

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00158
Applicant	C Nagy
Proposal	Visitor Accommodation - Additional Use for Visitor Accommodation
Location	21428 Tasman Highway, Four Mile Creek (CT 152435/1) (With access over Reserved Road)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

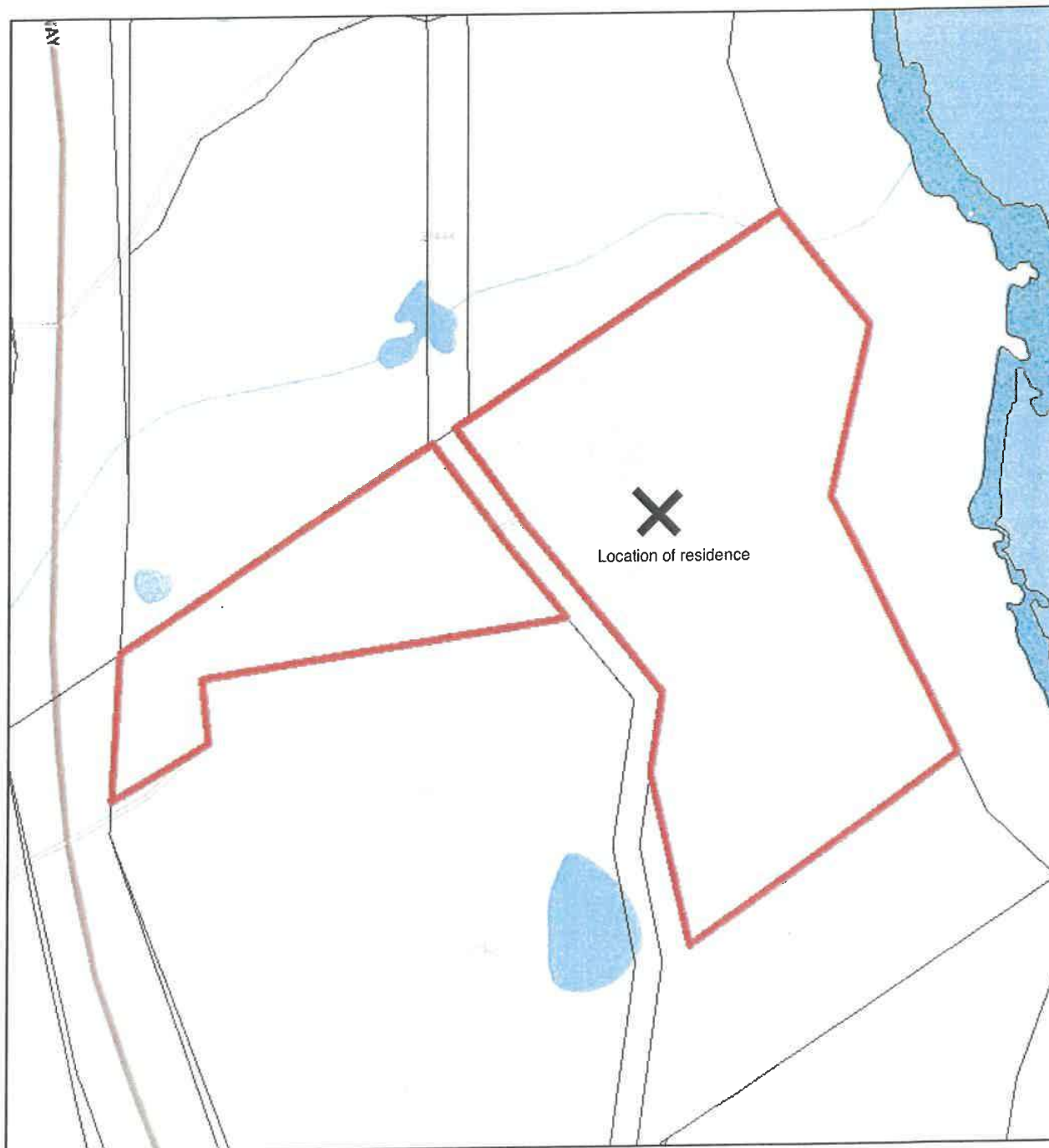
Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 22nd August 2026 **until 5pm Friday 4th September 2026**.

John Brown
GENERAL MANAGER

PROPERTY ID: 2820264

PROPERTY ADDRESS: 21428 TASMAN HIGHWAY
FOUR MILE CREEK TAS 7215

CONSTRUCTION YEAR: 2014



Attention Rebecca Green / Jake Ihnen
Break O'Day Council
32-34 Georges Bay Esplanade
St Helens TAS 7216
admin@bodc.tas.gov.au

10 August 2026

Dear Ms Green and Mr Ihnen

DA 2026/00158
21428 Tasman Highway, Four Mile Creek TAS 7215
Planning Application (Additional Use for Visitor Accommodation)

I refer to the above planning application and to your letter dated 6 August 2026 requesting additional information in relation to this application.

I **attach** a written planning scheme response demonstrating the proposal's compliance with clause 22.3.3 of the Tasmanian Planning Scheme.

As discussed on our call today, we are separately obtaining written authority with respect to the strip of Crown land on the property from Tasmanian Parks and Wildlife Service (PWS) and will revert with that shortly.

Please let me know if you have further questions in the meantime.

Yours sincerely

C Nagy

The application seeks approval for a change of use (additional use for visitor accommodation) for above property. The property comprises a 3 bedroom residence situated on 3.137 ha of land.

The property is zoned Landscape Conservation.

CLAUSE 22.3.3, TASMANIAN PLANNING SCHEME

This document addresses the proposal's compliance with the performance criteria in clause 22.3.3 (Discretionary Use) of the Tasmanian Planning Scheme. Section 22.3.3 applies in view of the subject property being located in a Landscape Conservation Zone.

Consistent with the performance criteria, the location, scale and extent of the proposed is compatible with landscape values, taking into account the matters referred to below, particularly the location of the property and the limited scale and extent of the proposed use.

(a) Nature, scale and extent of the use

- The proposal is of very limited scale, involving a change of use to an existing 3 bedroom residence located on 3.137 ha of land to permit visitor accommodation. No alterations to the house or land are proposed.
- The house is centrally and privately located on the property. The house does not overlook, and is only very distantly visible from, neighbouring properties.
- The maximum occupancy proposed is 8 persons.
- Given the limited scale of the proposal, the proposal will not adversely affect neighbouring properties.

(b) Characteristics and type of the use

- The proposal is a **change of use** to the existing property only.
- The proposal does not seek approval for any physical change to the buildings or to the land on the property. No construction, development, alterations or clearing of vegetation are proposed.
- The proposal utilizes existing infrastructure and avoids unnecessary development.
- The proposal supports tourism and the local economy within the Break O'Day municipality.

(c),(d) Landscape values of the site and surrounding area

- The property is located on a large bush block, bordered on all sides by well-established and well-maintained native trees and bushland.
- The house itself is directly surrounded by well-established and regularly maintained native landscaping, in keeping with the foliage of the local area.
- The proposal does not involve any disturbance to native vegetation or other part of the existing landscape.
- The proposed use maintains the existing landscape character, which the owners regard as a highly important feature of the property.

(e) Measures to minimize or mitigate impacts

- The maximum occupancy proposed is 8 persons.
- There is ample parking adjoining the house (both in the double garage shown on the floor plan and directly outside of it) such there will be no impact on neighbours or the surrounding area in this regard.
- The house itself is surrounded by well-established and regularly maintained native landscaping, maximizing privacy to the house itself and to neighbouring properties.

CONCLUSION

As outlined above, the proposed change of use (additional use as visitor accommodation) is low scale and low impact. Taking account of the location, scale and extent of the use, this use is compatible with applicable landscape values. Accordingly, the use satisfies the requirements of clause 22.3.3 of the Tasmanian Planning Scheme.

Dated: 10 August 2026