

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00142
Applicant	Spectura Studio
Proposal	Residential - Construction of a Secondary Residence and Attached Deck
Location	31 Steel Street, Scamander (CT 27543/14)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 8th August 2026 **until 5pm Friday 21st August 2026.**

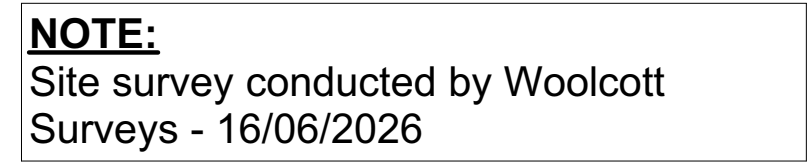
John Brown
GENERAL MANAGER

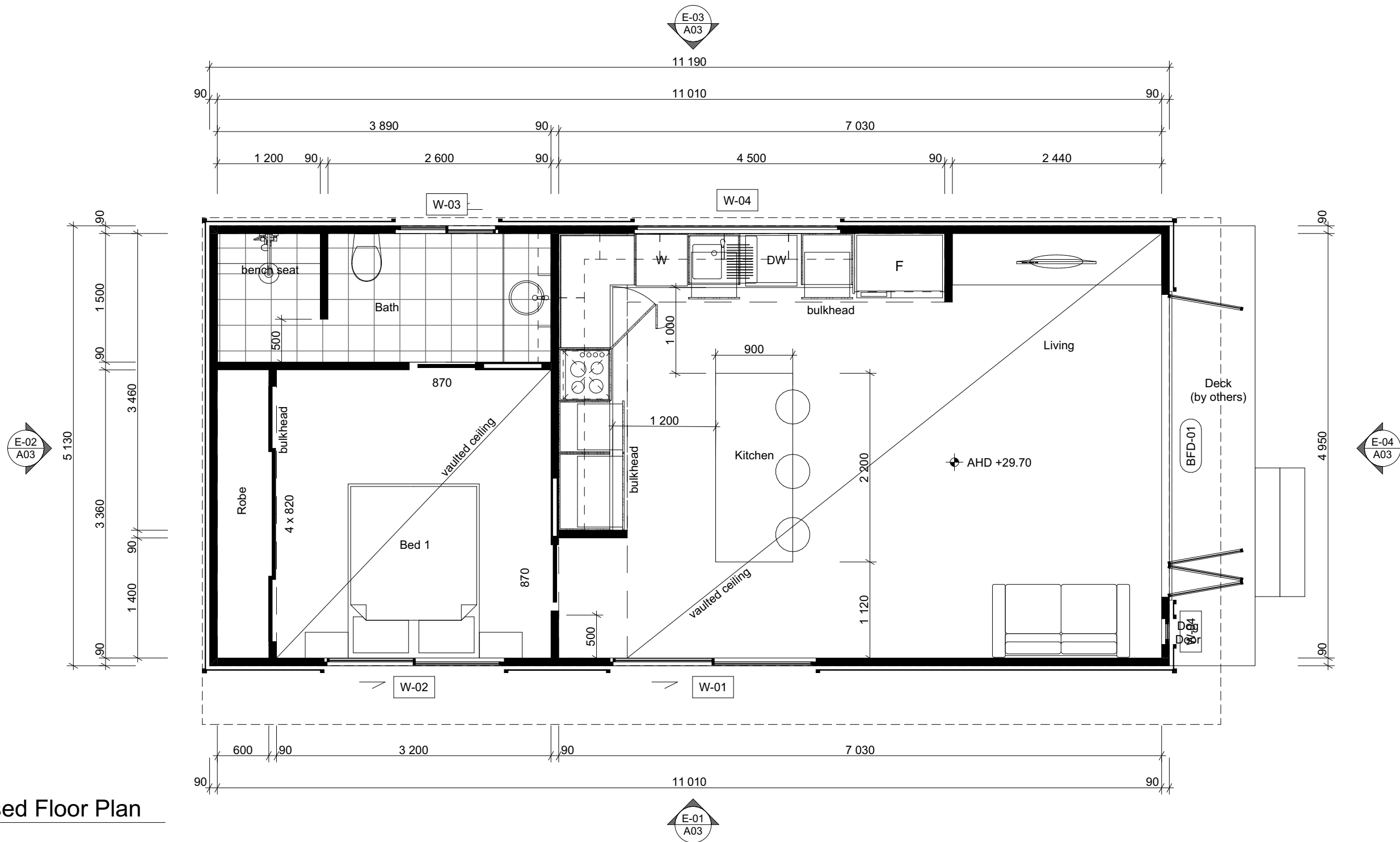
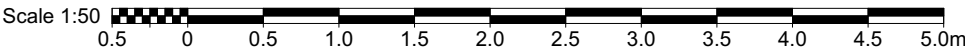
SHEET No.	DRAWING TITLE	ISSUE	DATE
A00	Cover Sheet	A	9/07/2026 11:23 AM
A01	Site Plan	A	9/07/2026 11:23 AM
A02	Floor Plan	A	9/07/2026 11:23 AM
A03	Elevations	A	9/07/2026 11:23 AM
A04	Door / Window Schedule	A	9/07/2026 11:23 AM
A05	Finishes Plan	A	9/07/2026 11:23 AM

Concept Sketch

Issue: A - Development Application



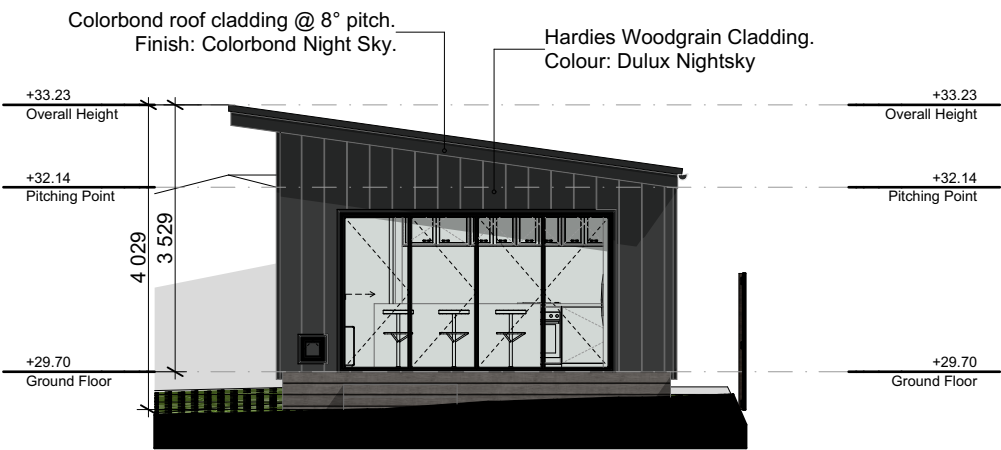
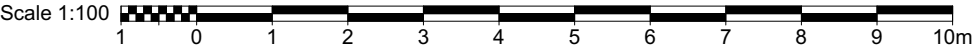




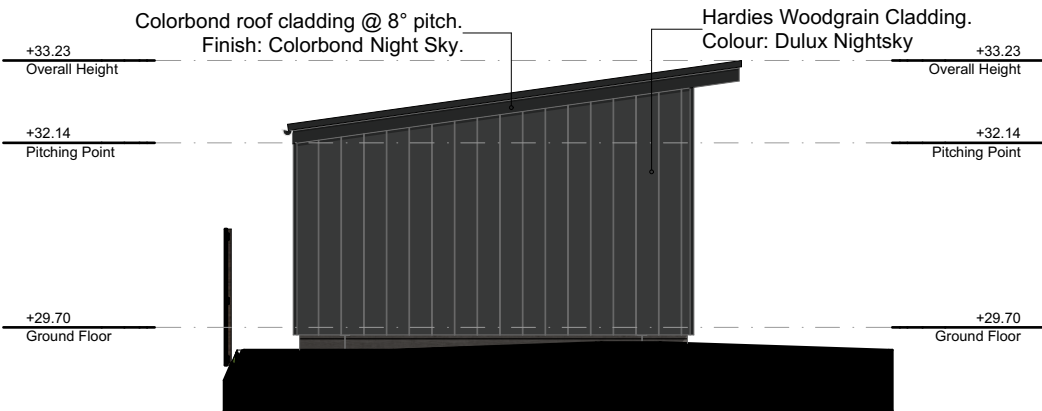
Proposed Floor Plan

Scale 1:50

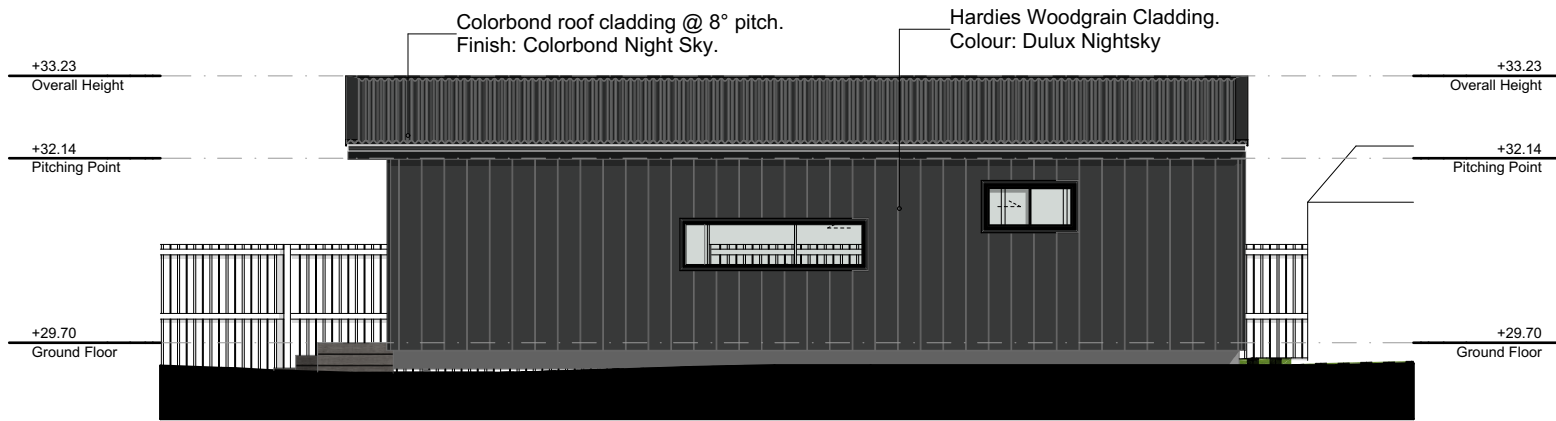
PROJECT NUMBER: T245		ISSUE LIST			PROJECT Proposed Ancillary Dwelling		A02		NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERRED OVER SCALED DIMENSIONS. DISCREPENCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.
 SPECTURA STUDIO www.spectura.com.au P: 0423 250 079 E: admin@spectura.com.au QBCC:15158346 CBOS: 964058515	DRAWN BY: MP CHECKED BY: MP DATE: Thursday, 9 July 2026 BDA&T: 6521	Issue	Description	Date	PROJECT ADDRESS: 27543/14 31 Steel St Scamander TAS 7215				
		SK1	Concept Development	25/03/2026	CLIENT Zac Mitchell				
		SK2	Concept Development	7/04/2026					
		SK3	Concept Finalisation	9/04/2026					
		SK4	Concept Finalisation	16/04/2026					
		A	Development Application	9/07/2026					
					Floor Plan		SCALE: 1:50		
					PROJECT NUMBER: T245				



E-02 North Elevation
A02 Scale 1:100



E-04 South Elevation
A02 Scale 1:100



E-01 West Elevation
A02 Scale 1:100

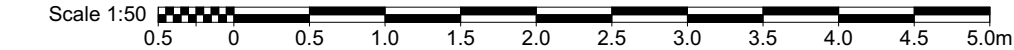


E-03 East Elevation
#LayID Scale 1:100

PROJECT NUMBER: T245		ISSUE LIST			PROJECT Proposed Ancillary Dwelling		A03		NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERENCED OVER SCALED DIMENSIONS. DISCREPENCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.				
 SPECTURA STUDIO www.spectura.com.au P: 0423 250 079 E: admin@spectura.com.au QBCC:15158346 CBOS: 964058515	DRAWN BY: MP	Issue	Description	Date	PROJECT ADDRESS: 27543/14 31 Steel St Scamander TAS 7215	CLIENT Zac Mitchell				SHEET SIZE A3			
	CHECKED BY: MP	SK1	Concept Development	25/03/2026									
		SK2	Concept Development	7/04/2026									
		SK3	Concept Finalisation	9/04/2026									
		SK4	Concept Finalisation	16/04/2026									
	DATE: Thursday, 9 July 2026	A	Development Application	9/07/2026								Elevations	
	BDA&T: 6521												SCALE: 1:100 PROJECT NUMBER: T245

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NOTE:
Heights indicated on elevation storey levels are shown to the Australian Height Datum (AHD).



GLAZING SCHEDULE						
WINDOW ID	BFD-01	W-01	W-02	W-03	W-04	
NOMINAL HEIGHT	2 100	2 400	1 200	600	600	
NOMINAL WIDTH	3 600	2 400	2 100	1 200	2 400	
HEAD HEIGHT	2 100	2 400	2 400	2 100	1 600	
FRAME						
GLAZING						
WINDOW AREA	7.56	5.76	2.52	0.72	1.44	18.00 m²
ELEVATION (external)						
DETAILS						

Note:
Glazing to comply with AS1288-2021 - Glass in Buildings

Note:
External windows and glazed doors to comply with AS2047:2014 - Windows & external glazed doors in buildings

PROJECT NUMBER: T245		ISSUE LIST			PROJECT Proposed Ancillary Dwelling		A04	NOTE: ALL DIMENSIONS TO BE VERIFIED ONSITE BY BUILDING CONTRACTOR AND PHYSICALLY LOCATE ALL UNDERGROUND SERVICES AND THEIR LOCATION IN RELATION TO PROPOSED WORKS. WRITTEN DIMENSIONS PREFERENCED OVER SCALED DIMENSIONS. DISCREPENCIES TO BE REFERRED TO THE BUILDING DESIGNER BEFORE PROCEEDING.
 SPECTURA STUDIO www.spectura.com.au P: 0423 250 079 E: admin@spectura.com.au QBCC:15158346 CBOS: 964058515	DRAWN BY: MP	Issue	Description	Date	PROJECT ADDRESS: 27543/14 31 Steel St Scamander TAS 7215	SHEET SIZE A3		
	CHECKED BY: MP	SK2	Concept Development	7/04/2026				
		SK3	Concept Finalisation	9/04/2026				
		DATE:	SK4	Concept Finalisation			16/04/2026	
Thursday, 9 July 2026	A	Development Application	9/07/2026	CLIENT Zac Mitchell		Door / Window Schedule		
BDA&T: 6521						SCALE: 1:1	PROJECT NUMBER: T245	

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NOTE:
ALL DIMENSIONS TO BE VERIFIED
ONSITE BY BUILDING CONTRACTOR
AND PHYSICALLY LOCATE ALL
UNDERGROUND SERVICES AND
THEIR LOCATION IN RELATION TO
PROPOSED WORKS.
WRITTEN DIMENSIONS
PREFERENCED OVER SCALED
DIMENSIONS.
DISCREPANCIES TO BE REFERRED TO
THE BUILDING DESIGNER BEFORE
PROCEEDING.

ISSUE LIST		
Issue	Description	Date
A	Development Application	9/07/2026

PROJECT
Proposed Ancillary Dwelling

PROJECT ADDRESS:
27543/14
31 Steel St Scamander TAS 7215

CLIENT
Zac Mitchell

SHEET SIZE A3

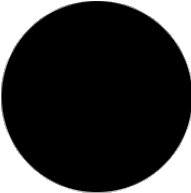
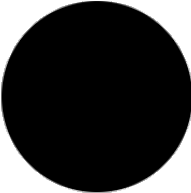
A05

Finishes Plan
SCALE: 1:222.78, 1:292.38
PROJECT NUMBER: T245



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DRAWN BY:
LH
CHECKED BY:
MP
DATE:
Thursday, 9 July 2026
BDA&T: 6521

External Finishes	
 Dulux Night Sky	JamesHardie Axon Night Sky Cladding Eaves
 Colorbond Night Sky	Colorbond Night Sky Roof Sheetting Flashings Gutter
	140mm Merbeu Decking Deck area Stairs



SECONDARY RESIDENCE – SUPPORTING SUBMISSION

31 Steel Street, Scamander

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BASIC PLANNING OVERVIEW	
DESCRIPTION OF PROJECT:	Secondary Residence
PROPERTY ADDRESS:	31 Steel Street SCAMANDER
TITLE No:	27543/14
PROPERTY ID:	7378583
PLANNING INSTRUMENT:	Tasmanian Planning Scheme – Break O’Day
APPLICABLE ZONE(S):	General Residential
APPLICABLE CODE(S):	Parking and Sustainable Transport
	Road and Railway Assets
SPECIFIC AREA PLAN:	Stormwater Management

1 Overview

This submission provides planning appraisal support for a proposal for the development of a secondary residence (ancillary to an existing single dwelling) upon land at 31 Steel Street, Scamander (Folio of the Register 27543/14).

The subject land is entirely identified within the General Residential Zone under Break O'Day Council's Planning Scheme (the 'Tasmanian Planning Scheme – Break O'Day') and comprises a total area of 1435 m². The land is provided with frontage to Steel Street, a local road (sealed) maintained by the Break O'Day Council.

This report provides a planning appraisal of the proposal against relevant statutory provisions of the Tasmanian Planning Scheme – Break O'Day.



Figure 1: Aerial image identifying spatial proportions (blue outline) of F/R 27543/14 (Source: LISTmap).

2 Site Details

Address:	31 Steel Street SCAMANDER		
Title No:	27543/14		
Landowner:	Scott Gray		
Dimensions:	Area	Average Width	Average Depth
	1435 m ²	Approx. 22 m	Approx. 77 m
Slope:	Grade	Elevation	Direction
	Gentle slope	30 AHD	West to east
Existing Use or Development:	Single Dwelling and ancillary outbuildings		
Vegetation:	N/A		
Services:	Water	Sewer	Stormwater
	Serviced Area	Serviced Area	Serviced Area
	Connection	Connection	Connection
	Existing	Existing	Existing
Vehicle Access:	Road	Access Type	Vehicle Crossing
	Steel Street	Direct Frontage	Existing
Surrounding Use and Development	North	Residential uses (General Residential Zone)	
	South	Place of Worship and Residential uses (General Residential and Community Purpose Zones)	
	East	Residential uses (General Residential Zone)	
	West	Residential uses (General Residential Zone)	

3 Description of Proposal

Site Context

The subject land is located at 31 Steel Street, Scamander. It is situated within the established residential precinct of Scamander, characterised by detached dwellings on conventional urban allotments. The land possesses a gentle gradient, with a mild downhill incline from west to east and north (toward Scamander River). The site is connected to reticulated water, sewer and stormwater services and is provided with vehicle access provision from Steel Street – a Council maintained road. The site is approximately 1435 m² in area and is currently occupied by an existing single dwelling and associated outbuildings.

Planning Context

The subject land is entirely identified within the General Residential Zone under the Tasmanian Planning Scheme – Break O’Day. Land surrounding the site in all directions is similarly identified within the General Residential, supporting single dwellings on standard residential allotments. Zoning configuration of the subject and surrounding land is illustrated at Figure 2, below:



Figure 2: Site and surrounding land zoning configuration under the Tasmania Planning Scheme – Break O’Day (Source: LISTmap).

Proposal Context

The proposal seeks approval for the construction of a secondary residence, appurtenant to the existing single dwelling, at 31 Steel Street, Scamander. The secondary residence has been carefully positioned within the southern portion of the allotment so as to integrate with the established development pattern on the site, which presently includes an existing single dwelling, shed and pavilion. The proposal is intended to provide a modest, self-contained residential accommodation unit that remains clearly subordinate to, and functionally associated with, the single dwelling. Vehicle access will be provided via the existing crossover to Steel Street and the established internal driveway network, thereby avoiding the need for any additional road access works and enabling convenient on-site parking and manoeuvring.

Architecturally, the building adopts a modern and understated form characterised by a low-pitched skillion roof, vaulted internal ceiling, articulated façades and generous glazing to promote natural light and passive solar performance. External materials are proposed to comprise James Hardie woodgrain cladding finished in Dulux Nightsky, together with Colorbond roof sheeting in matching colour. This material palette will provide a cohesive and visually recessive built form that complements the coastal setting and existing development on the site.

Figure 3: Proposal Site Plan (Secondary Residence footprint in blue) (Source: Spectura Studio).

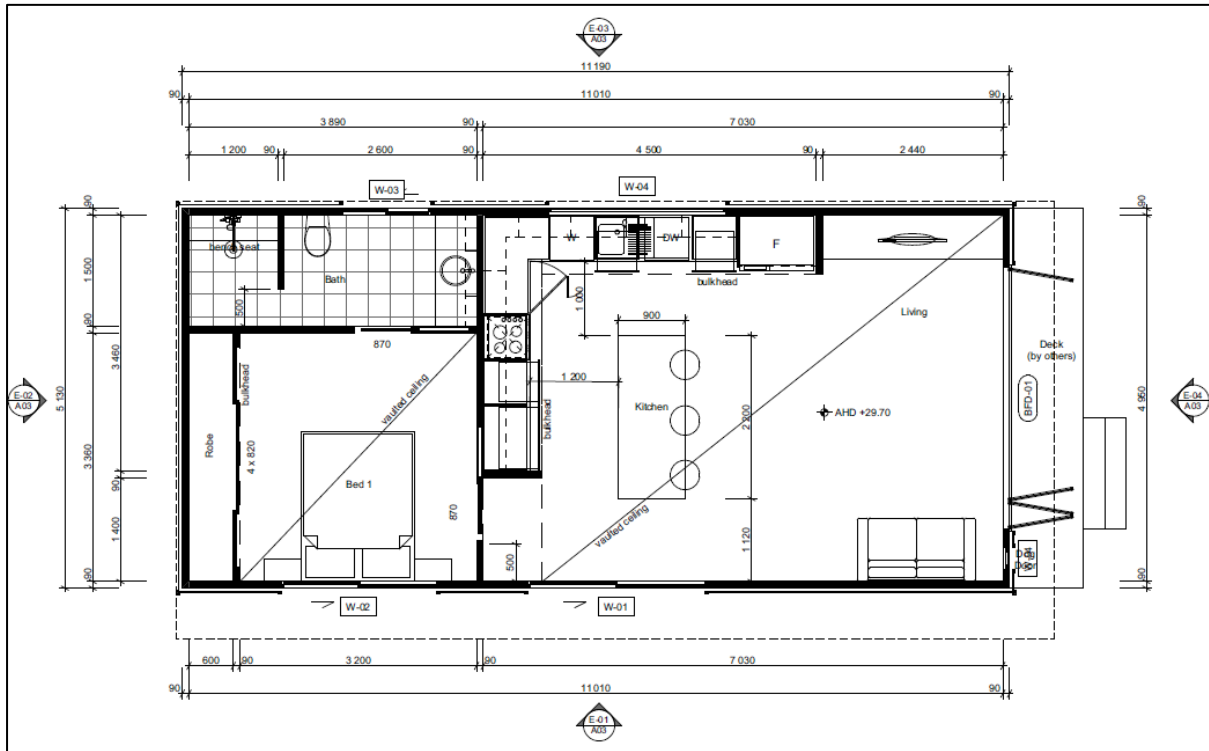


Figure 4: Floor Plan – Secondary Residence (Source: Spectura Studio).



Figure 4: Architectural rendering – eastern elevation of Secondary Residence (Source: Spectura Studio).

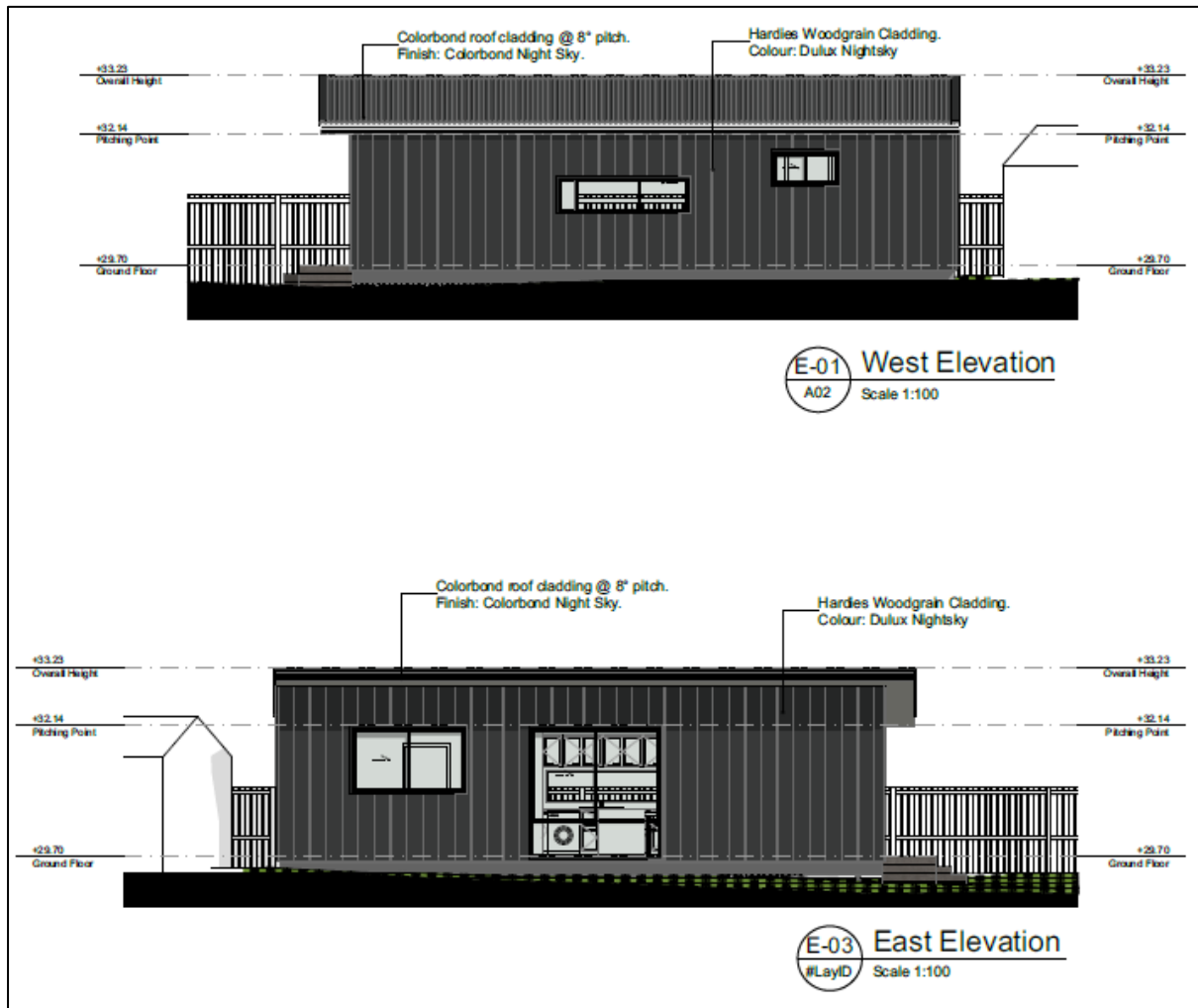


Figure 5: Elevations Plan of west (top) and east (bottom) elevations – Secondary Residence (Source: Spectura Studio).

4 Planning Assessment – *Tasmanian Planning Scheme – Break O’Day*

4.1 Assessment Overview

Applicable Zone(s):	General Residential
Use Status:	Single Dwelling ('no permit required' use status)
Development Status:	Discretionary (relying on performance criteria)
Applicable Code(s):	Parking and Sustainable Transport
	Road and Railway Assets
Applicable Specific Area Plan(s)	N/A

4.2 Zone Assessment

4.2.1 Development Standards for Dwellings – *Acceptable Solutions* – General Residential Zone

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Acceptable Solution	Assessment	Compliance
8.4.2 Setbacks and building envelope for all dwellings			
A1	Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.	The proposal will be setback over 45 metres from the frontage setback onto Steel Street.	Complies
A3	A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:	The secondary residence will (i) have a length of approximately 12 metres (incl. low-level deck adjacent the northern elevation) parallel to the western (side) boundary and (ii) be setback 1 metre from the western (side) boundary. The proposal therefore relies on demonstrating compliance with the	Does not Comply

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Acceptable Solution	Assessment	Compliance
	(a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).	corresponding performance criteria provided at Clause 8.4.2 P3. Assessment of the proposal against this performance criteria is outlined at Section 4.2.2 of this report.	
8.4.3 Site coverage and private open space for all dwellings			
A1	Dwellings must have: (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and (b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).	Total site coverage post-development of the secondary residence will comprise an area of approximately 432 m², equating to approximately 30% of the total site area. The proposal therefore satisfies the requirements of Clause 8.4.3 A1 accordingly.	Complies

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Acceptable Solution	Assessment	Compliance
A2	A dwelling must have private open space that: (a) is in one location and is not less than: (i) 24m²; or (ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (b) has a minimum horizontal dimension of not less than: (i) 4m; or (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); (c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and (d) has a gradient not steeper than 1 in 10.	Private open space that satisfies the requirements of Clause 8.4.3 A2 will be sustained upon the site post the proposed development.	Complies
8.4.6 Privacy for all dwellings			
A1	A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;	Proposed deck area attached northward of the secondary residence will have a finished floor level of approximately 0.5 m, therefore satisfying the requirements of Clause 8.4.6 A1 accordingly.	Complies

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Acceptable Solution	Assessment	Compliance
	(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.		
A2	A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b): (a) the window or glazed door: (i) is to have a setback of not less than 3m from a side boundary; (ii) is to have a setback of not less than 4m from a rear boundary; (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. (b) the window or glazed door: (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed	As provided in the submitted plans, all floor levels of habitable rooms of the development will be approximately 500 mm above natural ground level.	Complies

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Acceptable Solution	Assessment	Compliance
	door, to a habitable room of another dwelling; (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.		

4.2.2 Development Standards for Dwellings – *Performance Criteria* – General Residential Zone

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Performance Criteria	Assessment	Compliance
8.4.2 Setbacks and building envelope for all dwellings			
P3	The siting and scale of a dwelling must: (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; (ii) overshadowing the private open space of a dwelling on an adjoining property; (iii) overshadowing of an adjoining vacant property; and (iv) visual impacts caused by the apparent scale, bulk or	The secondary residence has been carefully sited within the central portion of the subject allotment to ensure that its scale, orientation and separation distances are compatible with the established residential character of the surrounding area and do not result in any unreasonable loss of amenity to adjoining properties. The subject site is a large residential allotment of approximately 1,435 m² that already contains an existing dwelling and associated outbuildings. The proposed secondary residence is modest in scale, with a gross floor area of approximately 57.4 m², and comprises a single bedroom, bathroom and open-plan kitchen and living area with an associated	Complies

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Performance Criteria	Assessment	Compliance
	proportions of the dwelling when viewed from an adjoining property; (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on: (i) an adjoining property; or (ii) another dwelling on the same site.	deck. The building adopts a simple single-storey form with a low-pitched skillion roof and a maximum height of approximately 4.03 metres above natural ground level. The building is positioned well within the interior of the allotment and is comfortably separated from boundaries to the south and east (respectively) by a shed and a substantial area of open space. Although setback 1 m from the western (side) boundary, the building's proportions are comfortably contained within the prescribed building envelope otherwise provided for at Figure 8.1 of the Scheme. This siting ensures that the proposal is comfortably accommodated within the site and maintains generous distances from adjoining properties. In practical terms, the separation between the proposed building and neighbouring dwellings is consistent with, and in many instances greater than, the spacing that exists between established dwellings and their associated outbuildings throughout the Steel Street area. This is particularly relevant given that the planning scheme definition of a dwelling encompasses buildings and works ordinarily associated with residential use. Having regard to its modest scale, low overall height and generous setbacks, the proposed secondary residence will not cause any unreasonable reduction in sunlight to habitable rooms on adjoining properties. Any shadow cast beyond the site boundaries will be limited in extent and duration and will not materially affect the solar access currently enjoyed by neighbouring living areas. For the same reasons, the proposal will not unreasonably overshadow the private open space of adjoining properties or any adjoining vacant land. Any additional shadowing will be confined to a relatively small area during limited periods of the day and will not diminish the practical	

8.0 General Residential Zone			
8.4 Development Standards for Dwellings			
Clause	Performance Criteria	Assessment	Compliance
		use or future development potential of surrounding land. The building will also not appear visually intrusive or overbearing when viewed from adjoining properties. Its compact footprint, low roof profile and domestic scale ensure that it will read as a modest ancillary residential structure rather than a dominant built form. The generous separation from boundaries and the established built context of the site further reduce its apparent bulk. The proposal will not cause any unreasonable reduction in sunlight to an existing solar energy installation on an adjoining property or elsewhere on the subject site. The limited height and footprint of the building, together with the substantial distances to surrounding structures, ensure that any additional shadowing of rooftop solar panels would be negligible and would not materially affect their performance. Overall, the proposed secondary residence is of an appropriate scale and has been carefully positioned to maintain the spacious, low-density character of the locality. The development will not result in any unreasonable loss of amenity through overshadowing, reduced solar access or visual bulk, provides separation between dwellings that is consistent with the established pattern of development in the area, and will not adversely affect the operation of any existing solar energy installations. The proposed secondary residence therefore satisfies the performance criteria at P3 accordingly.	

4.3 Code Assessments

4.3.1 Use Standards – *Acceptable Solutions* – Parking and Sustainable Transport Code

C2.0 Parking and Sustainable Transport Code			
C2.5 Use Standards			
Clause	Acceptable Solution	Assessment	Compliance
C2.5.1 Car parking numbers			
A1	The number of on-site car parking spaces must be no less than the number specified in Table C2.1.	The existing single dwelling (5 bedrooms) upon the site – which the secondary residence would be appurtenant to – is already provided with car parking space provision adequate to satisfy the requirements of Table C2.1. No additional car parking provision is proposed or required by the secondary residence use/development.	Complies

4.3.2 Use Standards – *Acceptable Solutions* – Road and Railway Assets Code

C3.0 Road and Railway Assets Code			
C3.5 Use Standards			
Clause	Acceptable Solution	Assessment	Compliance
C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction			
A1.4	Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than: (a) the amounts in Table C3.1; or (b) allowed by a licence issued under Part IVA of the <i>Roads and Jetties Act 1935</i> in respect to a limited access road.	Pursuant to the requirements of Table C3.1 of the Tasmanian Planning Scheme – Break O’Day, the acceptable increase amount of annual average daily traffic (AADT) ingress and egress movements via existing vehicle crossings on to roads that are not major roads (within the meaning of the definitions provided at Clause C3.3.1) is either (i) 20% or (ii) 40 vehicle movements per day – whichever is the greater. In the absence of Tasmanian-specific numeric trip-generation standards for individual residential dwellings, it is common and accepted practice for planning authorities and traffic practitioners in Tasmania to rely on the New South Wales traffic generation framework, particularly the guidance contained in the Guide to Traffic Generating Developments (the Guide)	Complies

C3.0 Road and Railway Assets Code			
C3.5 Use Standards			
Clause	Acceptable Solution	Assessment	Compliance
		prepared by Transport for NSW (formerly Roads and Maritime Services). The Guide identifies low-density residential development, including detached single dwellings, as a low traffic-generating land use. Based on empirical survey data across metropolitan, regional, and rural contexts, a detached dwelling is typically associated with approximately 8 to 10 vehicle movements per day (vpd) on an Annual Average Daily Traffic (AADT) basis. This figure represents the total of both ingress and egress movements and reflects ordinary household travel behaviour, including commuting, education, shopping, and incidental trips. For a standard dwelling, the mid-range of this guidance – approximately 9 vehicle movements per day – is widely adopted in planning assessments and is considered conservative and reasonable. Importantly, the Guide notes that traffic generation for individual dwellings is generally consistent regardless of minor variations in dwelling size, particularly where occupancy remains within a typical household range. Applying this methodology to the proposed single dwelling, the anticipated traffic generation would therefore be in the order of 9-10 vehicle movements per day, which constitutes a very low level of traffic activity. Traffic movements generated by the dwelling will therefore satisfy the requirements of Table C3.1, which in turn satisfied Clause C3.5.1 A1.4 accordingly.	

4.4 Specific Area Plan Assessments

The following Specific Area Plans (SAPs) have been assessed as being applicable to the proposal:

- Stormwater Management

The following sections provide an assessment of the applicable standards of each SAP to the proposal.

4.4.1 Development Standards for Buildings and Works – *Acceptable Solution* – Stormwater Management

BRE-S2.0 Stormwater Management Specific Area Plan			
BRE-S2.7 Development Standards for Buildings and Works			
Clause	Acceptable Solution	Assessment	Compliance
BRE-S2.7.1 Stormwater management			
A1	Development must be: (a) capable of connecting to the public stormwater system; or (b) permitted by the General Manager to discharge stormwater to a system other than the public stormwater system.	The proposed development will be connected to the existing stormwater connection servicing the site, which is connected to Council's public stormwater system.	Complies

5 Conclusion

The proposed secondary residence development at 31 Steel Street, Scamander has been assessed against the relevant provisions of the Tasmanian Planning Scheme – Break O'Day and is considered to satisfy the applicable requirements of the Scheme. The subject land is located within the General Residential Zone and comprises a vacant urban allotment of approximately 1435m² within an established residential neighbourhood. The proposal represents an appropriate residential use of the land that is consistent with the intended character and strategic outcomes of the zone.

The siting, scale and design of the proposed buildings respond positively to the dimensions and attributes of the site. All structures maintain compliant or suitable setbacks from boundaries and the street frontage, while building heights remain modest and well within the expected scale of surrounding residential development. Site coverage remains low relative to the size of the allotment, ensuring generous areas of private open space, landscaping opportunities and a spacious residential presentation. The development is therefore compatible with the existing streetscape and will integrate comfortably with surrounding dwellings.

Overall, the proposed development is a well-considered and orderly residential outcome that makes efficient use of a serviced residential allotment within the urban area of Scamander. It will contribute positively to local housing diversity, while maintaining a scale and form that respects neighbourhood amenity. For these reasons, the proposal is considered to satisfy the relevant provisions of the Tasmanian Planning Scheme – Break O'Day and is appropriate for approval.