

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2026 / 00161
Applicant	Woolcott Land Services Pty Ltd
Proposal	Residential - Two (2) Lot Subdivision PLUS Demolition of Existing Shed & Construction of an Additional Dwelling (Multiple Dwelling) with Attached Garage & Veranda & Construction of a Shed
Location	7 Bowen Street, St Helens (CT 132616/1)

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 29th August 2026 **until 5pm Friday 11th September 2026.**

John Brown
GENERAL MANAGER

LEGEND
PAGE 1# COVER PAGE
PAGE 2# LOCALITY PLAN
PAGE 3# EXISTING SITE SURVEY PLAN
PAGE 4# SITE PLAN
PAGE 5# SOIL AND WATER MANAGEMENT PLAN
PAGE 5A# LANDSCAPING PLAN
PAGE 6# SHED PLAN
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PAGE 8# FLOOR PLAN WITH DIMENSIONS
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PAGE 11# ROOF PLAN

COUNCIL - BREAK ODAY COUNCIL
ZONE - GENERAL RESIDENTIAL
CODE - SAFEGUARDING OF AIRPORTS - 86.5m
- SPECIFIC AREA PLAN BRE-S2.0
LANDSLIDE BAND - NIL

TITLE REFERENCE - 132616/1
PROPERTY ID - 6793160

WIND CLASSIFICATION N2
DESIGN GUST SPEED (VU) 40M/S

SITE CLASS M AS PER GEOTON
REPORT NO. GL26389AB

BUSHFIRE-PRONE AREA BAL RATING N/A

CORROSION ENVIRONMENT - HIGH

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR

ALPINE AREA - N/A LESS THAN 900m AHD

OTHER HAZARDS - N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON
CLAD HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION
IN BUILDINGS TASMANIAN DESIGNERS' GUIDE" -
CURRENT VERSION AVAILABLE AT
WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE READ
IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

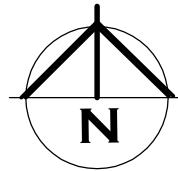
PROPOSED SUBDIVISION AND DWELLING FOR C AND J LE FEVRE AT 7 BOWEN STREET ST HELENS 7216

REVISION NUMBER	DATE
REVISION 1	28 / 07 / 2026
REVISION 2	29 / 07 / 2026
REVISION 3	30 / 07 / 2026
REVISION 4	31 / 07 / 2026
REVISION 5	14 / 08 / 2026



**BRADLEY
VAN ZETTEN**

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E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796



LOCALITY PLAN

BASE IMAGE OBTAINED FROM
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DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

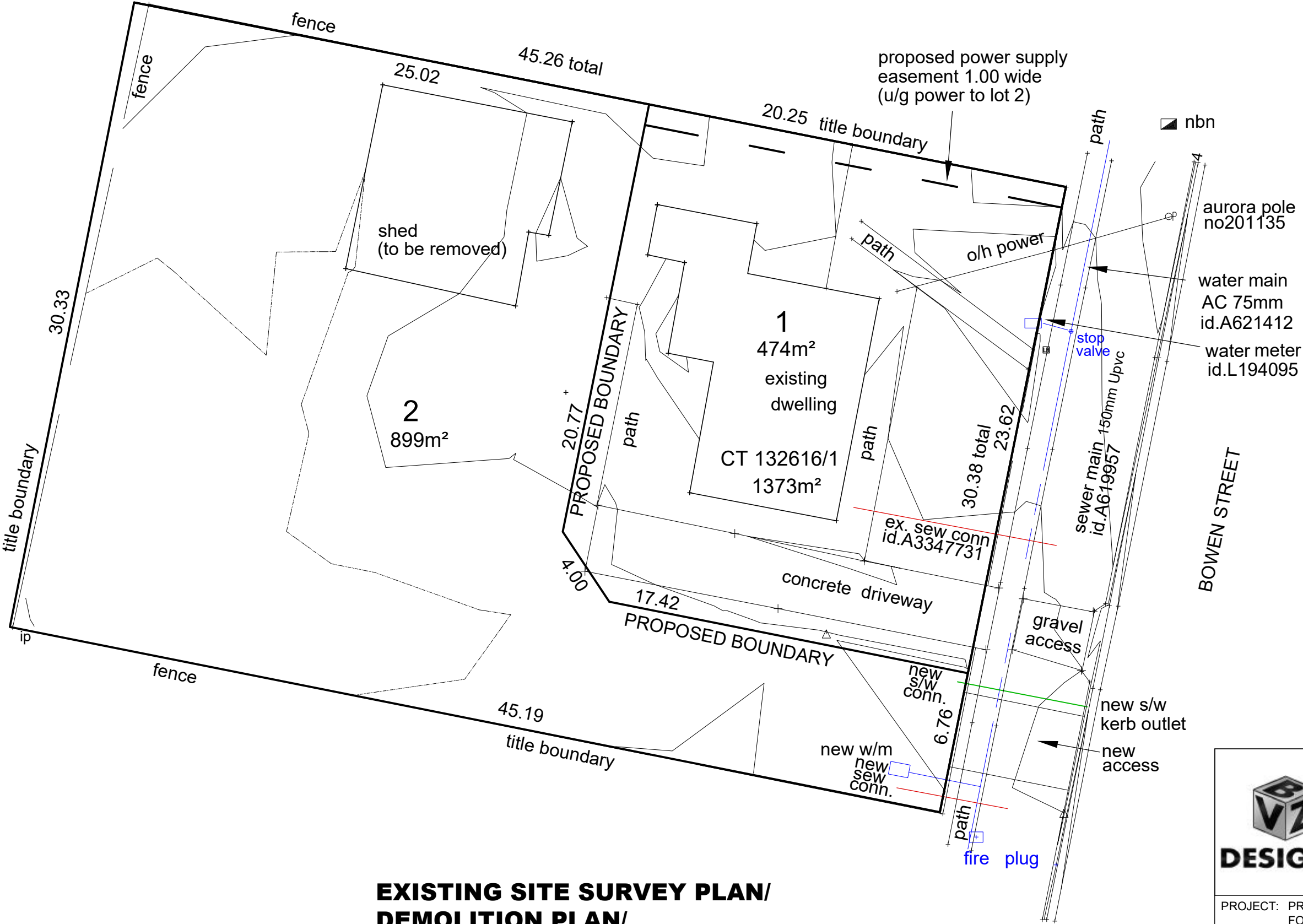
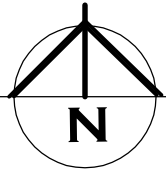
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LEF0726 - 2/11

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THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE



**EXISTING SITE SURVEY PLAN/
DEMOLITION PLAN/
INDICATIVE SUBDIVISION PLAN
AND NEW CONNECTION PLAN**

REFER TO WOOLCOTT LAND SERVICES FOR SPECIFIC SUBDIVISION DETAILS, NEW BOUNDARIES, CROSS OVER AND SERVICE CONNECTIONS

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DRAWING: EXISTING SITE SURVEY PLAN

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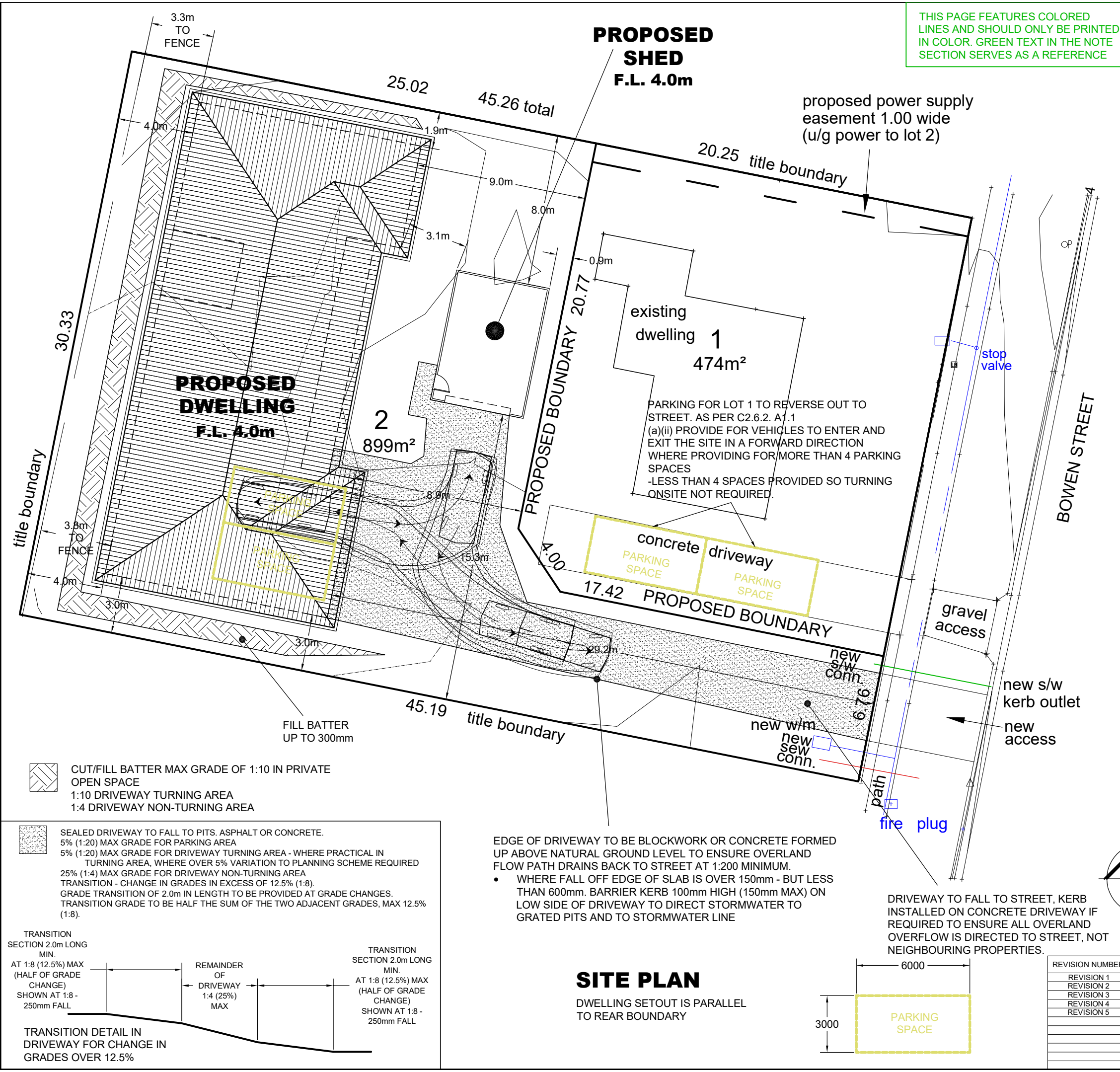
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UN-RETAINED BULK EARTHWORKS - SITE CUT AND FILL PART 3.2.1

		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
(A) WITHIN THE ALLOTMENT; AND
(B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
(C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
(A) BE PLACED WITHIN THE ALLOTMENT; AND
(B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
(C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
(D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
(E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
(F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA

SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE.
5% (1:20) MAX GRADE FOR PARKING AREA
5% (1:20) MAX GRADE FOR DRIVEWAY TURNING AREA - WHERE PRACTICAL IN TURNING AREA, WHERE OVER 5% VARIATION TO PLANNING SCHEME REQUIRED
25% (1:4) MAX GRADE FOR DRIVEWAY NON-TURNING AREA
TRANSITION - CHANGE IN GRADES IN EXCESS OF 12.5% (1:8). GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES. TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES, MAX 12.5% (1:8).

TRANSITION SECTION 2.0m LONG MIN.

AT 1:8 (12.5%) MAX (HALF OF GRADE CHANGE) SHOWN AT 1:8 - 250mm FALL

REMAINDER OF DRIVEWAY 1:4 (25%) MAX

TRANSITION SECTION 2.0m LONG MIN.

AT 1:8 (12.5%) MAX (HALF OF GRADE CHANGE) SHOWN AT 1:8 - 250mm FALL

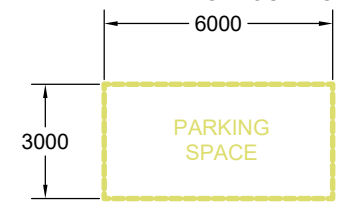
TRANSITION DETAIL IN DRIVEWAY FOR CHANGE IN GRADES OVER 12.5%

EDGE OF DRIVEWAY TO BE BLOCKWORK OR CONCRETE FORMED UP ABOVE NATURAL GROUND LEVEL TO ENSURE OVERLAND FLOW PATH DRAINS BACK TO STREET AT 1:200 MINIMUM.

- WHERE FALL OFF EDGE OF SLAB IS OVER 150mm - BUT LESS THAN 600mm. BARRIER KERB 100mm HIGH (150mm MAX) ON LOW SIDE OF DRIVEWAY TO DIRECT STORMWATER TO GRATED PITS AND TO STORMWATER LINE

SITE PLAN

DWELLING SETOUT IS PARALLEL TO REAR BOUNDARY



DRIVEWAY TO FALL TO STREET, KERB INSTALLED ON CONCRETE DRIVEWAY IF REQUIRED TO ENSURE ALL OVERLAND OVERFLOW IS DIRECTED TO STREET, NOT NEIGHBOURING PROPERTIES.

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DRAWING: SITE PLAN

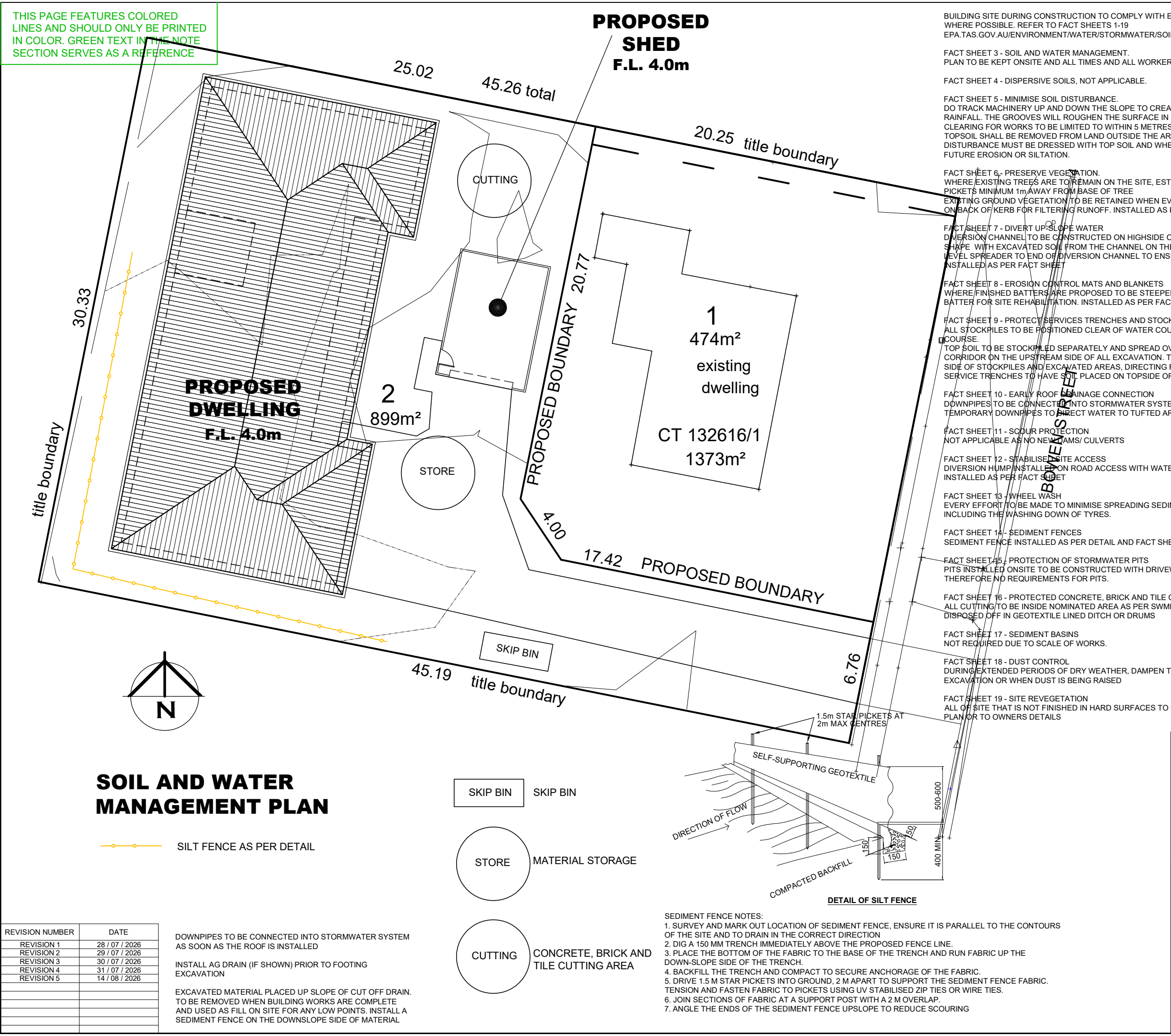
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BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 - SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 - DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 - MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 - PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 - DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE. WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 - EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 - PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 - EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 - SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 - STABILISE SITE ACCESS
DIVERSION HUMP INSTALL ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET

FACT SHEET 13 - WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 - SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

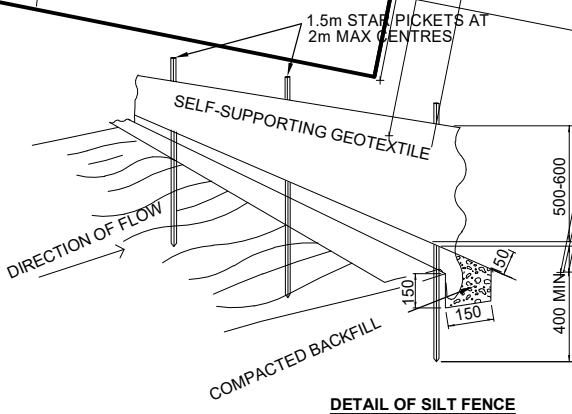
FACT SHEET 15 - PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 - PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 - SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 - DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 - SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS



SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

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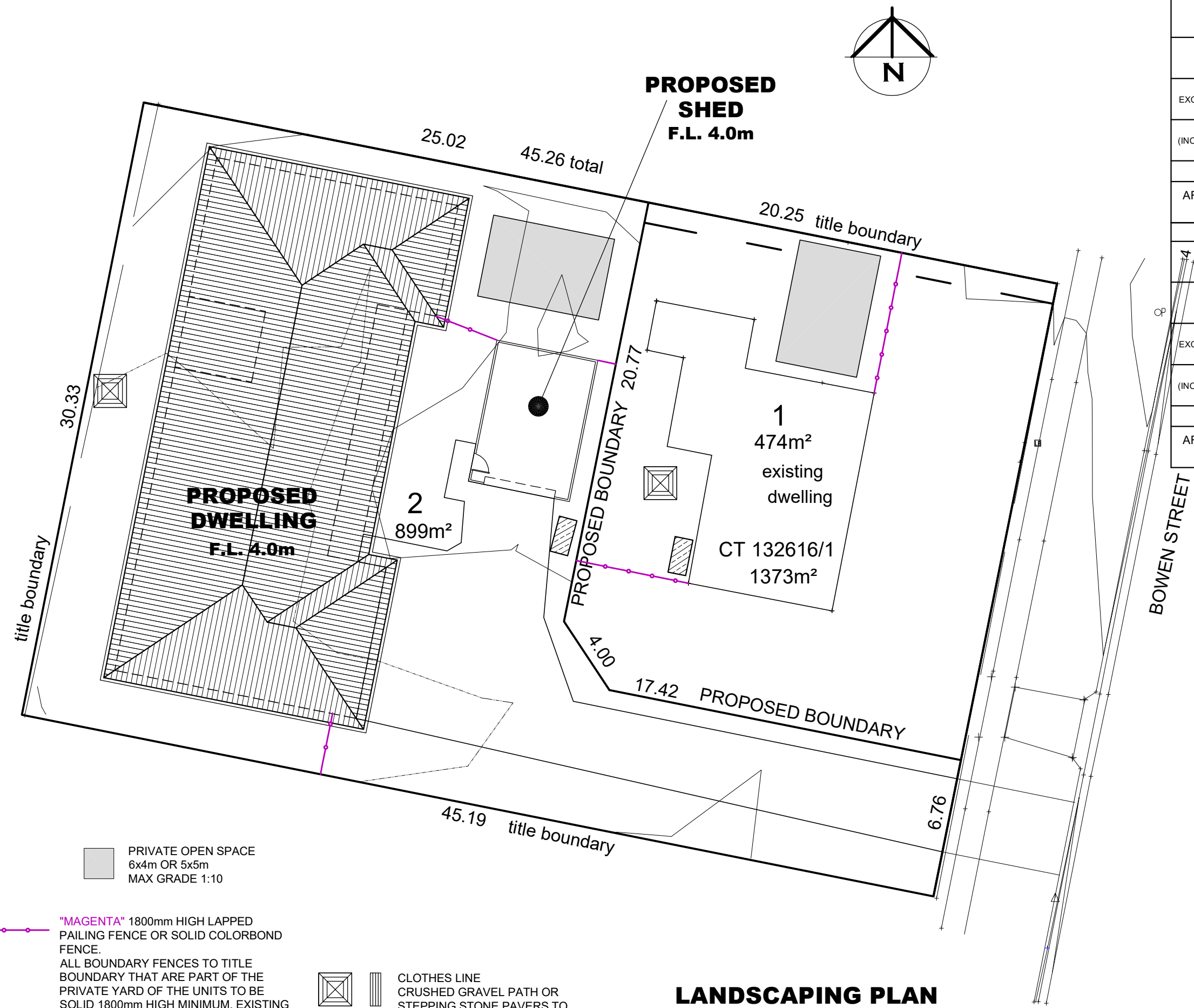
DRAWING: SOIL AND WATER MANAGEMENT PLAN

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DRAWN: B. v. Z.

SCALE - A3 - 1:200.

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SITE AREA TABLE - LOT 1 ONLY		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	474	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	110	23.2
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	60	12.7
AREA FREE FROM BUILDING AND DRIVEWAY AREA	304	64.1
SITE AREA TABLE - LOT 2 ONLY		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	899	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	335	37.3
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	160	17.8
AREA FREE FROM BUILDING AND DRIVEWAY AREA	404	44.9

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- CLOTHES LINE
- CRUSHED GRAVEL PATH OR STEPPING STONE PAVERS TO CLOTHES LINE
- 1.7x0.9m WHEELIE BIN STORAGE MINIMUM 1.5m2
- LETTERBOX

LANDSCAPING PLAN

PRIVATE YARD AREA LOT 1 = 120 sq/m

PRIVATE YARD AREA LOT 2 = 224 sq/m

NOT INCLUDING BUILDING AREA

PLANTING INSIDE PRIVATE YARD BY OWNER

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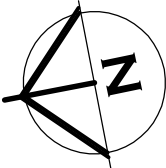
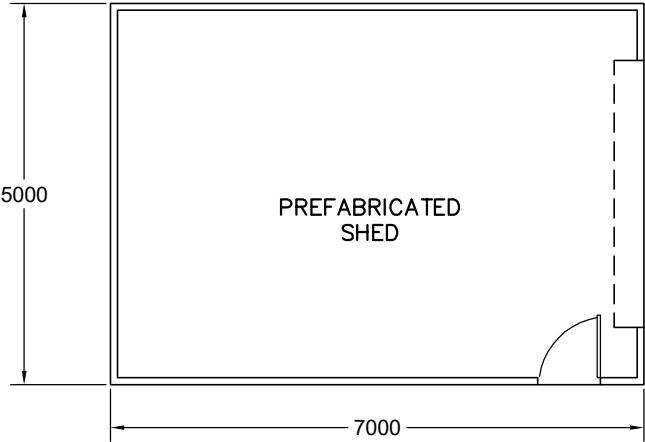
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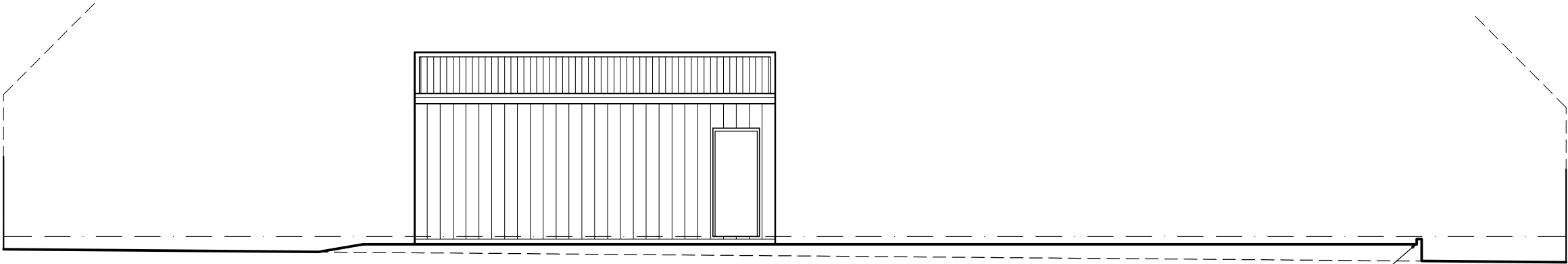
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AREA TABLE		
	SQUARE METER	BUILDING SQUARES
SHED AREA	35.0	3.8
TOTAL AREA	35.0	3.8



FLOOR PLAN

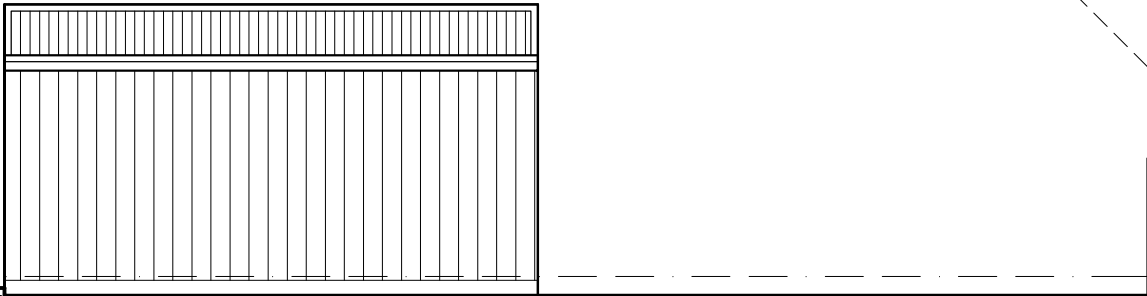
SHED CONSTRUCTION DETAILS TO BE PROVIDED BY OTHERS AT BUILDING APPLICATION



WEST ELEVATION

EDGE OF DRIVEWAY TO BE BLOCKWORK OR CONCRETE FORMED UP ABOVE NATURAL GROUND LEVEL TO ENSURE OVERLAND FLOW PATH DRAINS BACK TO STREET AT 1:200 MINIMUM.

- WHERE FALL OFF EDGE OF SLAB IS OVER 150mm - BUT LESS THAN 600mm. BARRIER KERB 100mm HIGH (150mm MAX) ON LOW SIDE OF DRIVEWAY TO DIRECT STORMWATER TO GRATED PITS AND TO STORMWATER LINE



EAST ELEVATION

-  COLORBOND CUSTOM ORB SHEET ROOFING
-  COLORBOND TRIMDEK SHEET WALLING



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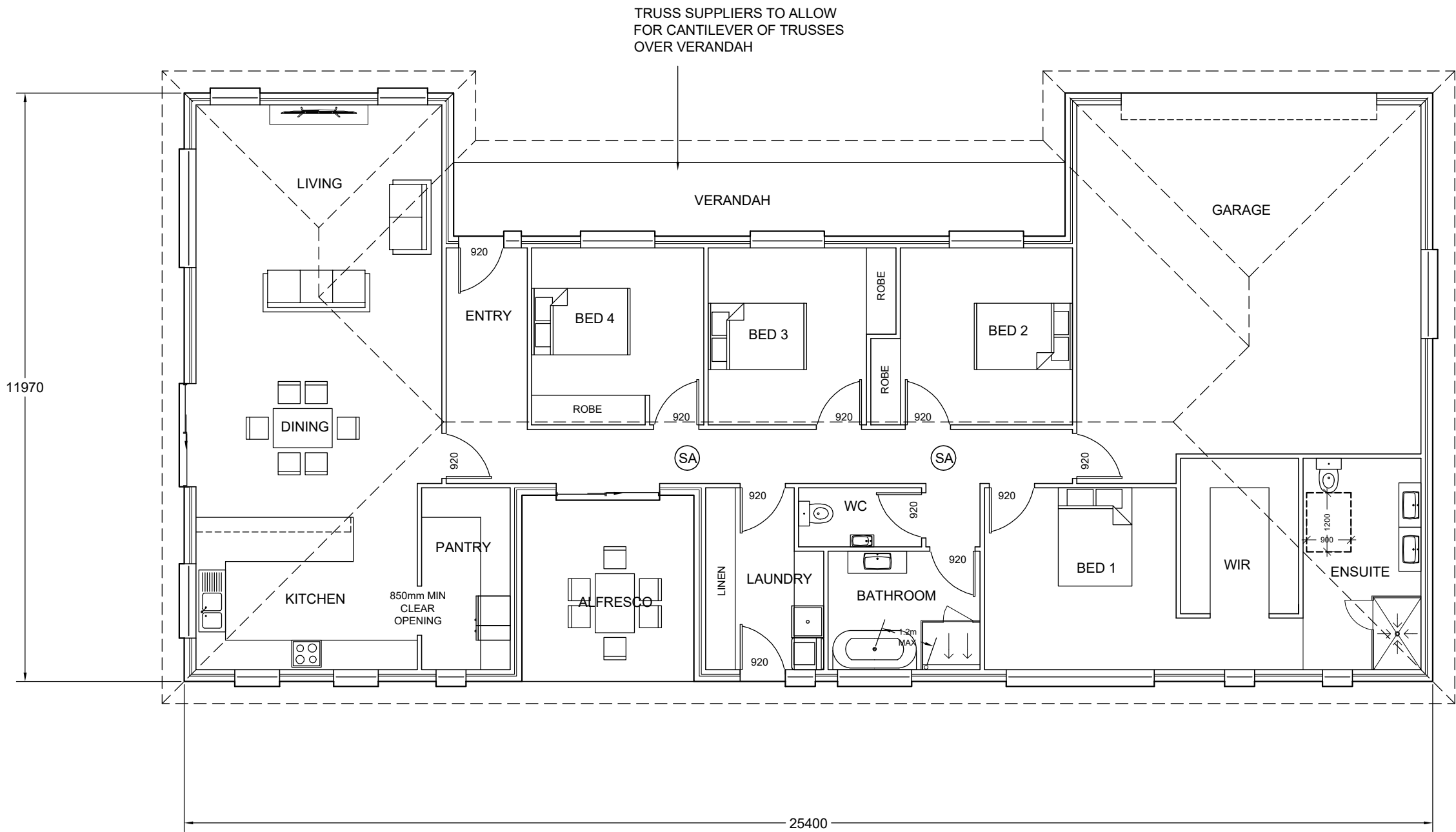
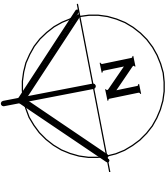
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BRICK VENEER WALL

EXTERNAL 90mm TIMBER FRAMED WALL WITH LIGHTWEIGHT SHEET CLADDING INSTALLED WITH CAVITY FIXING

INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)

EXTENT OF RAKED CEILING



(SA) - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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SCALE - A3 - 1:100.

DRAWING No.:
LEF0726 - 7/11

FLOOR PLAN

BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

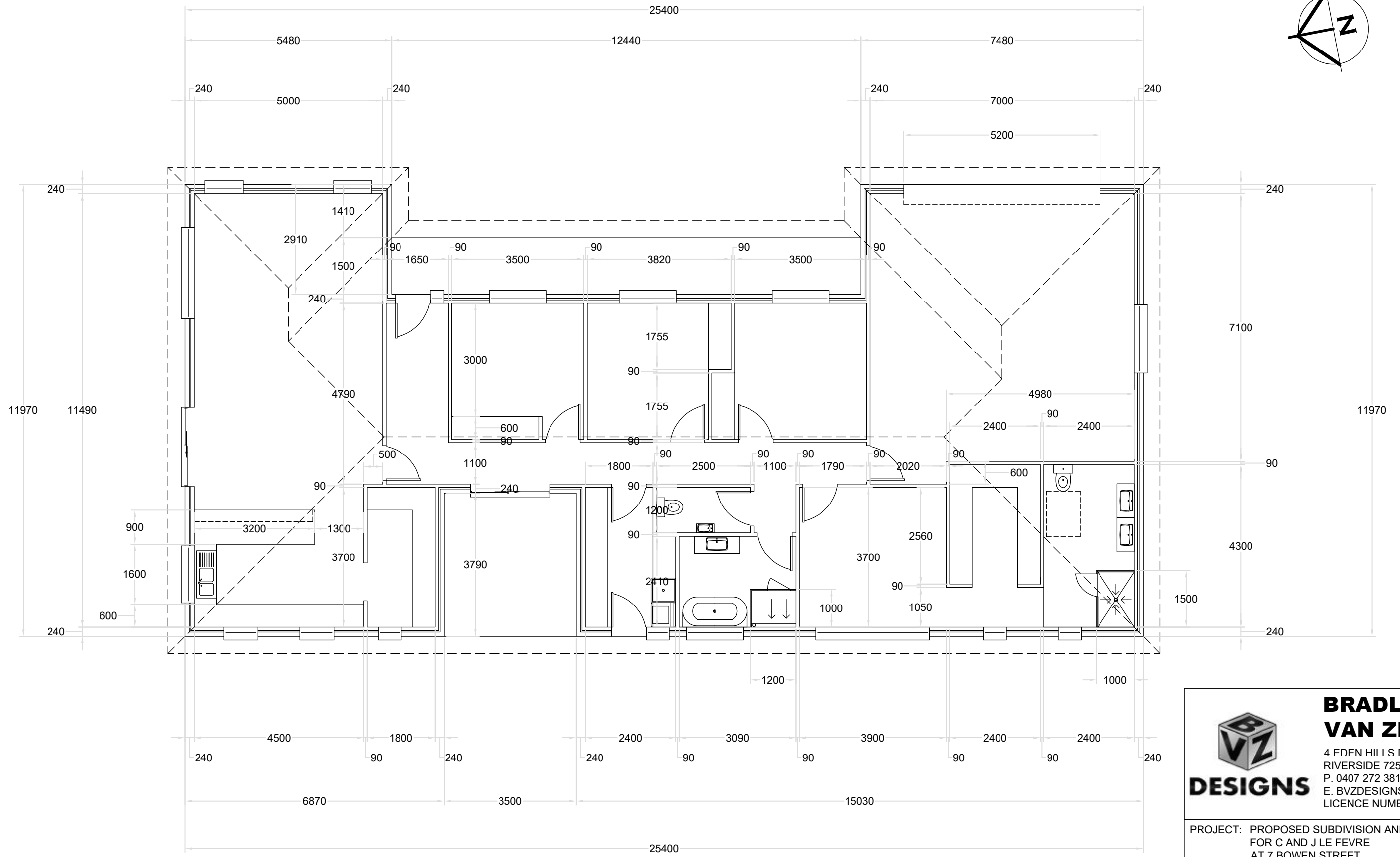
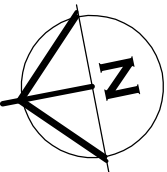
BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.
WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE

	SQUARE METER	BUILDING SQUARES
FLOOR AREA	267.8	28.8
ALFRESCO AREA	13.2	1.4
VERANDAH AREA	18.6	2.0
TOTAL AREA	299.6	32.2

REVISION NUMBER	DATE
REVISION 1	28 / 07 / 2026
REVISION 2	29 / 07 / 2026
REVISION 3	30 / 07 / 2026
REVISION 4	31 / 07 / 2026
REVISION 5	14 / 08 / 2026



FLOOR PLAN WITH DIMENSIONS

REVISION NUMBER	DATE
REVISION 1	28 / 07 / 2026
REVISION 2	29 / 07 / 2026
REVISION 3	30 / 07 / 2026
REVISION 4	31 / 07 / 2026
REVISION 5	14 / 08 / 2026



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PROJECT: PROPOSED SUBDIVISION AND DWELLING
FOR C AND J LE FEVRE
AT 7 BOWEN STREET
ST HELENS 7216

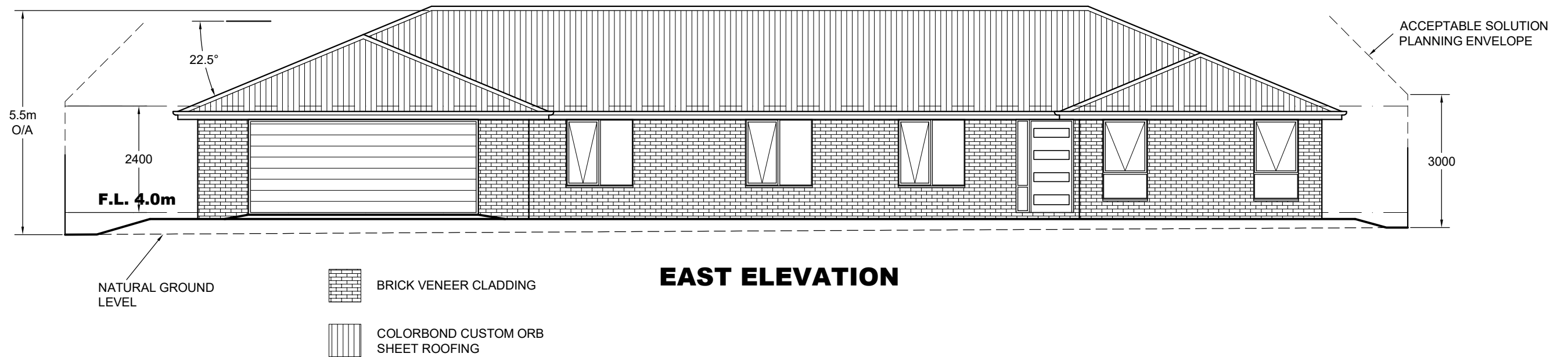
DRAWING: FLOOR PLAN WITH DIMENSIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 14 / 08 / 26

SCALE - A3 - 1:100.

DRAWING No.:
LEF0726 - 8/11



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FOR C AND J LE FEVRE
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DRAWING: ELEVATIONS

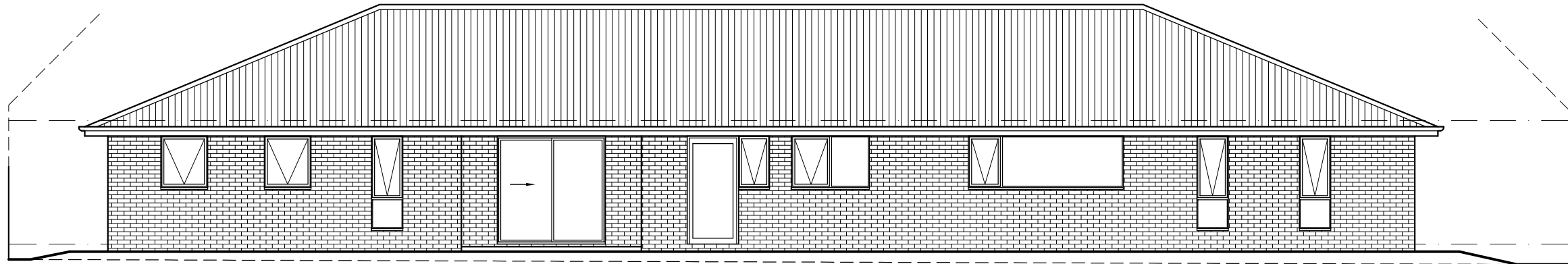
DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 14 / 08 / 26

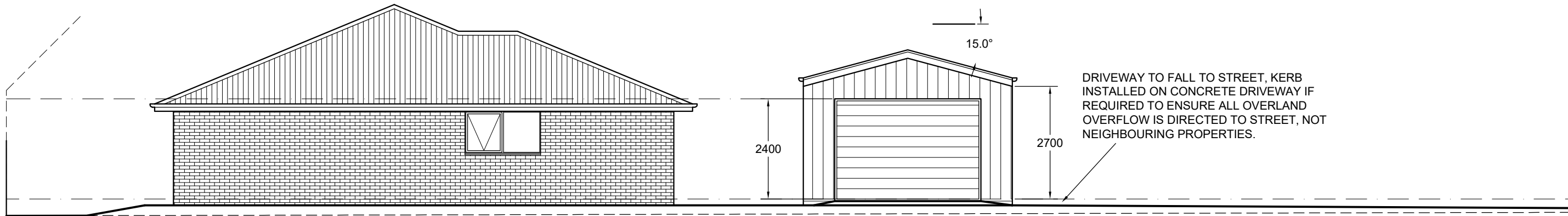
SCALE - A3 - 1:100.

DRAWING No.:
LEF0726 - 9/11

REVISION NUMBER	DATE
REVISION 1	28 / 07 / 2026
REVISION 2	29 / 07 / 2026
REVISION 3	30 / 07 / 2026
REVISION 4	31 / 07 / 2026
REVISION 5	14 / 08 / 2026



WEST ELEVATION



SOUTH ELEVATION



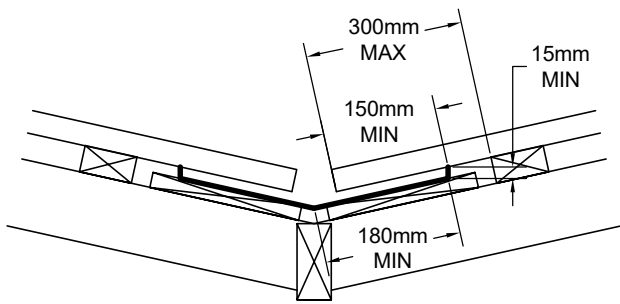
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PROJECT: PROPOSED SUBDIVISION AND DWELLING
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ST HELENS 7216

DRAWING: ELEVATIONS

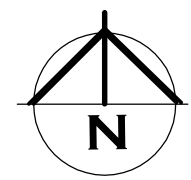
DESIGNED: B. v. Z. DRAWN: B. v. Z.	APPROVED. DATE: 14 / 08 / 26
SCALE - A3 - 1:100.	DRAWING No.: LEF0726 - 10/11

REVISION NUMBER	DATE
REVISION 1	28 / 07 / 2026
REVISION 2	29 / 07 / 2026
REVISION 3	30 / 07 / 2026
REVISION 4	31 / 07 / 2026
REVISION 5	14 / 08 / 2026



VALLEY GUTTER IS OVER 12.5 DEGREES
AS PER 7.4.4

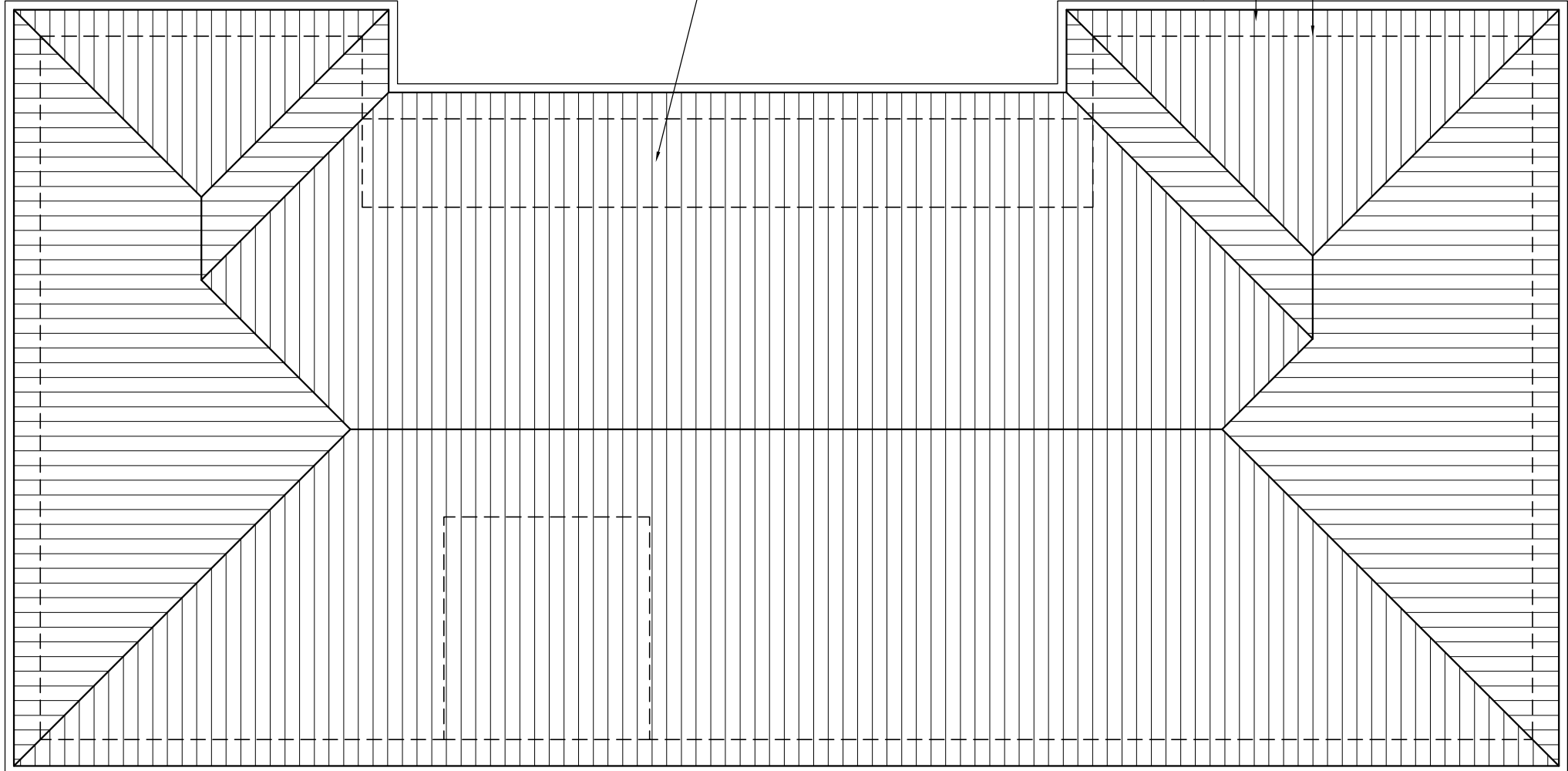
COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5°. ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD
ROOFING INSTALLED TO MANUFACTURES DESIGN AND INSTALLATION GUIDE



COLORBOND GUTTER AND FASCIA SYSTEM

450mm EAVE (TYPICAL)

EXTERNAL WALLS DASHED



ROOF PLAN

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

REVISION NUMBER	DATE
REVISION 1	28 / 07 / 2026
REVISION 2	29 / 07 / 2026
REVISION 3	30 / 07 / 2026
REVISION 4	31 / 07 / 2026
REVISION 5	14 / 08 / 2026

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS
WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--
(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND
(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE
(1) FOR A FRONT FACE SLOTTED GUTTER WITH—
A MINIMUM SLOT OPENING AREA OF 1200 MM2 (A) PER METRE OF GUTTER; AND
(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
(2) FOR A CONTROLLED BACK GAP WITH—
(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.



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ST HELENS 7216

DRAWING: ROOF PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 14 / 08 / 26

SCALE - A3 - 1:100.

DRAWING No.:
LEF0726 - 11/11



August 2026

PLANNING REPORT

**DEVELOPMENT OF MULTIPLE DWELLINGS &
SUBDIVISION FROM 1 TO 2 LOTS**

7 Bowen Street ST HELENS



Prepared by
Woolcott Land Services Pty Ltd
ABN 63 677 435 924

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Rev.no	Description	Date
1	Draft	23 July 2026
2	Review	28 July 2026
3	Review	14 August 2026
4	Final	18 August 2026

References

Land Tasmania. (2021). *Land Information System Tasmania*. Retrieved 2026, from
<https://www.thelist.tas.gov.au/app/content/home/>
Strategic Transport Planning Branch, Transport for NSW. (2024). *Guide to Transport Impact Assessment*.
NSW Government.

Annexures

Annexure 1 Copy of title plan and folio text
Annexure 2 Proposal plan – Subdivision
Annexure 3 Proposal plan – Dwelling

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1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

Proposed development
Demolition of outbuilding
Development of dwelling and outbuilding
Subdivision – 1 to 2 lots

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan – Subdivision	Woolcott Land Services
Proposal Plan – Dwelling	BVZ Designs

2. Subject site and proposal

2.1 Site details

Address	7 Bowen Street, St Helens TAS 7216
Property ID	6793160
Title	132616/1
Land area	1376m ²
Planning Authority	Break O’Day Council
Planning Scheme	Tasmanian Planning Scheme – Break O’Day LPS
Easements	None
Application status	Discretionary application
Existing Access	Single sealed crossover from Bowen Street
Zone	General Residential
General Overlay	Stormwater Management Specific Area Plan (BRE-S2.0)
Overlays	Airport obstacle limitation area (86.5m AHD)
Existing development	Single dwelling and outbuilding

Existing services and infrastructure	
Water	Serviced
Sewer	Serviced
Stormwater	Serviced – roadside

2.2 Proposal

The proposal is for the development of a second dwelling and outbuilding on the subject site. The proposed dwelling will have four bedrooms, two bathrooms, a laundry room, a living and kitchen area, and an attached garage. The dwelling will have a total area of 299.6m². The outbuilding will have a total area of 35m².

The application also includes subsequent subdivision of the site to make two lots, thereby separating the dwellings to become single dwellings on each lot. Lot 1 will contain the existing dwelling. Lot 2 will include the demolition of the existing outbuilding together with the development of the second dwelling.

Existing access will be retained for Lot 1 from Bowen Street. One new crossover is proposed for Lot 2 from Bowen Street. Bowen Street is a sealed local road maintained by Council. Lot 1 will retain existing connection to all services. Connections to all services are proposed for Lot 2. A power supply easement is proposed across Lot 1.

Lot no.	Proposed Area	Frontage	Access	Development
1	474m ²	23.62m	Existing from Bowen Street	Single dwelling
2	899m ²	6.76m	Proposed from Bowen Street	Outbuilding (to be demolished)

2.3 Subject site

The subject site comprises a single lot with frontage to Bowen Street. It is located in the central area of the St Helens locality. The lot is flat. The site is 1,376m² in area, as listed on the title. There is an existing dwelling on the site that will be retained. The existing outbuilding will be demolished.



Figure 1 - Aerial view of the subject site (Land Tasmania, 2021).

3. Zone and overlays

3.1 Zoning

The site is zoned General Residential under the Scheme.

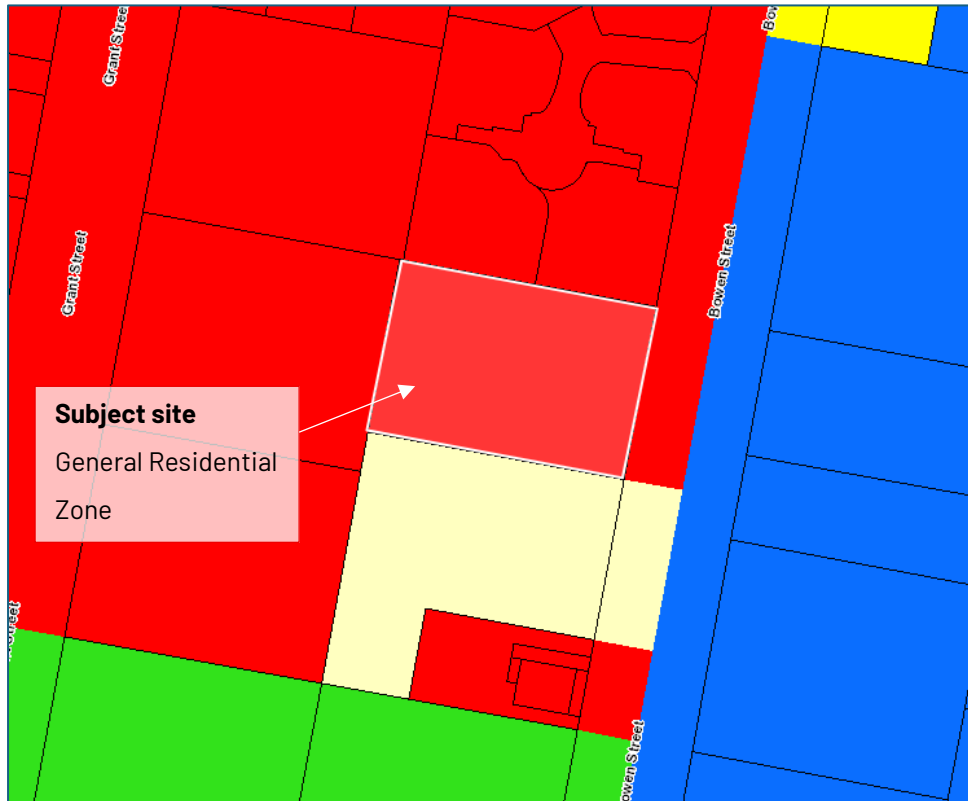


Figure 2 - Zoning of the subject site (Land Tasmania, 2021).

3.2 Overlays

The subject site is affected by the Stormwater Management Specific Area Plan (BRE-S2.0) General Overlay.

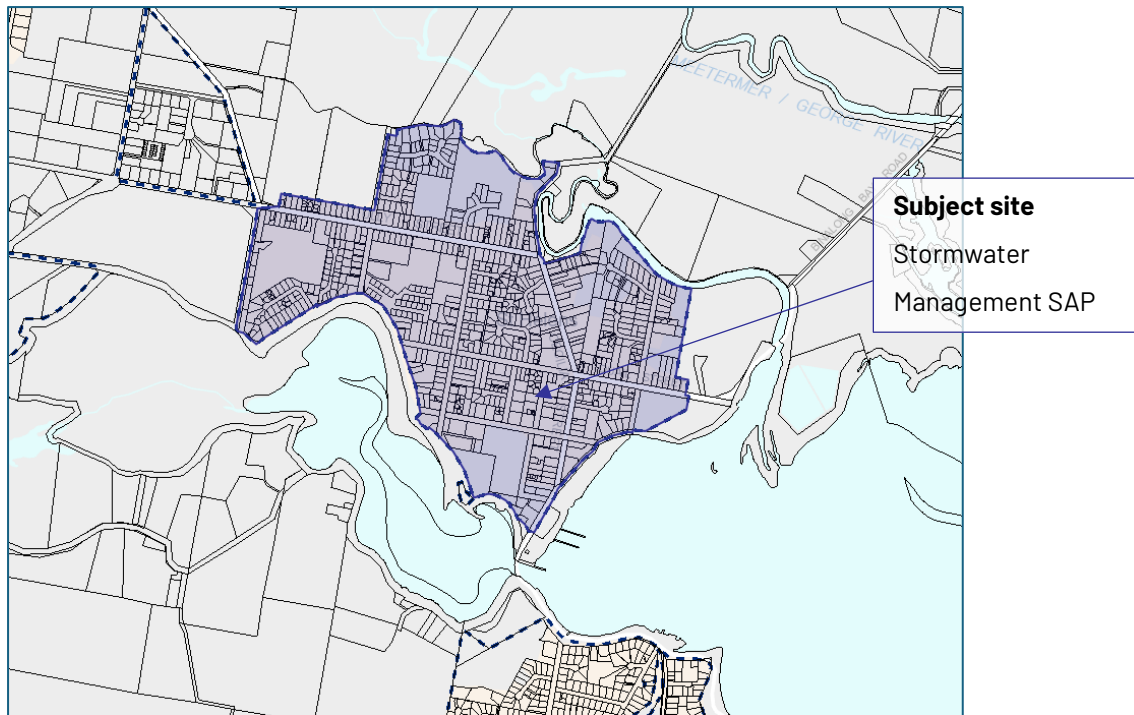


Figure 3 - General Overlays affecting the subject site (Land Tasmania, 2021).

The site is affected by the Airport obstacle limitation area (86.5m AHD) Code Overlay.

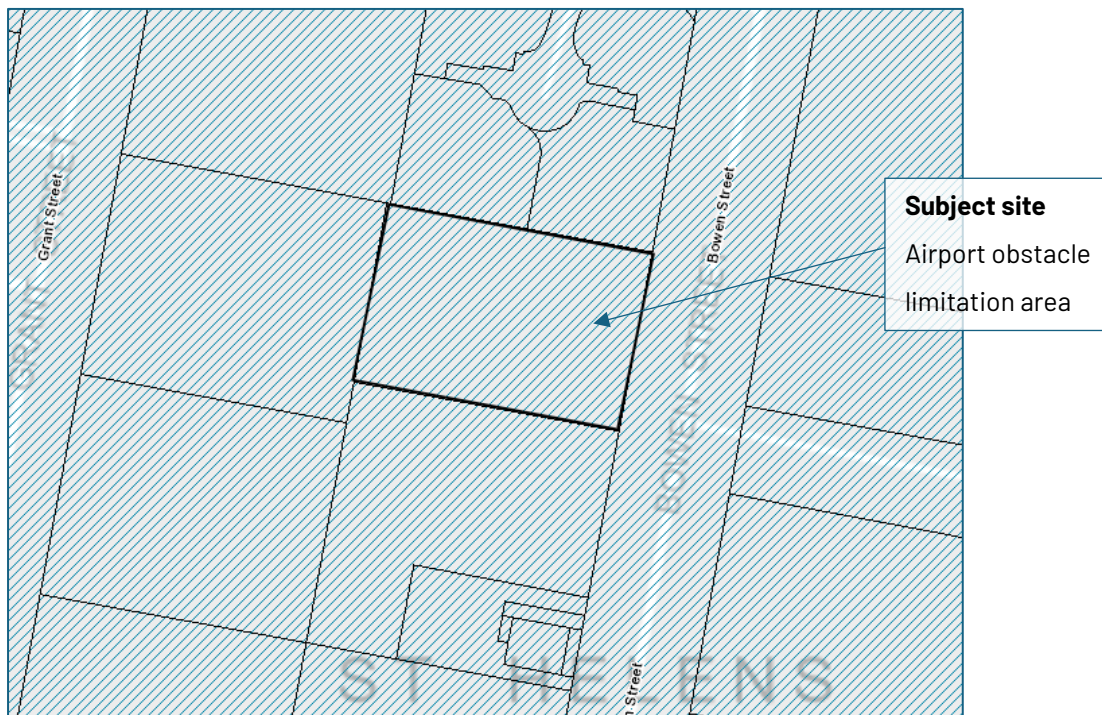


Figure 4 - Code Overlays affecting the subject site (Land Tasmania, 2021).

4. Planning Scheme Assessment

4.1 Zone assessment

BRE-S2.0 Stormwater Management Specific Area Plan

BRE-S2.7 Development Standards for Buildings and Works

BRE-S2.7.1 Stormwater management

This clause is in addition to (a) General Residential Zone – clause 8.4 Development Standards for Dwellings.
--

Response

The specific area plan applies, as the proposal involves the development of a dwelling in the General Residential Zone. This clause does not apply to subdivision.

Objective	
That development provides for adequate stormwater management.	
Acceptable Solutions	Performance Criteria
A1 Development must be: a) capable of connecting to the public stormwater system; or b) permitted by the General Manager to discharge stormwater to a system other than the public stormwater system.	P1 Development must be capable of accommodating an on-site stormwater management system adequate for the development, having regard to: a) topography of the site; b) the size and shape of the site; c) soil conditions; d) any existing buildings and any constraints imposed by existing development on the site; e) any area of the site covered by impervious surfaces; f) any watercourses on the land; g) stormwater quality and quantity management targets identified in the State Stormwater Strategy 2010; and h) any advice from a suitably qualified person on the seasonal water table at the site, risks of inundation, land instability or coastal erosion.

Response

A1 The acceptable solution is achieved. Both the existing and proposed development are capable of being connected to the public stormwater system. Please refer to plans provided for additional information.

8.0 General Residential Zone

8.1 Zone Purpose

8.1.1	To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.
8.1.2	To provide for the efficient utilisation of available social, transport and other service infrastructure.
8.1.3	To provide for non-residential use that: a) primarily serves the local community; and b) does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.
8.1.4	To provide for Visitor Accommodation that is compatible with residential character.

Response

The proposed is in accordance with the zone purpose. The site has existing Residential use, which is *No Permit Required* under the Scheme. Multiple dwellings is a *Permitted* use. The subdivision will provide for one additional lot, which will be suitable for development according to the zone.

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

Objective	
That the density of multiple dwellings: a) makes efficient use of land for housing; and b) optimises the use of infrastructure and community services.	
Acceptable Solutions	Performance Criteria
A1 Multiple dwellings must have a site area per dwellings of not less than 325m ² .	P1 Multiple dwellings must only have a site area per dwelling that is less than 325m ² , if the development will not exceed the capacity of infrastructure services and: a) is compatible with the density of existing development on established properties in the area; or b) provides for a significant social or community benefit and is: i) wholly or partly within 400m walking distance of a public transport stop; or ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone.

Response

A1 The acceptable solution is achieved. The site area per dwelling will be 688m².

8.4.2 Setbacks and building envelope for all dwellings

Objective	
The siting and scale of dwellings: c) provides reasonably consistent separation between dwellings and their frontage within a street; d) provides consistency in the apparent scale, bulk, massing and proportion of dwellings; e) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and f) provides reasonable access to sunlight for existing solar energy installations.	
Acceptable Solutions	Performance Criteria
A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.	P1 A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.

Response

A1 The acceptable solution is achieved. The proposed dwelling will have a setback of more than 4.5m from the primary frontage.

A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than: a) 5.5m, or alternatively 1m behind the building line; b) the same as the building line, if a portion of the dwelling gross floor area is located	P2 A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.
---	--

above the garage or carport; or	
c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.	

Response

A2 The acceptable solution is achieved. The proposed garage will have a setback of more than 5.5m from the frontage.

A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must: a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).	P3 The siting and scale of a dwelling must: a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; ii) overshadowing the private open space of a dwelling on an adjoining property; iii) overshadowing of an adjoining vacant property; and iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on: i) an adjoining property; or ii) another dwelling on the same site.
---	--

Response

P3 The performance criteria are addressed. The proposed dwelling will meet the setback requirements and will be contained within the required building envelope. However, the proposed outbuilding will have a setback of 0.9m from the internal boundary and will be located outside of the building envelope.

- a) The siting and scale of the outbuilding is not expected to cause an unreasonable loss of amenity to adjoining properties. The properties adjoining the subject site, Unit 2 & Unit 3 11 Bowen Street (CT. 143537/2 & 143537/3), 3 Bowen Street (CT. 53692/1) and 6 Grant Street (CT. 44781/5) will not experience any overshadowing from the outbuilding due to sufficient setbacks and site orientation. A portion of the existing dwelling on 7 Bowen Street (proposed Lot 1) will be overshadowed. This will be confined to the afternoon.

A portion of the private open space on 7 Bowen Street (proposed Lot 1) will be overshadowed by the proposed outbuilding. This will only be for a portion of the day, from the afternoon.

There are no adjoining vacant properties that will be overshadowed by the outbuilding.

The proposed outbuilding will be sited behind the existing dwelling on the site and will not be visible from the street. The outbuilding will have sufficient side and rear setbacks that will reduce any adverse visual impacts when viewed from 11 Bowen Street, 3 Bowen Street or 6 Grant Street. The height and size of the proposed outbuilding is typical for a residential area.

- b) The proposed outbuilding will have separation consistent with the existing on established properties in the area. For example, 6 Grant Street, 49 Quail Street (CT. 186277/1) and 53 Quail Street (CT. 13607/3) have outbuildings with reduced setbacks to a side, rear or internal boundary, similar to what is proposed.
- c) It is not expected that any existing solar energy installations will be impacted.

8.4.3 Site coverage and private open space for all dwellings

Objective	
That dwellings are compatible with the amenity and character of the area and provide:	
a) for outdoor recreation and the operational needs of the residents; b) opportunities for the planting of gardens and landscaping; and c) private open space that is conveniently located and has access to sunlight.	
Acceptable Solutions	Performance Criteria
A1 Dwellings must have: a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).	P1 Dwellings must have: a) site coverage consistent with that existing on established properties in the area; b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate: i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and ii) operational needs, such as clothes drying and storage; and c) reasonable space for the planting of gardens and landscaping.

Response

A1 The acceptable solution is achieved.

- a) The proposed and existing dwelling will have a total site coverage of 32.3%.

- b) Both the existing and proposed dwelling will have a total area of private open space of more than 60m². Please refer to the proposal plan for the dwelling provided for further information (Annexure 3; p. 6).

A2 A dwelling must have private open space that: a) is in one location and is not less than: i) 24m²; or ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); b) has a minimum horizontal dimension of not less than: i) 4m; or ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and d) has a gradient not steeper than 1 in 10.	P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is: a) conveniently located in relation to a living area of the dwelling; and b) orientated to take advantage of sunlight.
--	---

Response

- A2 The acceptable solution is achieved. Both the existing and proposed dwelling will have sufficient private open space area. Please refer to the proposal plan for the dwelling provided for further information (Annexure 3, p. 6).

8.4.4 Sunlight to private open space of multiple dwellings

Objective	
That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.	
Acceptable Solutions	Performance Criteria
A1 A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c): a) the multiple dwelling is contained within a line projecting (see Figure 8.4): i) at a distance of 3m from the northern edge of the private open space; and ii) vertically to a height of 3m above	P1 A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 and P2 of clause 8.4.3 of this planning scheme.

existing ground level and then at an angle of 45 degrees from the horizontal; b) the multiple dwelling does not cause 50% of private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and c) this Acceptable Solution excludes that part of a multiple dwelling consisting of: i) an outbuilding with a building height not more than 2.4m; or ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.	
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Response

Not applicable, as there is no dwelling located to the north of the private open space of another dwelling on the site.

8.4.5 Width of openings for garages and carports for all dwellings

Objective	
To reduce the potential for garage or carport openings to dominate the primary frontage.	
Acceptable Solutions	Performance Criteria
A1 A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	P1 A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.

Response

Not applicable, as the proposed attached garage is not located within 12m of the frontage.

8.4.6 Privacy for all dwellings

Objective	
To provide a reasonable opportunity for privacy for dwellings.	
Acceptable Solutions	Performance Criteria
A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or	P1 A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:

floor level, with a uniform transparency of not more than 25%, along the sides facing a: a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary; b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.	a) a dwelling on an adjoining property or its private open space; or b) another dwelling on the same site or its private open space.
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Response

Not applicable, as the proposed dwelling will not have a finished surface or floor level more than 1m above existing ground level.

A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b): a) the window or glazed door: i) is to have a setback of not less than 3m from a side boundary; ii) is to have a setback of not less than 4m from a rear boundary; iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. b) the window or glazed door: i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or iii) is to have a permanently fixed external screen for the full length of	P2 A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to: a) a window or glazed door, to a habitable room of another dwelling; and b) the private open space of another dwelling.
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the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.	
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Response

Not applicable, as the proposed dwelling will not have a floor level more than 1m above existing ground level.

A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than: a) 2.5m; or b) 1m if: i) it is separated by a screen of not less than 1.7m in height; or ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.	P3 A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.
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Response

Not applicable, as there is no shared driveway proposed.

8.4.7 Frontage fences for all dwellings

Objective	
The height and transparency of frontage fences: a) provides adequate privacy and security for residents; b) allows the potential for mutual passive surveillance between the road and the dwelling; and c) is reasonably consistent with that on adjoining properties.	
Acceptable Solutions	Performance Criteria
A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must: a) provide for security and privacy while allowing for passive surveillance of the road; and b) be compatible with the height and transparency of fences in the street, having regard to: i) the topography of the site; and ii) traffic volumes on the adjoining road.

Response

Not applicable, as no frontage fences are proposed.

8.4.8 Waste storage for multiple dwellings

Objective	
To provide for the storage of waste and recycling bins for multiple dwellings.	
Acceptable Solutions	Performance Criteria
A1 A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m² per dwelling and is within one of the following locations: a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or b) a common storage area with an impervious surface that: i) has a setback of not less than 4.5m from a frontage; ii) is not less than 5.5m from any dwelling; and iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.	P1 A multiple dwelling must have a storage for waste and recycling bins that is: a) capable of storing the number of bins required for the site; b) screened from the frontage and any dwellings; and c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise.

Response

A1 The acceptable solution is achieved. Both dwellings will have a storage area for waste and recycling bins that is 1.5m².

8.6 Development Standards for Subdivision

8.6.1 Lot design

Objective	
That each lot:	
a) has an area and dimensions appropriate for use and development in the zone; b) is provided with appropriate access to a road; c) contains areas which are suitable for development appropriate to the zone purpose, located to avoid natural hazard; and d) is orientated to provide solar access for future dwellings.	
Acceptable Solutions	Performance Criteria
A1 Each lot, or a lot proposed in a plan of subdivision, must: a) have an area of not less than 450m² and: i) be able to contain a minimum area of	P1 Each lot, or a proposed lot in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use, having regard to: a) the relevant requirements for development

10m x 15m with a gradient not steeper than 1 in 5, clear of: a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; b) be required for public use by the Crown, a council or a State authority; c) be required for the provision of Utilities; or d) be for the consolidation of a lot with another lot provided each lot is within the same zone.	of buildings on the lots; b) the intended location of buildings on the lots; c) the topography of the site; d) the presence of any natural hazards; e) adequate provision of private open space; and f) the pattern of development existing on established properties in the area.
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Response

A1 The acceptable solution is achieved. Both proposed lots will have an area of more than 450m² and will retain existing development that meets all required setbacks. The existing dwelling on Lot 1 will have a reduced setback to the proposed rear boundary. However, as the dwelling does not exceed a total length of 6.92m (one third of the length of the proposed boundary) along this boundary, the reduced setback will be acceptable.

A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 12m.	P2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to: a) the width of frontage proposed, if any; b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access; c) the topography of the site; d) the functionality and useability of the frontage; e) the ability to manoeuvre vehicles on the site; and f) the pattern of development existing on established properties in the area, and is not less than 3.6m wide.
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Response

P2 The performance criteria are addressed. The frontage for Lot 2 will be less than the required width of 12m. The proposed is sufficient for the intended use of the site, that being Residential, having regard to:

- a) The width of the frontage proposed for Lot 2 is 6.76m.

- b) No other lots will have the land subject to the right of carriageway for access.
- c) The topography of the site is flat.
- d) The frontage will primarily be used as an access way. The functionality or useability of the frontage is not expected to be adversely impacted by the reduced width.
- e) Lot 2 will meet area requirements and will therefore provide sufficient space for manoeuvring vehicles on the site.
- f) There is a pattern of development in the surrounding area similar to what is proposed. For example, 5 Grant Street (CT. 116572/0), 3 Grant Street (CT. 56461/0), 1 Bowen Street and 49 Quail Street are sites with reduced frontages similar to what is proposed.

A3	Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.	P3	Each lot, or a lot proposed in a plan of subdivision, must be provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to: a) the topography of the site; b) the distance between the lot or building area and the carriageway; c) the nature of the road and the traffic; d) the anticipated nature of vehicles likely to access the site; and e) the ability for emergency services to access the site.
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Response

A3 The acceptable solution is achieved. Both lots will be provided with direct access from the lot boundary to the road.

A4	Any lot in a subdivision with a new road, must have the long axis of the lot between 30 degrees west of true north and 30 degrees east of true north.	P4	Subdivision must provide for solar orientation of lots adequate to provide solar access for future dwellings, having regard to: a) the size, shape and orientation of the lots; b) the topography of the site; c) the extent of overshadowing from adjoining properties; d) any development on the site; e) the location of roads and access to lots; and f) the existing pattern of subdivision in the area.
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Response

Not applicable, as there is no new road proposed.

8.6.2 Roads

Objective

That the arrangement of new roads within a subdivision provides for:	
g) safe, convenient and efficient connections to assist accessibility and mobility of the community;	
h) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; and	
i) the efficient ultimate subdivision of the entirety of the land and of surrounding land.	
Acceptable Solutions	Performance Criteria
A1 The subdivision includes no new roads.	P1 The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to: a) any road network plan adopted by the council; b) the existing and proposed road hierarchy; c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential; d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; e) minimising the travel distance between key destinations such as shops and services and public transport routes; f) access to public transport; g) the efficient and safe movement of pedestrians, cyclists and public transport; h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; i) the topography of the site; and j) the future subdivision potential of any balance lots on adjoining or adjacent land.

Response

A1 The acceptable solution is achieved. The subdivision will include no new roads.

8.6.3 Services

Objective	
That the subdivision of land provides services for the future use and development of the land.	
Acceptable Solutions	Performance Criteria
A1 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a full water supply service.	P1 A lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a limited water supply service, having regard to:

	d) flow rates; e) the quality of potable water; f) any existing or proposed infrastructure to provide the water service and its location; g) the topography of the site; and h) any advice from a regulated entity.
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Response

A1 The acceptable solution is achieved. Lot 1 will retain existing connection to a full water supply service. A new connection is proposed for Lot 2.

A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.	P2 No Performance Criterion.
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Response

A2 The acceptable solution is achieved. Lot 1 will retain existing connection a reticulated sewerage system. A new connection is proposed for Lot 2.

A3 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.	P3 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of accommodating an on-site stormwater management system adequate for the future use and development of the land, having regard to: a) the size of the lot; b) topography of the site; c) soil conditions; d) any existing buildings on the site; e) any area of the site covered by impervious surfaces; and f) any watercourse on the land.
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Response

A3 The acceptable solution is achieved. Lot 1 will retain existing connection to the public stormwater system. A new connection is proposed for Lot 2.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

Response

P1.1 The performance criteria are addressed. The existing dwelling will retain existing parking provision. The proposed dwelling will have two parking spaces provided for. However, no visitor

parking is proposed. The number of on-site parking spaces provided will meet the reasonable needs of the use, having regard to:

- a) There are off-street public car parking spaces available, located on Bowen Street, directly across from the subject site.
- b) Both the existing and proposed dwelling are allocated two car parking spaces, which may not be occupied at all times due to variation in demand. This will allow visitors to share resident spaces, if required.
- c) There is a bus stop located approximately 245m from the subject site. This is considered to be within reasonable walking distance.
- d) Taxi service is available in the area to allow for alternative means of transport to and from the subject site, as required.
- e) Providing visitor parking spaces on the site is constrained by the location of the existing dwelling.
- f) There is on-street parking available on Bowen Street in proximity and safe walking distance to the subject site. Bowen Street is a local sealed road with a speed limit of 50km/h. It is likely that on-street parking will be shared by the surrounding uses. However, as the township is regional and low density, safety, availability and accessibility is not expected to be significantly impacted. Traffic management is not required as a result.
- g) No adverse impact on streetscape is expected as a result of the visitor parking deficit.
- h) An assessment has not been undertaken due to the deficit in visitor parking being minor and the nature of the use being Residential.

P1.2 This is not applicable, as the number of car parking spaces per dwelling is sufficient and meets the requirements of the Acceptable Solution.

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

Response

- A1 The acceptable solution is achieved. Lot 1 will retain the existing vehicular access, which is sealed. Stormwater will be managed.
- A new vehicular access is proposed for Lot 2 upon dwelling construction. This access will be sealed. Stormwater will be managed.

C2.6.2 Design and layout of parking areas

Response

- A1 The acceptable solution is achieved. Please refer to plans provided for further information.

C2.6.3 Number of accesses for vehicles

Response

- A1 The acceptable solution is achieved. Lot 1 will retain one vehicle crossover. One vehicle crossover is proposed to service Lot 2.

C3.0 Road and Railway Assets Code

C3.5 Use Standards

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

Response

- P1 The performance criteria are addressed, as consent from the road authority is required for one new vehicle crossing.
- a) An increase to traffic is expected commensurate to one new lot. Based on low density residential use, this is anticipated to be 7.53 daily trips (Strategic Transport Planning Branch, Transport for NSW, 2024). This meets the acceptable increase of not more than 40 vehicle movements a day.
 - b) The nature of the use is Residential.
 - c) The road is a public sealed road maintained by Council.
 - d) As a local road, the speed limit is expected to be 50km/h.
 - e) There are no logical alternative accesses available.
 - f) Each lot requires vehicle access provision.
 - g) No traffic impact assessment has been undertaken, as the increase is low and the overall impact considered to be low and manageable.
 - h) No further advice has been sought.

C16.0 Safeguarding of Airports Code

C16.4 Use or Development Exempt from this Code

Response

The proposed development is exempt from this code, as it will not exceed the AHD height of 86.5m.

5. Conclusion

This application is for the development of an additional dwelling and outbuilding on the site, and the subdivision from one to two lots in the General Residential Zone. Proposed Lot 1 will retain the existing dwelling. Proposed Lot 2 will be for the development of a dwelling and outbuilding. The proposed is in accordance with the provisions of the Scheme and a planning permit is sought from Council.