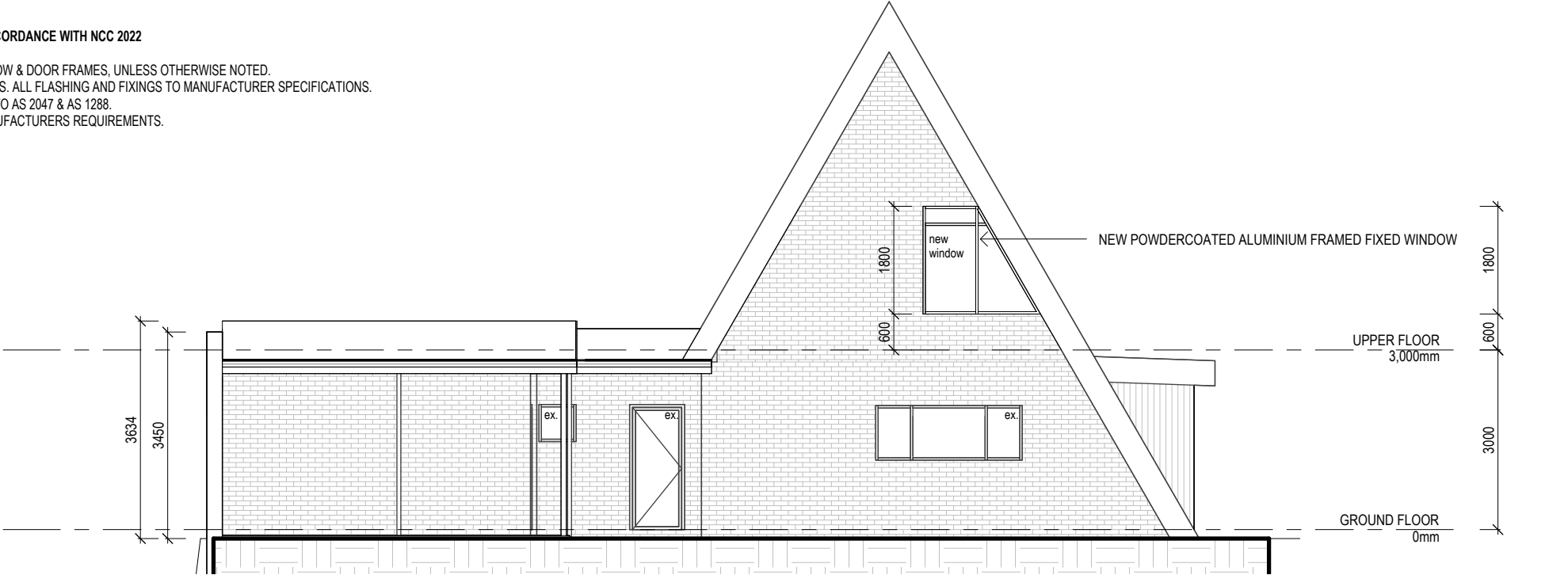
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EAVE & SOFFIT CONSTRUCTION IN ACCORDANCE WITH NCC 2022

- EAVE WIDTH - 600MM
SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

SELECTED ALUMINIUM FRAMED WINDOWSIN ACCORDANCE WITH NCC 2022

- POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
- TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURER SPECIFICATIONS.
- GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288.
- ALL FIXINGS AND FLASHING TO MANUFACTURERS REQUIREMENTS.



SOUTHERN ELEVATION
SCALE 1 : 100



NORTHERN ELEVATION
SCALE 1 : 100

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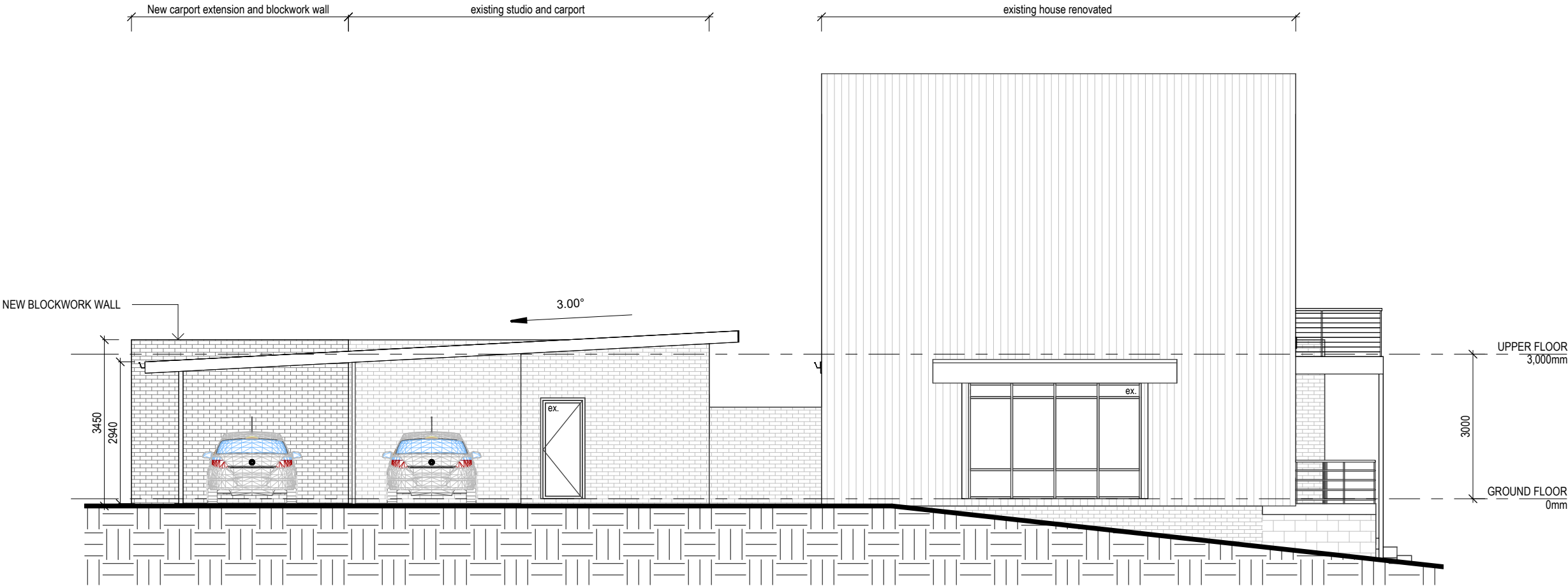
Drawing No: EP2025-89 A301 / A11
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EAVE & SOFFIT CONSTRUCTION IN ACCORDANCE WITH NCC 2022

- EAVE WIDTH - 600MM
SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

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- POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
- TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURER SPECIFICATIONS.
- GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288.
- ALL FIXINGS AND FLASHING TO MANUFACTURERS REQUIREMENTS.



EASTERN ELEVATION
SCALE 1 : 100

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Drawing No: EP2025-89 A302 / A11
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ROOF PLAN PROPOSED
SCALE 1 : 100

ROOF CLADDING

'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH, AS1562.1 AND MANUFACTURERS RECOMMENDATIONS.
COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH AS1562.1 AND MANUFACTURERS RECOMMENDATIONS.
REFER TO 'LYSAGHT' ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS AND FLASHING.
'TRIMDEK' 2-5 DEGREES - MINIMUM 250MM.

- MINIMUM PITCH 2 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC STANDARDS.
- END LAP OF SHEETS

'CUSTOM ORB' 5-15 DEGREES - MINIMUM 200MM.

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC STANDARDS.
- END LAP OF SHEETS

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILINGWEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.
RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS3566.

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
SELECTED IN ACCORDANCE WITH TABLES 7.4.3a TO 7.4.3c

OVERFLOW MEASURES
IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d

END STOP WEIR
100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
NOT SUITABLE WHEN END-STOP ABUTS WALL

INVERTED NOZZLE
INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP

FRONT FACE WEIR
200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
INSTALLED MIN. 25mm BELOW FASCIA TOP
RAINHEAD
75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES
IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b

FRONT FACE SLOTTED GUTTER
MIN SLOT OPENING 1200mm/ GUTTER m
LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP

CONTROLLED BACK GAP
PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
ONE PER BRACKET - MIN. 50mm WIDE
GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

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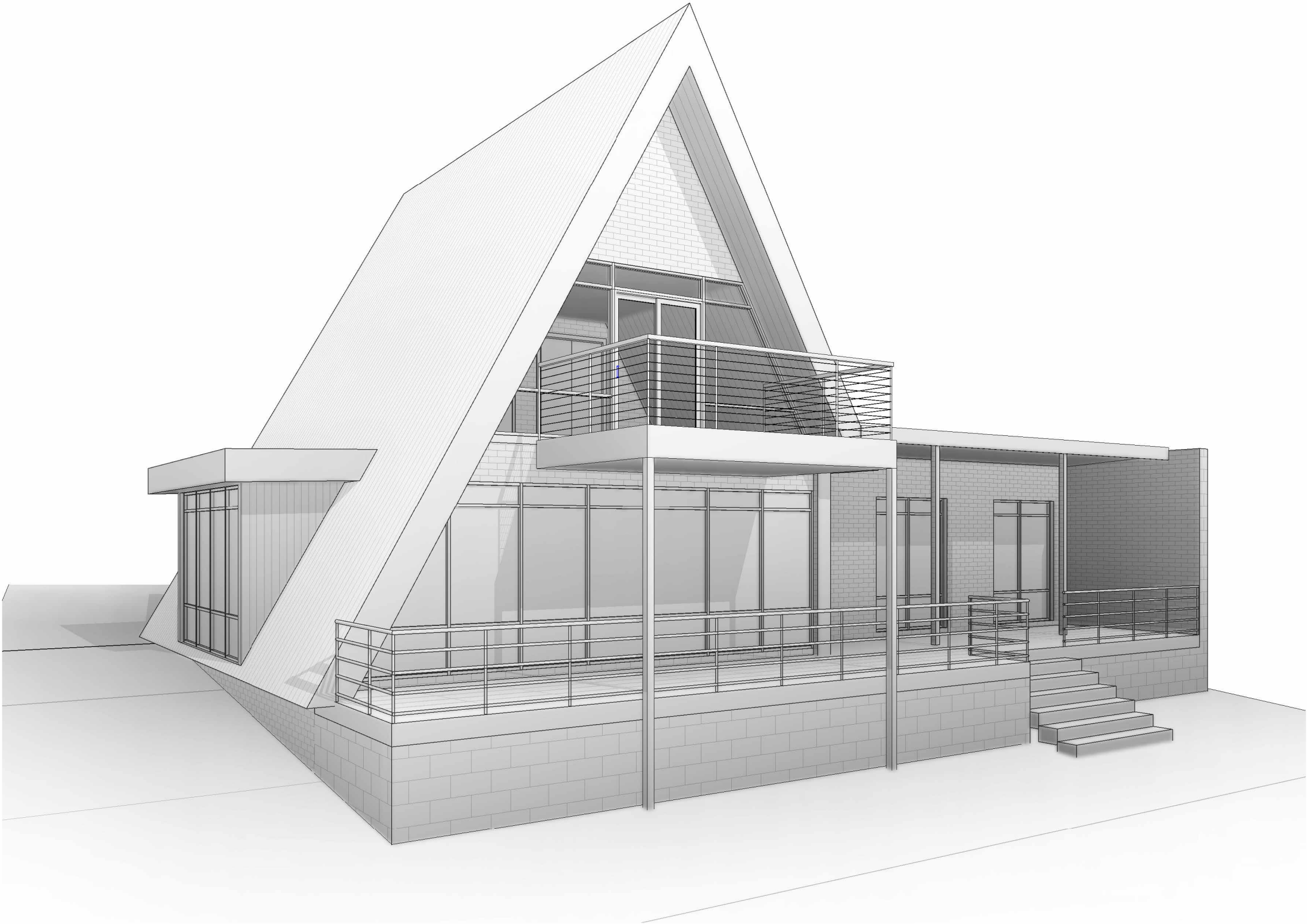
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				Approved: J. Pfeiffer
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Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No:
EP2025-89 A401 / A11

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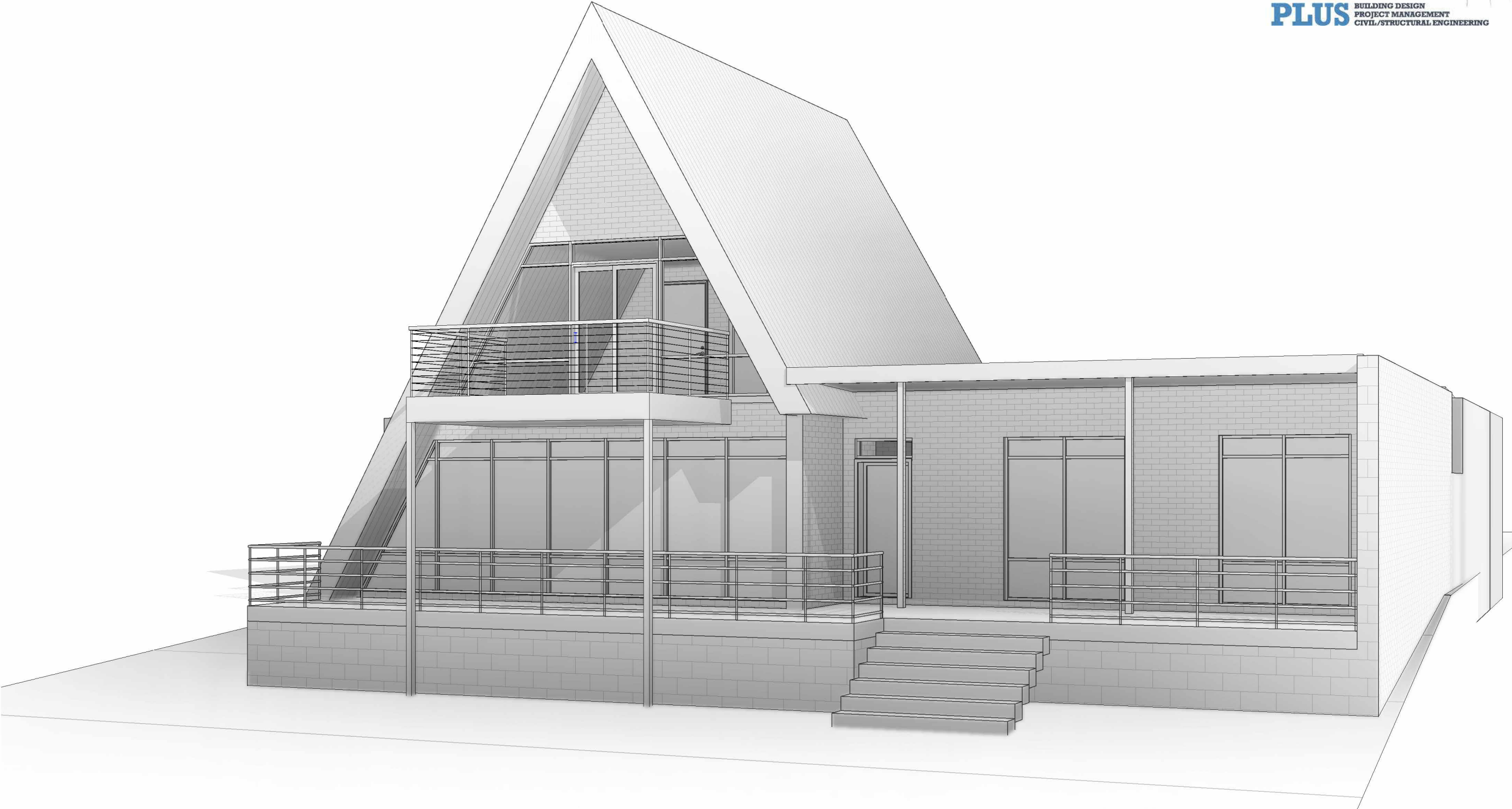
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Drawing No: EP2025-89 A602 / A11 Rev -



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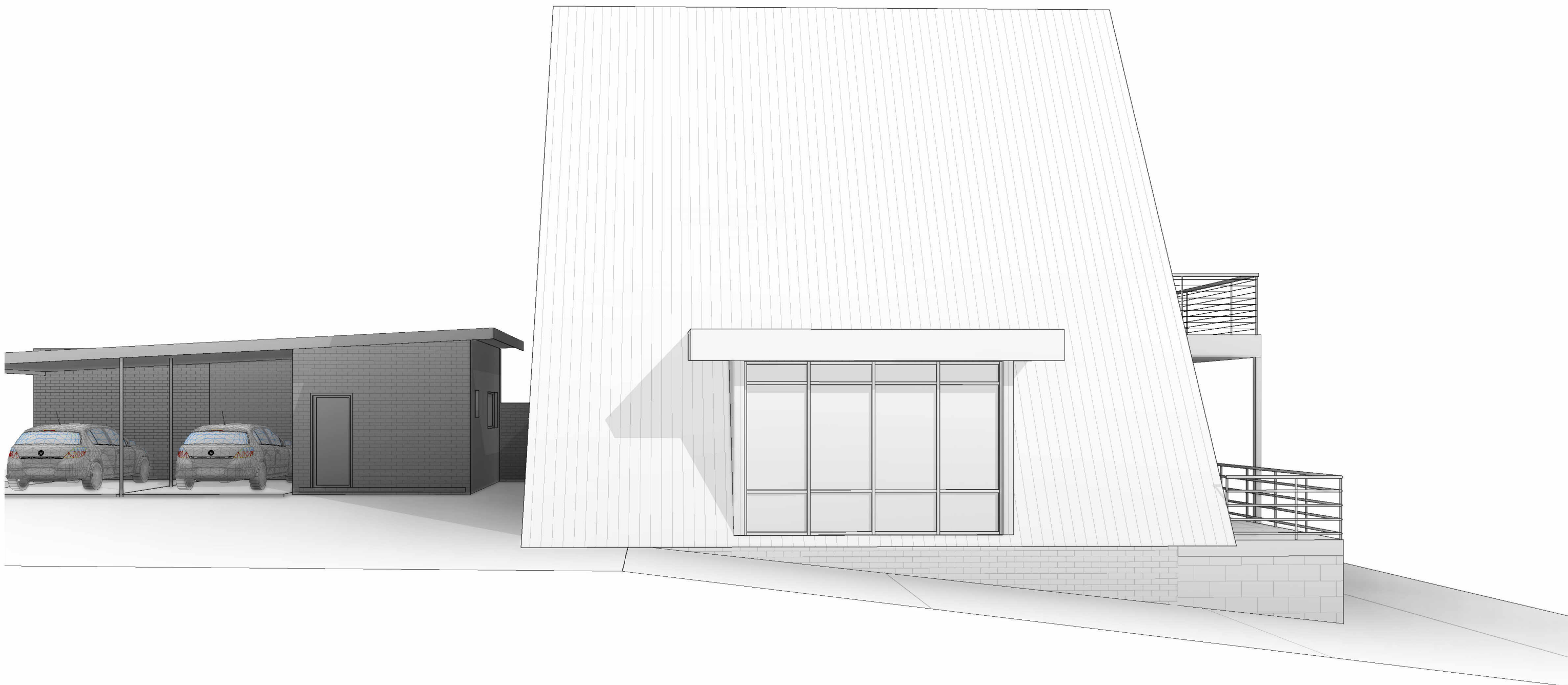
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Drawing No: EP2025-89 A604 / A11 Rev -

To,
Break O'Day council
Attention: Jake Ihnen
Date: 08.04.2026

Subject: Response to Request for additional information – DA2026/00047

Project: Additions and Alteration to Existing Dwelling and Extension to Existing Outbuilding.

Site: 104 Main Road, Binalong Bay TAS 7216

This correspondence is submitted in response to the Request for Additional Information (RAI) dated 1 April 2026, in relation to the above Development Application.

1.

- **Driveway material**

The proposed extension to the existing driveway will be constructed of concrete, as indicated on Site Plan Drawing No. A02.

- **Stormwater management**

Stormwater from the proposed additions and alterations will be directed to the existing stormwater connection. Roof water from the proposed extension will be collected via new downpipes and discharged into the existing underground rainwater tank.

2.

- **10.0 Low Density Residential Zone**

- **10.4.3 Setback –**

The siting of the proposed carport (outbuilding) and associated blockwork wall will not result in an unreasonable loss of amenity to adjoining properties. This is demonstrated having regard to:

- the site's topography, size, shape, and orientation.
- the setbacks of surrounding buildings.
- the height, bulk, and form of the proposed structures.
- the location of existing buildings and private open space on the site and adjoining properties.
- solar access to habitable room windows and private open space of adjoining properties; and
- the established character of development in the surrounding area.

Accordingly, the proposal satisfies Performance Criteria P2.

- **10.4.4 Site Coverage**

The proposed development remains compliant with the applicable site coverage requirements of the Low-Density Residential Zone.

- **C2.0 Parking and Sustainable Transport Code**

- **C2.5.1 Car parking numbers –**

A total of two (2) car parking spaces is provided on site, consistent with the requirements of Table C2.1.

- C2.6.1 Construction of parking areas-
All parking areas, including the driveway, will be constructed of concrete, providing a durable and all-weather surface.
 - C2.6.2 Design and layout of parking areas-
The design and layout of the parking area allow for safe and efficient vehicle access, maneuvering, and on-site parking, in accordance with the applicable standards.
- **BRE-S2.0 Stormwater Management Specific Area Plan**
An updated stormwater plan has been provided, illustrating the existing system and demonstrating that stormwater from the proposed development will be connected to and managed within the existing infrastructure.

We trust the above addresses Council's request for additional information. Please let us know if any further clarification is required.

Kind regards,



Ritika Agrawal
Engineering plus
8th April 2026